



Chair Sandy Burgess
Vice Chair William Smith
Member Danielle J. Judd
Member Virginia Johns
Member
School Board Member Tina Certain

City Manager Rodolfo Valladares
City Attorney Scott Walker

The Planning and Zoning Board will conduct a
Regular Planning and Zoning Board Meeting
At 6:00 PM

to address the item(s) below.

Meeting Date: November 18, 2025

Meeting Location: James A. Lewis City Commission Chambers
15100 NW 142 Terrace
Alachua, FL 32615

Planning and Zoning Board Meeting

Notice given pursuant to Section 286.0105, Florida Statutes. In order to appeal any decision made at this meeting, you will need a verbatim record of the proceedings. It will be your responsibility to ensure such a record is made.

CALL TO ORDER

INVOCATION

PLEDGE TO THE FLAG

APPROVAL OF THE AGENDA

I. OLD BUSINESS

- A) PSE22-0002 | TARA APRIL SPECIAL EXCEPTION PERMIT - A REQUEST BY CLAY SWEGER, AICP, LEED AP, OF EDA CONSULTANTS, INC., APPLICANT, ON BEHALF OF TARA FOREST, LLC, PROPERTY OWNER, FOR CONSIDERATION OF A SPECIAL EXCEPTION PERMIT TO ALLOW THE PLACEMENT OF A MINOR UTILITY (STORMWATER MANAGEMENT FACILITIES) IN THE AGRICULTURAL (A) ZONING DISTRICT THAT WOULD SUPPORT FUTURE DEVELOPMENT ON ADJACENT LANDS ZONED COMMUNITY COMMERCIAL (CC). THE SUBJECT PROPERTY IS GENERALLY LOCATED NORTH OF US 441 EAST OF I-75 AND APRIL BOULEVARD, AND WEST OF MILL CREEK; CONSISTING OF A PORTION OF TAX PARCEL**

NUMBER 03020-000-000; FUTURE LAND USE MAP (FLUM) DESIGNATION: AGRICULTURE; ZONING: AGRICULTURAL (A) (QUASI-JUDICIAL HEARING).

II. NEW BUSINESS

- A)** APPROVE MEETING MINUTES- OCTOBER 14, 2025
- B)** PSP25-0010 | SAN FELASCO TECH CITY PHASE 5 SITE PLAN - A REQUEST BY CLAUDIA VEGA, P.E., OF EDA CONSULTANTS, INC., APPLICANT AND AGENT FOR THE LASER INVESTMENT GROUP, LLC, PROPERTY OWNER, FOR CONSIDERATION OF A SITE PLAN PROPOSING THE CONSTRUCTION OF THREE (3) NONRESIDENTIAL BUILDINGS TOTALING ±88,413 SQUARE FEET, 20 ATTACHED RESIDENTIAL UNITS, TEN (10) SINGLE FAMILY RESIDENTIAL UNITS, A ±3,140 SQUARE FOOT NEIGHBORHOOD RECREATION CENTER, AND A ±1,044 SQUARE FOOT AMENITY CENTER ON A ±13.23 ACRE SUBJECT PROPERTY; CONSISTING OF PORTIONS OF TAX PARCEL NUMBERS 05844-004-001 AND 05855-005-000; FLUM: CORPORATE PARK; ZONING: CORPORATE PARK (CP). (QUASI-JUDICIAL HEARING)
- C)** PPP25-0002 | AMENDMENT TO FLETCHER TRACE MAJOR SUBDIVISION PRELIMINARY PLAT - A REQUEST BY NV5, INC. (AGENT) ON BEHALF OF FLETCHER DEVELOPMENT, LLC (PROPERTY OWNER) FOR AN AMENDMENT TO THE FLETCHER TRACE MAJOR SUBDIVISION PRELIMINARY PLAT PROPOSING REPHASING AND REDUCING THE TOTAL NUMBER OF SINGLE-FAMILY ATTACHED LOTS FROM 128 TO 28 AND INCREASING THE TOTAL NUMBER OF SINGLE-FAMILY DETACHED LOTS FROM 344 TO 410, FOR A NET DECREASE OF 34 LOTS ON A ± 118.20-ACRE SUBJECT PROPERTY GENERALLY LOCATED SOUTHEAST OF COUNTY ROAD 235 AND NORTH OF NW 110TH AVENUE (TAX PARCEL 03980-002-001); FLU: MODERATE DENSITY RESIDENTIAL; ZONING: PLANNED DEVELOPMENT – RESIDENTIAL (PD-R)(QUASI-JUDICIAL HEARING).
- D)** PTAL25-0001 | MANUFACTURED HOMES AS ACCESSORY DWELLING UNITS - A STAFF-INITIATED TEXT AMENDMENT TO THE CITY OF ALACHUA LAND DEVELOPMENT REGULATIONS AMENDING SECTION 4.4.4(A)(2) RELATING TO MANUFACTURED HOMES AS ACCESSORY DWELLING UNITS IN THE AGRICULTURAL ("A") AND RESIDENTIAL SINGLE-FAMILY - 1 ("RSF-1") ZONE DISTRICTS (LEGISLATIVE HEARING).

III. BOARD COMMENTS/DISCUSSION

IV. CITIZENS COMMENTS

ADJOURN



Board Agenda Item

MEETING DATE: November 18, 2025

SUBJECT: PSE22-0002 | Tara April Special Exception Permit - A request by Clay Sweger, AICP, LEED AP, of EDA Consultants, Inc., applicant, on behalf of Tara Forest, LLC, property owner, for consideration of a Special Exception Permit to allow the placement of a minor utility (stormwater management facilities) in the Agricultural (A) zoning district that would support future development on adjacent lands zoned Community Commercial (CC). The subject property is generally located north of US 441 east of I-75 and April Boulevard, and west of Mill Creek; Consisting of a portion of Tax Parcel Number 03020-000-000; Future Land Use Map (FLUM) Designation: Agriculture; Zoning: Agricultural (A) (Quasi-judicial hearing).

PREPARED BY: Bryan Thomas

RECOMMENDED ACTION:

Staff recommends that the Planning & Zoning Board approve the Special Exception Permit to allow stormwater retention and detention facilities on portions of Tax Parcel number 03020-000-000, subject to the nine conditions provided in Exhibit "A" and located on page 22 of the November 18, 2025 Staff Report to the Planning and Zoning Board.

Recommended Motion: I move that, based upon the competent substantial evidence presented at this hearing, the presentation before this Board, and Staff's recommendation, this Board finds the application to be consistent with the City of Alachua Comprehensive Plan and in compliance with the Land Development Regulations and approves Application #PSE22-0002 to allow the placement of a minor utility (stormwater management facilities) in the Agricultural (A) zoning district that could potentially support future development on adjacent lands zoned Community Commercial (CC) on a portion of Tax Parcel number 03020-000-000, subject to the nine conditions provided in Exhibit "A" and located on page 22 of the November 18, 2025 Staff Report to the Planning and Zoning Board.

Summary

The proposed Special Exception Permit is a request by Clay Sweger, AICP, LEED AP, of eda consultants, inc., applicant and agent for Tara Forest, LLC, property owner, for consideration of a Special Exception Permit to allow the placement of a minor utility (stormwater management facilities) in the Agricultural (A) zoning district that could potentially support future development on adjacent lands zoned Community Commercial (CC) on portions of Tax Parcel number 03020-000-000. The stormwater facilities associated with this development are

proposed to be placed on a portion of the subject property with an A (Agricultural) zoning designation.

Section 4.3.2 (l)(4) provides use-specific standards for minor utilities, which include stormwater ponds:

(a) *Location.* Be located within reasonable proximity of the area to be served. Stormwater detention and retention facilities may be permitted by special exception permit on properties with less intense zoning district designations under common ownership, subject to the following requirements:

(i) The zoning designation of the location of the stormwater detention and retention facility allows minor utilities; and,

(ii) The stormwater detention and retention facility meets the compatibility requirements as set forth in Subsection 4.3.2(l)(4)(b); and,

(iii) The stormwater detention and retention facility provides an enhanced natural (e.g., increased topographic relief, vegetative diversity, etc.) or recreational (e.g., perimeter trail, boardwalk, interpretive kiosk, etc.) functional use.

Section 2.4.4(A) of the City's LDRs states that uses that require a special exception permit are those which are, "...generally compatible with the other uses permitted in a zone district, but require individual review of their location, design, configuration, density, intensity, and public facility impact to determine the appropriateness of the use on any particular site in the district and their compatibility with adjacent uses." Once a special exception is granted, the approval shall run with the land and shall not be affected by a change in ownership, unless specifically conditioned as part of the approval.

This application is limited to consideration of the use of the subject property for placement of stormwater management facilities. Should this application be approved, such approval does not imply, vest or guarantee approval of future offsite development that may be proposed for drainage into these facilities.

The prohibited uses proposed by the applicant have been included in the recommended conditions listed in Exhibit A of the staff report and are narrowly tailored to protect nearby wetlands and natural features by eliminating uses that would allow for the accumulation of hazardous materials.

FINANCIAL IMPACT

None.

ADDITIONAL FINANCIAL INFORMATION

N/A

ATTACHMENTS

1. Staff Report
2. Application Materials
3. Public Comments Received 11/10/2025 and Prior
4. Public Notice Materials
5. Resume on File - Bryan S. Thomas, AICP



City of Alachua

Planning & Community Development Department

Staff Report

Planning & Zoning Board Hearing Date:
Quasi-Judicial Hearing

November 18, 2025
Application #: PSE22-0002

SUBJECT: A request for a special exception permit to allow the placement of a minor utility (stormwater management facilities) in the Agricultural (A) zoning district that could potentially support future development on adjacent lands zoned Community Commercial (CC).

APPLICANT/AGENT: Clay Sweger, AICP, LEED AP, eda consultants, inc.

PROPERTY OWNER: Tara Forest, LLC

LOCATION: Generally, north of US 441, east of I-75 and April Boulevard, and west of Mill Creek

PARCEL ID NUMBER: 03020-000-000

FLUM DESIGNATION: Agriculture

ZONING: A (Agricultural)

OVERLAY: Gateway Overlay District

ACREAGE: ± 58.30

PROJECT PLANNER: Bryan S. Thomas, AICP

RECOMMENDATION: Staff recommends that the Planning & Zoning Board approve the Special Exception Permit to allow stormwater retention and detention facilities on portions of Tax Parcel number 03020-000-000, subject to the nine conditions provided in Exhibit “A” and located on page 22 of the November 18, 2025, Staff Report to the Planning and Zoning Board.

**RECOMMENDED
MOTION:**

I move that, based upon the competent substantial evidence presented at this hearing, the presentation before this Board, and Staff's recommendation, this Board finds the application to be consistent with the City of Alachua Comprehensive Plan and in compliance with the Land Development Regulations and approves Application #PSE22-0002 to allow the placement of a minor utility (stormwater management facilities) in the Agricultural (A) zoning district that could potentially support future development on adjacent lands zoned Community Commercial (CC) on a portion of Tax Parcel number 03020-000-000, subject to the nine conditions provided in Exhibit "A" and located on page 22 of the November 18, 2025, Staff Report to the Planning and Zoning Board.

SUMMARY

The proposed Special Exception Permit is a request by Clay Sweger, AICP, LEED AP, of eda consultants, inc., applicant and agent for Tara Forest, LLC, property owner, for consideration of a Special Exception Permit to allow the placement of a minor utility (stormwater management facilities) in the Agricultural (A) zoning district that could potentially support future development on adjacent lands zoned Community Commercial (CC) on portions of Tax Parcel number 03020-000-000. The stormwater facilities associated with this development are proposed to be placed on a portion of the subject property with an A (Agricultural) zoning designation.

Section 4.3.2 (l)(4) provides use-specific standards for minor utilities, which include stormwater ponds:

- (a) *Location.* Be located within reasonable proximity of the area to be served. Stormwater detention and retention facilities may be permitted by special exception permit on properties with less intense zoning district designations under common ownership, subject to the following requirements:
 - (i) The zoning designation of the location of the stormwater detention and retention facility allows minor utilities; and,
 - (ii) The stormwater detention and retention facility meets the compatibility requirements as set forth in Subsection 4.3.2(l)(4)(b); and,
 - (iii) The stormwater detention and retention facility provides an enhanced natural (e.g., increased topographic relief, vegetative diversity, etc.) or recreational (e.g., perimeter trail, boardwalk, interpretive kiosk, etc.) functional use.

Section 2.4.4(A) of the City's LDRs states that uses that require a special exception permit are those which are, "...*generally compatible with the other uses permitted in a zone district, but require individual review of their location, design, configuration, density, intensity, and public facility impact to determine the appropriateness of the use on any particular site in the district and their compatibility with adjacent uses.*" Once a special exception is granted, the approval shall run with the land and shall not be affected by a change in ownership, unless specifically conditioned as part of the approval.

This application is limited to consideration of the use of the subject property for placement of stormwater management facilities. Should this application be approved, such approval does not imply, vest or guarantee approval of future offsite development that may be proposed for drainage into these facilities.

The prohibited uses proposed by the applicant have been included in the recommended conditions listed in Exhibit A of this staff report and are narrowly tailored to protect nearby wetlands and natural features by eliminating uses that would allow for the accumulation of hazardous materials.

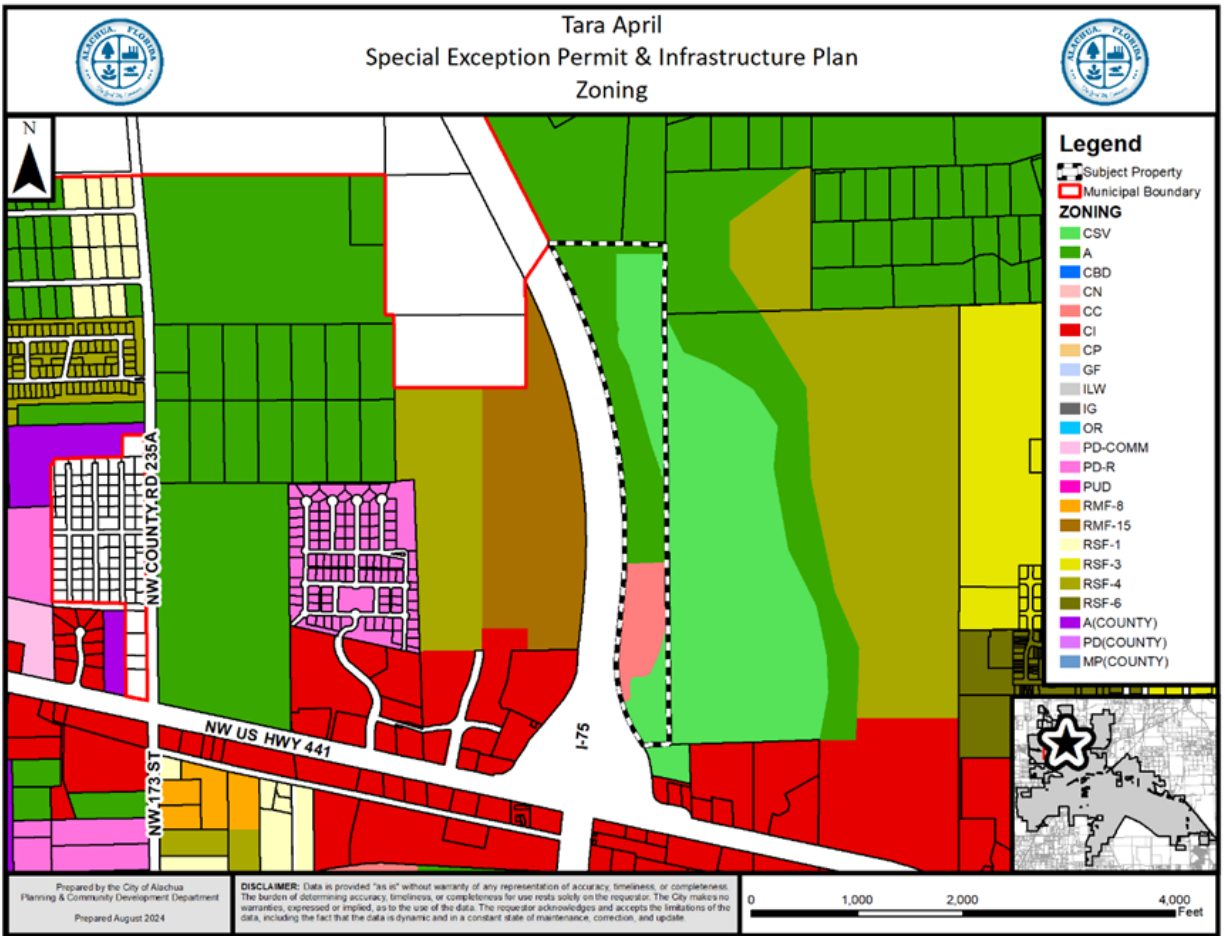


Figure 1. City of Alachua Official Zoning Atlas

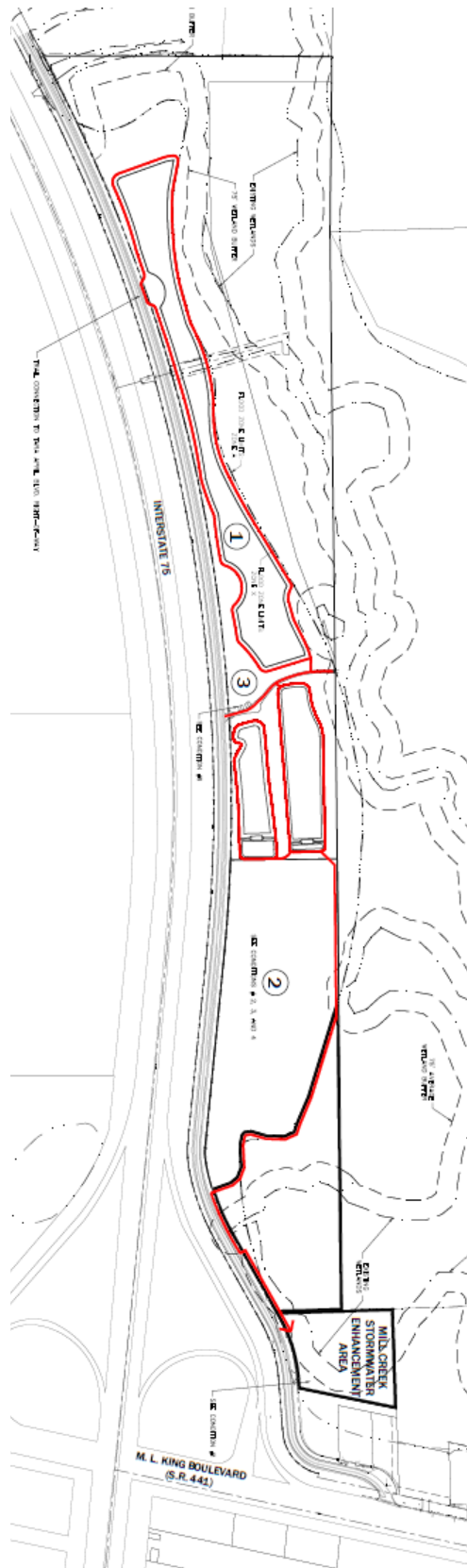


Figure 2. Tara April Special Exception Overview

EXISTING USES

The subject property is undeveloped and is comprised of a mixture of cleared lands and naturally wooded areas.

SURROUNDING USES

The existing uses, Future Land Use Map (FLUM) designations, and zoning districts of the surrounding area are identified in Table 1. Figure 3 provides an overview of the vicinity of the subject property. (NOTE: The information below is intended to provide a general overview of the area surrounding the subject property and to generally orient the reader. The information below is not intended to be all-inclusive, and may not identify all existing uses, FLUM designations, and/or zoning districts surrounding the subject property.)

Table 1. Surrounding Land Uses

Direction	Existing Use(s)	FLUM Designation(s)	Zoning District(s)
North	Campground	Agriculture	Agricultural (A)
South	Minor Utility Conservation	Conservation	Conservation (CSV)
East	Conservation	Conservation	Conservation (CSV)
West	Interstate 75	N/A	N/A

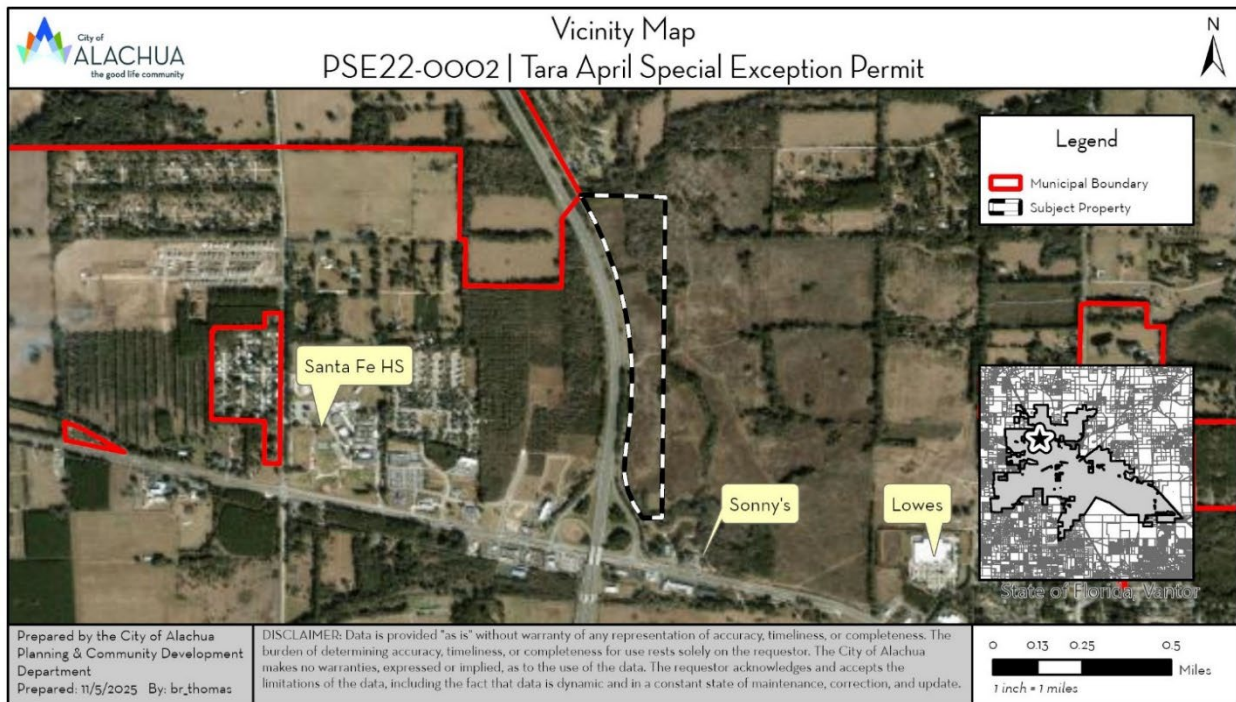


Figure 3. Vicinity Map

NEIGHBORHOOD MEETING

The purpose of a Neighborhood Meeting is to educate the owners of nearby land and any other interested members of the public about the project and to receive comments regarding the project. As required by Section 2.2.4 of the LDRs, all property owners within 400 feet of the subject property were notified of the meeting and notice of the meeting was published in a newspaper of general circulation.

Neighborhood Meetings were held on April 25, 2022 and May 11, 2022 at the Alachua Branch Library. The applicant was present and available to answer questions at both meetings. Materials submitted by the applicant indicate that both meetings were not attended by any members of the public.

COMPREHENSIVE PLAN CONSISTENCY ANALYSIS

The goals, objectives, and policies (GOPs) identified below are provided to establish a basis of the application's consistency with the Comprehensive Plan. There may be additional GOPs which the application is consistent with that are not identified within this report. An evaluation and findings of consistency with the identified GOPs is also provided below.

The property currently has the following Future Land Use Map designations: Recreation, Conservation, and Commercial. Staff finds the application consistent with the City of Alachua Comprehensive Plan and the GOPs therein.

Future Land Use Element

Goal 1: Future Land Use Map 2035

The City shall maintain a Future Land Use Map in order to effectively guide development in a sustainable manner and to ensure economic prosperity and stability while maintaining a high quality of life for all of its present and future citizens, businesses, and visitors.

Objective 1.3: Commercial & Mixed-Use

The City shall establish three commercial and mixed-use land use categories: Community Commercial, Commercial, and Central Business District. These land use categories shall provide a broad range of commercial uses, including retail sales and services, personal services, offices, and tourist-oriented uses, and the potential for mixed-use developments in order to provide for the availability of goods and services, both to the citizens and visitors of Alachua and to the citizens of the North Central Florida region while diversifying the housing stock.

Policy 1.3.b: *Commercial:* The Commercial land use category is established to provide for general commercial uses, as well as more intense commercial and highway commercial uses. This is the land use category in which largescale, regional commercial uses may locate. The following uses are allowed within the Commercial land use category:

1. Retail sales and services;
2. Personal services;
3. Financial institutions;
4. Recreation and entertainment;
5. Tourist-related uses;
6. Visitor accommodations;
7. Commercial shopping centers;
8. Auto-oriented uses;
9. Traditional Neighborhood Planned Developments;
10. Employment Center Planned Developments;
11. Commercial recreation centers;

12. Office/business parks;
13. Limited industrial services;
14. Eating establishments;
15. Single family attached units;
16. Apartments and townhomes;
17. Duplexes and quadplexes;
18. Single-family and multi-family residential above first floor commercial uses;
19. Convention centers; and,
20. Supporting community services such as schools, houses of worship, parks, and community centers.

Development in the Commercial land use category may occur as mixed-use or non-mixed-use.

Policy 1.3.i: The following sub-policies shall be applicable to Tax Parcel 03020-000 000 or any subset of the parcel.

1. In order to enhance stormwater treatment conditions and to provide stormwater water quality improvements, the owner/developer of Tax Parcel 03020-000-000 will provide on-site stormwater quality treatment for the Florida Department of Transportation (FDOT) stormwater runoff as set forth below:
 - a. Consistent with or prior to any commercial development on Parcel 03020-000-000 (or subset of the parcel), the owner/developer shall provide on-site stormwater water quality treatment volume of 0.5 inches of runoff of the I-75 drainage adjacent to the parcel that is associated with FDOT culverts 2/3 & 4/5 as indicated on the FDOT Drainage Map titled "FDOT Map I-75 Alachua County - US 441 To Columbia County Line 26260-3427." The treatment shall occur on the portion of Parcel 03020-000-000 with a Recreation land use designation.
 - b. The owner/developer shall coordinate the stormwater quality improvements with the FDOT and the City of Alachua. Improvements will be in the form of a stormwater basin(s) providing volume treatment to infiltrate through the natural ground. The stormwater basin(s) shall be privately owned and maintained.
 - c. Construction of the stormwater water quality improvements may include partnership on the project with, but not limited to, FDOT, Suwannee River Water Management District, or another governmental agency.
 - d. Consistent with the Recreation future land use category on the property, the stormwater water quality treatment area shall be designed to encourage passive recreation use in the form of pervious

pathways or nature trails. This passive recreation area shall be privately owned and maintained.

Evaluation & Findings: The subject property has a Future Land Use Map designation of Commercial. However, in order to protect the environmental resources in proximity to the property, automotive uses, as well as other users of hazardous materials or potential generators of hazardous wastes are excluded in the recommended conditions as demonstrated in Exhibit A. In addition, the Tara April Infrastructure Plan, presented under different application, will comply with the provisions of Policy 1.3.i.1.a-d.

Community Facilities Element

Goal 5: Natural Groundwater Aquifer Recharge

Objective 5.1: Protection of High Aquifer Recharge Areas and Water Bodies

The City recognizes the importance of the protection of high aquifer recharge areas, wellfield protection areas, lakes, streams, drainage basins, wetlands and stream-to-sink features as vital to the protection of groundwater resources. The City shall, through partnerships and using the best available data, provide protection for groundwater resources.

Policy 5.1.a: The City shall consider the best available hydrogeological information (e.g, Suwannee River Water Management District high aquifer recharge potential maps or site-specific data), and may require the collection of site-specific hydrogeological data, such as soil borings or electric resistivity tests, when assessing the impacts of proposed land use changes and developments in areas of high aquifer recharge potential. This information should be used in the determination of land use decisions on a case-by-case basis.

Evaluation & Findings: The subject property is located within an area designated by the Suwannee River Water Management District (SRWMD) High Aquifer Recharge Map (HARP) as an area with a moderately high aquifer recharge potential. Therefore, this standard does not apply.

Conservation and Open Space Element

Goal 1: Stewardship

To conserve, protect, manage and restore the natural and environmental resources of the City by emphasizing stewardship and understanding that environmental issues transcend political and geographical boundaries.

Objective 1.1: Conservation Designations

The City shall provide additional protection to particularly sensitive natural resources, habitats and ecosystems by establishing conservation designations, with specific uses, buffers and management protocol.

Policy 1.1.a: The City shall establish a conservation land use category for publicly or privately owned lands on which certain identifiable features, such as flowing surface water bodies, wetlands, flood plains, wellfield protection areas, unique geologic characteristics, and listed plant and wildlife habitat that require enhanced oversight and regulatory protection. Land use regulations for designated conservation areas will consider the vulnerability of susceptible features and vary accordingly.

Evaluation & Findings: Areas of the subject property that contain wetlands have been zoned as Conservation and are provided with adequate buffering from the stormwater facility development.

Objective 1.2: *Native Communities and Ecosystems*

The City shall preserve and protect native communities and ecosystems, particularly those considered endangered or threatened.

Policy 1.2.a: The City shall ensure that land use designations, development practices and regulations protect native communities and ecosystems, and environmentally sensitive lands.

Policy 1.2.b: Notwithstanding any site-specific environmental assessment, the City may use the Florida Natural Area Inventory to identify native communities, ecosystems, and environmentally sensitive lands and potential locations of threatened and endangered species, communities and ecosystems.

Policy 1.2.c: The City shall facilitate the acquisition, protection and maintenance of environmentally sensitive lands through measures such as land banking, conservation easements, grants and matching funds, land donations, and local, state and federal land acquisition funds.

Evaluation & Findings: No native communities, ecosystems, environmentally sensitive lands, potential locations of threatened and endangered species, communities and ecosystems were identified on the Florida Natural Area Inventory.

Objective 1.11: *Open and Green Space*

The City shall work to preserve native ecosystems and the natural aesthetic beauty and charm of Alachua by ensuring the provision of open spaces and green linkages throughout the City, designed for the enjoyment of the citizenry.

Policy 1.11.a: The City shall consider offering incentives to developers to include open green spaces beyond the minimum amount required in new developments. These open spaces may be either interior or on the perimeter of the development and may be used to serve passive recreational purposes. Ideally, open spaces may be linked throughout the City, providing greenways for pedestrian and bicycle travel.

Evaluation & Findings: The perimeter trail system, with connectivity to public rights-of-way, the future commercial development to the south, the City of Alachua Stormwater Improvement Project, and residential developments to the east will provide additional open space and recreational facilities.

Objective 1.12: *Water Resources*

The City shall protect and conserve the quantity and quality of water resources, not only for the benefit of residents of the City, but for all in North Florida who depend on the Floridian Aquifer for drinking water, and for the benefit of all connected springs, streams, and rivers which may be impacted by the City's land use and development practices.

Policy 1.12.a: The City shall recognize the interconnectivity of surface and ground water systems and shall work to minimize degradation of water resources, which extend beyond the City limits.

Evaluation & Findings: The Tara April Infrastructure Plan will take currently untreated stormwater that drains from I-75 into the Mill Creek Basin and ultimately into Mill Creek Sink and the aquifer, thus providing additional stormwater treatment prior to reaching the aquifer.

Recreation Element

Goal 1: *Definition of Parks and Recreation System*

To provide a long-range plan that guides development of the City of Alachua's parks and recreation system, establishes funding protocol, and encourages citizen participation to ensure the availability of recreational opportunities for present and future residents and visitors.

Objective 1.3: *New Development Recreation Requirements*

The City shall consider providing incentives for new development in order to enhance the City's recreation lands and facilities.

Policy 1.3.c: The City shall consider incentives for new development to provide pedestrian and bicycle paths, connecting to a network of like paths, wherever possible. The City shall consider establishing a sidewalk/pathway fund as an alternative to the provision of onsite paths within new developments.

Evaluation & Findings: The special exception, if approved, would require the development of a publicly accessible trail network that will connect to trails in adjacent developments. The approval of the special exception for the development of off-site stormwater management facilities is an incentive to the applicant for the provision of the enhanced recreational feature/trail network.

ENVIRONMENTAL CONDITIONS ANALYSIS

Wetlands

Wetlands are areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal conditions do support, a prevalence of vegetation typically adapted for life in saturated soil conditions. Wetlands generally include swamps, marshes, bogs, and similar areas.

Evaluation & Findings: Delineated wetlands are known to exist on the subject property; however, the proposed stormwater management facilities will not impact the delineated wetlands. The wetlands have been sufficiently buffered and are proposed to remain.

Strategic Ecosystems

Strategic Ecosystems were identified by an ecological inventory project in a report prepared for Alachua County Department of Growth Management in 1987 and updated in 1996. The purpose of the inventory was to identify, inventory, map, describe, and evaluate the most significant natural biological communities in private ownership in Alachua County.

Evaluation & Findings: The subject property is not located within or adjacent to a strategic ecosystem; therefore, the proposed special exception use will have no impact upon any strategic ecosystems identified within the ecological inventory report.

Regulated Plant & Animal Species

The Florida Natural Areas Inventory (FNAI) has identified areas throughout the State of Florida which may contain good quality natural communities. This data layer is known as the Potential Natural Areas (PNA) data layer, and identifies privately owned lands that are not managed or listed for conservation purposes. These areas were delineated by FNAI scientific staff through interpretation of natural vegetation from 1988-1993 FDOT aerial photographs and from input received during Regional Ecological Workshops held for each regional planning council. These workshops were attended by experts familiar with natural areas in the region.

Potential Natural Areas were assigned ranks of Priority 1 through Priority 5 based on size, perceived quality, and type of natural community present. The areas included in Priority 5 are exceptions to the above criteria. These areas were identified through the same process of aerial photographic interpretation and regional workshops as the PNA 1 through 4 ranked sites, but do not meet the standard criteria.

Evaluation & Findings: No species identified as endangered, threatened, or of special concern are known to exist on the subject property. If a regulated plant or animal species is identified during development, the applicant must adhere to the applicable standards in the City of Alachua Comprehensive Plan and Land Development Regulations.

Soil Survey

The hydrologic soil group is an indicator of potential soil limitations. The hydrologic soil group, as defined for each specific soil, refers to a group of soils which have been categorized according to their runoff-producing characteristics. These hydrologic groups are defined by the Soil Survey of Alachua County, Florida, dated August 1985. The chief consideration with respect to runoff potential is the capacity of each soil to permit infiltration (the slope and kind of plant cover are not considered, but are separate factors in predicting runoff.) There are four hydrologic groups: A, B, C, and D. "Group A" soils have a higher infiltration rate when thoroughly wet and therefore have a lower runoff potential. "Group D" soils have a lower infiltration rate and therefore a higher runoff potential.

There are nine soil types and one pits and spoils area found within the subject property, shown in Table 2.

Table 2. Soil Types

Soil Type	Hydrologic Group	Drainage Class	Limitations		% of Subject Property (may not total to 100% due to rounding)
			Dwellings Without Basements	Small Commercial Buildings	
Blichton Sand, 5 to 8% Slope	D	Poorly drained	Severe: wetness	Severe: wetness	20.37
Kendrick Sand, 2 to 5% Slope	A	Well drained	Slight	Slight	18.48
Lochloosa Fine Sand, 5 to 8% Slope	C	Somewhat poorly drained	Slight	Moderate: slope	14.0
Surrency Sand, 0 to 1% Slope	VP	Very Poorly drained	Severe: ponding	Severe: ponding	12.09
Arredondo Fine Sand, 5 to 8% Slope	A	Well drained	Slight	Moderate: slope	10.09
Blichton Sand, 0 to 5% Slope	D	Poorly drained	Severe: wetness	Severe: wetness	8.34
Bivans Sand, 5 to 8% Slope	D	Somewhat poorly drained	Severe: Wetness, shrink-swell	Severe: Wetness, shrink-swell	7.24
Lochloosa Fine Sand, 2 to 5% Slope	C	Somewhat poorly drained	Slight	Slight	6.02
Arredondo Fine Sand, 0 to 5% Slope	A	Well drained	Slight	Slight	1.82
Pits 0 to 4% Slope	N/A	N/A	N/A	N/A	1.53

Evaluation & Findings: The soil types present on the subject property do not pose any significant limitations for the proposed special exception use.

Flood Potential

Panel 12001C0120D of the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Series, dated June 16, 2006 indicates that the development area is in Flood Zone X (areas determined to be outside of the 500-year floodplain).

Evaluation & Findings: The subject property is located in Flood Zone X (areas determined to be outside of the 500-year floodplain) and there are no issues related to flood potential.

Karst-Sensitive Features

Karst sensitive areas include geologic features, such as fissures, sinkholes, underground streams, and caverns, and are generally the result of irregular limestone formations.

Evaluation & Findings: The subject property is located within an area designated by the Suwannee River Water Management District (SRWMD) High Aquifer Recharge Map (HARP) as an area with a moderately high aquifer recharge potential. The applicant provided no site-specific geologic or hydrogeologic field data concerning the karst nature of the subject property to the City. Further data will be required at the time an infrastructure plan is considered by the City for this parcel, should the special exception be approved.

Wellfield Protection Zones

Policy 7.2.1 of the Future Land Use Element of the City's Comprehensive Plan establishes a 500-foot radius area around each city-owned potable water well.

Evaluation & Findings: The subject property is not located within a City of Alachua wellfield protection zone as identified on the City of Alachua Wellfield Primary Protection Zones Map of the City's Comprehensive Plan; therefore, there are no issues related to wellfield protection

Historic Structures/Markers and Historic Features

The State of Florida and the Alachua County Historic Resources Inventory identify historic structures in addition to the City's Historic Overlay District, as established by Section 3.7 of the City's Land Development Regulations.

Evaluation & Findings: The subject property is not within the City's Historic Overlay District and the State of Florida and Alachua County Historic Resources Inventory note no historic structure or markers on the subject property.

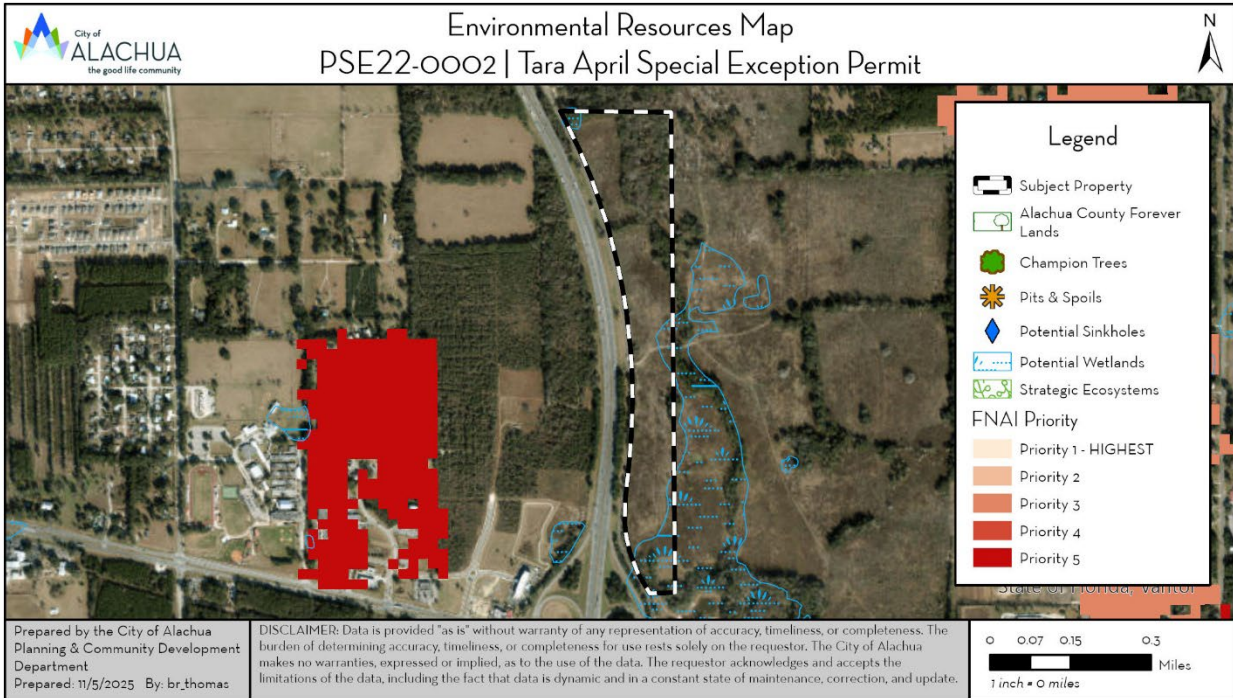


Figure 4. Environmental Resources Map

FINDINGS OF FACT: COMPLIANCE WITH LAND DEVELOPMENT REGULATIONS

Special Exception Permit Standards

Section 2.4.4(D) of the City’s Land Development Regulations (LDRs) establishes the standards with which all special exception permits must be found compliant. The application has been reviewed for compliance with the standards of Section 2.4.4(D). An evaluation of the findings of the applicant’s compliance with the standards of Section 2.4.4(D) is provided below. The applicant has also provided an analysis of the application’s compliance with Section 2.4.4(D) in the supporting application materials.

(D) ***Special exception standards.*** A special exception permit shall be approved only upon a finding the applicant demonstrates all the following standards are met:

(1) ***Complies with use specific regulations.*** The proposed special exception complies with all relevant standards in Section 4.3, Use specific standards, or Section 5.2.3(B), as applicable.

Evaluation & Findings: Section 4.3.2(l)(4) establishes use-specific standards which are applicable to minor utilities. An analysis of the application’s compliance with Section 4.3. 2(l)(4) is provided in this Staff Report. The applicant has also provided an analysis of the application’s compliance with Section 4.3. 2(l)(4) within the supporting application materials.

(2) ***Compatibility.*** The proposed special exception is appropriate for its location and compatible with the character of surrounding lands and the uses permitted in the zone district.

Evaluation & Findings: Compatibility is defined by the City’s Comprehensive Plan as, “a condition in which land uses or conditions can coexist in relative proximity to each other in a stable fashion over time such that no use or condition is unduly negatively impacted directly or indirectly by another use or condition.”

The proposed minor utility (storm water facility) use is located on the east side of April Boulevard, which runs parallel to Interstate 75. It is surrounded on the north by Agricultural zoning (including a commercial campground and vacant agricultural lands) on the east by Conservation lands, on the south by the Community Commercial district that will be served by the special exception permit if approved, and on the west by the April Boulevard right-of-way. The proposed stormwater facilities, which include a series of walking trails, are relatively passive uses that are compatible with the uses existing in the surrounding area.

(3) ***Design minimizes adverse impact.*** The design of the proposed special exception minimizes adverse effects, including visual impacts of the proposed use on adjacent lands; furthermore, the proposed special exception avoids significant adverse impact on surrounding lands regarding service delivery, parking and loading, odors, noise, glare, and vibration, and does not create a nuisance.

Evaluation & Findings: The design of the site and location of the proposed minor utility will have limited to no effect on any lands surrounding the special exception area.

- (4) *Design minimizes environmental impact.* The proposed special exception minimizes environmental impacts and does not cause significant deterioration of light, water and air resources, wildlife habitat, stormwater management, scenic resources, and other natural resources.

Evaluation & Findings: The proposed special exception use, i.e., stormwater management facilities, does not pose a significant deterioration of light or air resources, water resources in terms of flood control, wildlife habitat, scenic resources, and/or other natural resources found at ground surface. Additional data will be required at the infrastructure plan stage concerning minimization of environmental impacts, if any, to the subsurface conditions of the subject property.

- (5) *Roads and other public facilities.* There is adequate public facility capacity available to serve the proposed special exception, and the proposed special exception use is designed to ensure safe ingress and egress onto the site and safe road conditions around the site.

Evaluation & Findings: No adverse effects upon existing roadway service will result from the proposed use. Temporary parking for the trail system will be provided on a graded and stabilized non-paved surface located on the Community Commercial portion of the parcel until such time as it is developed and permanent paved parking will be provided. No connections to the City's potable water or sanitary sewer systems are proposed as part of the special exception permit and infrastructure plan applications.

- (6) *Not injure neighboring land or property values.* The proposed special exception will not substantially injure the use of neighboring land for those uses that are permitted in the zone district, or reduce land values.

Evaluation & Findings: It is not anticipated that the proposed special exception would have any substantial impact which would injure the use of neighboring land for the uses permitted in the current zoning districts or reduce land values.

- (7) *Drawings.* A site plan (Subsection 2.4.9 of this section) or preliminary plat (Subsection 2.4.10(G)(3) of this section) has been prepared that demonstrates how the proposed special exception use complies with the other standards of this subsection.

Evaluation & Findings: Per Section 2.4.9(C), minor utilities as defined under Section 10.2 are exempt. A special exception master plan has been submitted and reviewed as part of this special exception permit application. The special exception master plan demonstrates that the proposed use complies with the applicable requirements of the LDRs.

- (8) *Complies with all other relevant laws and ordinances.* The proposed special exception use complies with all other relevant City laws and ordinances, State and Federal laws, and regulations.

Evaluation & Findings: The application is found to comply with all other applicable City laws and ordinances, State and Federal laws, and regulations.

Special Exception Permit Standards

Section 4.3.2(I)(4) of the City's Land Development Regulations (LDRs) establishes the use-specific standards with which all minor utilities must be found compliant. The application has been reviewed for compliance with the standards of Section 4.3.2(I)(4). An evaluation of the findings of the applicant's compliance with the standards of Section 4.3.2(I)(4) is provided below. The applicant has also provided an analysis of the application's compliance with Section 4.3.2(I)(4) in the supporting application materials.

- (a) **Location.** Be located within reasonable proximity of the area to be served. Stormwater detention and retention facilities may be permitted by special exception permit on properties with less intense zoning district designations under common ownership, subject to the following requirements:
- (i) The zoning designation of the location of the stormwater detention and retention facility allows minor utilities; and,
 - (ii) The stormwater detention and retention facility meets the compatibility requirements as set forth in Subsection 4.3.2(I)(4)(b); and,
 - (iii) The stormwater detention and retention facility provides an enhanced natural (e.g., increased topographic relief, vegetative diversity, etc.) or recreational (e.g., perimeter trail, boardwalk, interpretive kiosk, etc.) functional use.

Evaluation & Findings: The proposed minor utility (stormwater facilities) are located directly adjacent to the parcel(s) to be served, and are under common ownership. The Agricultural zoning district allows minor utilities by special exception permit. The stormwater detention and retention facility meets the compatibility requirements as set forth in Subsection 4.3.2(I)(4)(b). The stormwater detention and retention facility provides an enhanced recreational functional use by the development of perimeter trails that provide multiple points of access, including public right of ways, the adjacent Community Commercial development, the residential developments to the east, and the City of Alachua Mill Creek Sink Water Quality Improvement Project to the south.

- (b) **Compatibility.** Provide adequate setbacks, screening and buffering around the perimeter of the proposed use if it is deemed necessary to ensure land use compatibility with surrounding uses.

Evaluation & Findings: The proposed minor utility (stormwater facilities) will not require additional screening or buffering to ensure land use compatibility with surrounding uses.

- (c) **Exemptions.** The provisions of this subsection shall not be applicable when the differing zoning designations are both classified as residential districts or are both classified as business districts, as categorized in Table 3.1-1, Establishment of Base Zone Districts. Stormwater detention and retention facilities serving residential districts shall be permitted in business districts without special exception if included as part of a master stormwater permit or common development plan.

Evaluation & Findings: The minor utility (stormwater facilities) is to be located within the Agricultural zone district to serve the adjacent Community Commercial zone district; therefore, this exemption is not applicable.

**EXHIBIT “A”
TO
PSE22-0002 | TARA APRIL
SPECIAL EXCEPTION PERMIT
STAFF REPORT**

CONDITIONS

1. The applicant acknowledges and agrees that the applicant shall install an interpretive kiosk at the City Water Improvement Project Site (Mill Creek Stormwater Enhancement Area) with the location of the kiosk to be determined by the City of Alachua, in its sole discretion. This condition shall be the obligation of any subsequent party with interest in the property subject to this development order.
2. The applicant acknowledges and agrees that the following uses shall be prohibited on the land zoned Community Commercial and located on Tax Parcel Number 03020-000-000: gasoline sales; general industrial service (principal use); laundry, dry cleaning, and carpet cleaning (principal use); tire sales and mounting (principal use); parking lot (principal use); and park and ride facilities. This condition shall be the obligation of any subsequent party with interest in the property subject to this development order.
3. The applicant acknowledges and agrees that at least two (2) points of access from the proposed trail network to the future commercial development area (with trail signage) will be provided with the exact location determined at the time of development plan review for the commercial area. Points of access shall be approved by City staff during the review of a development plan (e.g., Site Plan or other applicable development review process). This condition shall be the obligation of any subsequent party with interest in the property subject to this development order.
4. The applicant acknowledges and agrees that future commercial development shall be required to provide internal pedestrian network (sidewalk) connections to the adjacent trail network. The internal pedestrian network shall be approved by City staff during the review of a development plan (e.g., Site Plan or other applicable development review process). This condition shall be the obligation of any subsequent party with interest in the property subject to this development order.
5. The applicant acknowledges and agrees that the construction of the trail network shown on the plans shall occur with the construction of the interconnected basin system. This condition shall be the obligation of any subsequent party with interest in the property subject to this development order.
6. The applicant acknowledges and agrees that the parking area shall be temporary and shall remain in place until permanent parking is constructed as part of the future commercial development presently located on Tax Parcel number 03020-000-000. The temporary parking shall be an unpaved, stabilized surface. This condition shall be the obligation of any subsequent party with interest in the property subject to this development order.

7. The applicant acknowledges and agrees that the applicant and owner will obtain all other applicable local, state, and federal permits before the commencement of site work. This condition shall be the obligation of any subsequent party with interest in the property subject to this development order.
8. The applicant acknowledges and agrees that to ensure the continued compliance with the City of Alachua Comprehensive Plan and Land Development Regulations, the development order authorizing this special exception permit shall be recorded in the public records of Alachua County, Florida, and shall run with the land. The applicant further acknowledges and agrees that the applicant shall be responsible for all costs associated with recording the development order in the public records of Alachua County, Florida. This condition shall be the obligation of any subsequent party with interest in the property subject to this development order.
9. The applicant acknowledges and agrees that Conditions 1 - 8 as stated above do not inordinately burden the land and shall be binding upon the property owner, including any subsequent property owners, successors, or assigns, and that the special exception permit shall comply with Conditions 1 -9 as stated herein.

EXHIBIT "B"
TO
PSE22-0002 | TARA APRIL
SPECIAL EXCEPTION PERMIT
STAFF REPORT

SUPPORTING MATERIALS
SUBMITTED BY CITY STAFF TO THE
PLANNING AND ZONING BOARD

November 3, 2025

Submitted electronically to cvega@edafl.com

Claudia Vega, PE
Director of Engineering
Eda consultants, inc.
720 SW 2nd Avenue
South Tower, Ste. 300
Gainesville, FL 32601

Application #: PSEP22-0004

RE: Notice of Hearing to be Scheduled for Tara April Special Exception Permit

Dear Ms. Vega,

The City of Alachua has reviewed the revised applications and materials for a Special Exception Permit and Infrastructure Plan submitted on behalf of Tara Forest, LLC. The applications propose the construction of stormwater management facilities and other associated site improvements to provide stormwater quality treatment on a ±58.32 acre subject property, located on Tax Parcel Number 03020-000-000. Based upon a review of the revised applications, the City has determined that the applications can now be scheduled for public hearings.

The Special Exception Permit will require a public hearing before the Planning and Zoning Board (PZB) and is scheduled for the **November 18, 2025** PZB Meeting. The Infrastructure Plan will require a public hearing before the City Commission and is *tentatively* scheduled for the December 8, 2025 City Commission Meeting (pending PZB action on the Special Exception Permit).

You must provide two *double sided, three-hole punched, color sets* of each complete application package, seven full size sets of site plans, and a digital copy of all materials in PDF format on a CD or by emailing a Cloud/FTP link to download the materials to planning@cityofalachua.org *no later than 10 business days prior to the Planning & Zoning Board meeting at which your application is scheduled to be heard*; therefore, the above referenced materials must be submitted to the City no later than **Tuesday, November 4, 2025**. Materials may be submitted earlier than this date.

Additionally, Section 2.2.9(D) of the Land Development Regulations requires the applicant to place posted notice signs on the subject property at least 14 days prior to the public hearing; therefore, posted notice signs must be placed on the property no later than **Tuesday,**

November 4, 2025. These signs will be ready for pickup after 12:00 PM on November 3, 2025. You will be notified again when the signs are available.

If you plan to utilize a PowerPoint presentation or would like other materials to be available for reference during the public hearing, please submit the presentation or materials no later than 12:00 PM on the last business day prior to the Planning & Zoning Board meeting; therefore, the presentation or materials must be submitted no later than 12:00 PM on *Monday, November 17, 2025.* Any presentation or materials may be submitted electronically by emailing them to planning@cityofalachua.org.

If you have any questions regarding the information above, please contact me at (386) 418-6122 or at br_thomas@cityofalachua.com.

Sincerely,



Bryan S. Thomas, AICP
Director of Planning & Community Development

CC: Rodolfo Valladares, City Manager *(by electronic mail)*
Scott Walker, Interim City Attorney *(by electronic mail)*
Kiersten Ballou, Asst. City Attorney *(by electronic mail)*
Jazzlyn Shannon, Legal Assistant *(by electronic mail)*
Bernadette Fisher, Principal Planner *(by electronic mail)*
Carson J. Crockett, AICP, Principal Planner *(by electronic mail)*
Brenda Flieger, Planning Assistant *(by electronic mail)*
Project File



REPLY TO: TALLAHASSEE

November 26, 2024

VIA ELECTRONIC MAIL AND UNITED STATES MAIL

Jeff Childers, Esquire
Childers Law, LLC
2135 NW 40th Terrace, Suite B
Gainesville, FL 32605

Re: *Childers' Letter Dated November 15, 2024*

Dear Mr. Childers:

I have reviewed your letter dated November 15, 2024, in which you request that the City of Alachua, Florida ("City"), schedule a hearing on December 10, 2024, for final approval of the Special Exception Permit for the Tara April Project. In support of your request, you made the following allegations:

1. Pursuant to Section 166.033, *Florida Statutes*, the City is required to schedule a hearing on December 10, 2024, for final approval of the Special Exception Permit for the Tara April Project;
2. Your client "holds enforceable vested rights" "by virtue of its substantial investments in reliance on existing approvals and assurances from the City and other regulatory bodies like the WMD"; and
3. "The County's tardy interference, only arising after the significant investments were made in reliance on prior approvals, is in bad faith."

Each of your allegations is addressed separately below.

TALLAHASSEE
433 NORTH MAGNOLIA DRIVE
TALLAHASSEE, FLORIDA 32308
(850) 224-7332
FAX: (850) 224-7662

ORLANDO
1809 EDGEWATER DRIVE
ORLANDO, FLORIDA 32804
(407) 347-5388
FAX: (407) 264-6132

1. **Whether Pursuant To Section 166.033, *Florida Statutes*, The City Is Required To Schedule A Hearing On December 10, 2024, For Final Approval Of The Special Exception Permit For The Tara April Project**

Section 166.033, *Florida Statutes*, states as follows, in pertinent part:

(1) Within 30 days after receiving an application for approval of a development permit or development order, a municipality must review the application for completeness and issue a letter indicating that all required information is submitted or specifying with particularity any areas that are deficient. If the application is deficient, the applicant has 30 days to address the deficiencies by submitting the required additional information. Within 120 days after the municipality has deemed the application complete, or 180 days for applications that require final action through a quasi-judicial hearing or a public hearing, the municipality must approve, approve with conditions, or deny the application for a development permit or development order. Both parties may agree to a reasonable request for an extension of time, particularly in the event of a force majeure or other extraordinary circumstance. An approval, approval with conditions, or denial of the application for a development permit or development order must include written findings supporting the municipality's decision. The timeframes contained in this subsection do not apply in an area of critical state concern, as designated in s. 380.0552 or chapter 28-36, Florida Administrative Code.

Accordingly, pursuant to Section 166.033(1), *Florida Statutes*, with respect to any application for a “development permit or development order” that requires “final action through a quasi-judicial hearing or a public hearing,” the municipality must, within 180 days, “approve, approve with conditions, or deny the application.”

While Section 166.033(1), *Florida Statutes*, sets forth this 180-day provision, it is silent, however, as to the ramifications when a municipality fails to take the required action within 180 days. As such, the statute does not set forth any procedural recourse for an applicant where a municipality fails to “approve, approve with conditions, or deny the application for a development permit or development order” within 180 days. The Florida Legislature adopted the 180-day provision in 2019, pursuant to HB 7103. *See* § 8, 2019-165, Laws of Fla. The legislative history for HB 7103 does not address this issue.

To date, there are no reported cases regarding the 180-day provision. There are a few decisions that are marginally relevant to the extent the courts addressed an applicant's recourse where a municipality failed to adhere to other requirements contained in Section 166.033, *Florida Statutes*.

In *Edgewater House Condominium Association v. City of Fort Lauderdale*, 825 Fed.Appx. 658 (11th Cir. 2007), the United States Eleventh Circuit Court of Appeals stated as follows about the procedural history of the case:

The state court denied Edgewater's Certiorari Action on the merits on May 23, 2019. With respect to Edgewater's statutory claim, **the court agreed with Edgewater that the City Commission did not comply with § 166.033(2), but it decided that the statute provided no remedy for this violation.** Instead, the court instructed Edgewater to request "an amended written notice citing to the specific basis" for the Commission's decision. The court did not explicitly discuss Edgewater's due process claim but noted that it had "carefully considered the briefs, the record, and the applicable law" in denying Edgewater's Certiorari Action on the merits.

Id. at 661 (emphasis supplied). The court's assessment of the trial court's order is accurate. Therein, the trial court stated as follows:

In its petition, Edgewater contends the City's Resolution No. 18-160 does not cite to specific provisions of the City's Unified Land Development Regulations ("ULDR"), Comprehensive Plan, or Downtown Master Plan, upon which the denial was based, as is required by section 166.033(2), Florida Statutes. In its Response, the City acknowledges its Resolution No. 18-160 does not cite specific provisions of its plans or codes upon which the denial was based. Section 166.033(2), Florida Statutes, requires that "[t]he notice must include a citation to the applicable portions of an ordinance, rule, statute, or other legal authority for the denial of the permit." § 166.033(2), Fla. Stat. **However, section 166.033, Florida Statutes, does not provide any procedure or remedy to address the City's undisputed failure to comply with section 166.033(2), Florida Statutes. Instead, Edgewater may request and the City may issue an amended written notice citing to the specific basis of its denial of Edgewater's site plan application.** Accordingly, having carefully considered the briefs, the record, and the applicable law, this Court

dispenses with oral argument and the Petition for Writ of Certiorari is hereby **DENIED on the merits**.

Edgewater House Condo. Ass'n, Inc. v. City of Fort Lauderdale, Case No. 18-022278 (Fla. 7th Cir. Ct. May 23, 2019) (“Final Order Denying Petition for Writ of Certiorari”) (emphasis supplied).

Similarly, in *Mills v. Town of Windermere*, 23 Fla. L. Weekly Supp. 678a (Fla. 9th Cir. Ct. Nov. 30, 2015) (“Final Order Denying Second Amended Petition for Writ of Certiorari”), the petitioner in a certiorari case alleged that the town deprived him of due process based upon a violation of Section 166.033, *Florida Statutes*. The petitioner based this contention on the fact that the town provided written notice of its decision, as required by Section 166.033, *Florida Statutes*, more than fourteen (14) months after the town council had voted to deny his variance request.

In rejecting this argument, the circuit court recognized that “***it is rare for a court to reverse an agency’s order due to a delay in rendering a final decision***,” and that “***Florida courts are reluctant to do so even when statutory deadlines were violated***.” (Emphasis supplied). Moreover, in light of these principles, the court explained that “Florida courts only reverse orders based on this argument when the aggrieved parties demonstrate how the delays prejudiced them.” Applying this standard, the court ruled that the petitioner had failed to demonstrate how the town’s delay had resulted in any prejudice. Moreover, the court found that the petitioner had not explained “how he was prevented from pursuing a petition for writ of mandamus forcing the Council to enter an order.”

Thus, Section 166.033, *Florida Statutes*, does **not** require the City to schedule a hearing on December 10, 2024, for final approval of the Special Exception Permit for the Tara April Project. *Cf. Caliente Partnership v. Johnston*, 604 So. 2d 886, 888 (Fla. 2d DCA 1992) (“the statute is silent on specific remedies and we decline to fashion one”). Moreover, it cannot be refuted that your client has caused extensive delays in the City’s ability to process your client’s application for a Special Exception Permit for the Tara April Project and, by its conduct, has waived any 180-day requirement even if applicable.

2. Whether Your Client “Holds Enforceable Vested Rights” “By Virtue Of Its Substantial Investments In Reliance On Existing Approvals And Assurances From The City And Other Regulatory Bodies Like The WMD”

As an initial matter, your November 15 letter fails to identify any “investments in reliance on existing approvals and assurances from the City and other regulatory bodies like the WMD.” Additionally, you fail to identify any purported “vested rights.” Moreover, as a matter of law, your client cannot have a vested right which compels the City to approve a pending application for a Special Exception Permit for Tara April. Rather, the determination of whether to approve your client’s pending application for a Special Exception Permit for Tara April will be made during a quasi-judicial hearing and will be based upon competent, substantial evidence.

Your client's vested rights' contention also ignores certain statements by the City Manager in his letter dated June 29, 2022, to Sayed Moukhtara in which the City Manager stated as follows:

It has come to the attention of City staff ("Staff") during review of development applications involving the above three referenced projects that were submitted at various times, that numerous aspects and requirements for them are inextricably intertwined or dependent on other prerequisites before they can be considered for final approval. In other words, none of the above projects stands on their own merit, but instead, they are dependent on the approval of the other applications.

As such, Staff, including Planning & Community Development and Public Services, will not be proceeding with further review of each of these projects in their current form, as it does not appear that any of them can receive ultimate final approval standing individually on their own merit. *As Staff has been reviewing the viability of the above referenced projects, the interdependency of one project on the other or on other applications has become readily apparent.* Staff does not wish to mislead any applicant regarding the success of an application.

(A copy of the City Manager's June 29 letter is attached hereto as Exhibit "A.") (emphasis supplied).¹ The City Manager's June 29 letter pertained to Tara Forest West, Tara April, and Tara Phoenicia.

Thus, your client does not hold "Enforceable Vested Rights" which would compel the City to approve your client's pending application for a Special Exception Permit for Tara April.

3. Whether "The County's Tardy Interference, Only Arising After The Significant Investments Were Made In Reliance On Prior Approvals, Is In Bad Faith"

At this juncture, the City's Planning and Zoning Board has not yet conducted a quasi-judicial hearing on your client's pending application for a Special Exception Permit for Tara April. Similarly, the City Commission has not conducted a quasi-judicial hearing on your client's pending

¹ The Tara Forest West Project is dependent upon two (2) new roads to be located in the Tara Phoenicia Project over and adjacent to the Mill Creek Cavern and Cave System. The Tara April Project is dependent upon the Tara Forest West Project's residents utilizing the recreational trails to fulfill the recreational enhancement requirement. The Tara Phoenicia Project is dependent upon the Tara April Project for flood plain compensation.

application for an Infrastructure Plan. Thus, your contention that the County's concerns constitute "tardy inference" is nonsensical. It is well established in Florida law that affected parties and members of the public have the right to raise concerns with pending applications.

Moreover, the County has provided the City with evidence that your client failed to provide regarding the Mill Creek Cavern and Cave System. For example, the County has provided to the City a document which overlays your client's proposed projects over the Mill Creek Cavern and Cave System. (A copy of this document is attached hereto as Exhibit "B."). To date, your client has failed to provide evidence which demonstrates that your client's proposed projects will not adversely impact the Mill Creek Cavern and Cave System or that your client's proposed projects can be safely developed over and/or adjacent to the Mill Creek Cavern and Cave System.

Objective 1.7 of the Conservation and Open Space Element of the City's Comprehensive Plan states as follows:

Objective 1.7: Geological Resources

The City shall identify, protect and conserve significant geological resources and their natural functions.

"Geological resources" are defined as follows in the City's Comprehensive Plan:

Geological resources: a general reference category that includes the geologic features defined herein.

(See Administration and Implementation Element at "DEFINITIONS.")

A "Geologic feature" is defined as follows in the City's Comprehensive Plan:

Geologic feature: prominent or conspicuous characteristics of naturally occurring materials in the landscape. These features include, but are not limited to sinkholes, caves, stream bluffs, escarpments, outcroppings and springs.

(See *id.*) (emphasis supplied).

Thus, the City's Comprehensive Plan mandates that the City shall "protect and conserve" the Mill Creek Cavern and Cave System. Yet, to date, your client has failed to provide any ground penetrating radar or electromagnetic imaging to demonstrate that your client's proposed projects will not adversely impact the Mill Creek Cavern and Cave System or that your client's proposed projects can be safely developed over and/or adjacent to the Mill Creek Cavern and Cave System.

Jeff Childers, Esquire
November 26, 2024
Page 7

Your client has also failed to demonstrate compliance with Policy 5.1.a of the Future Land Use Element of the City's Comprehensive Plan, which states as follows:

Policy 5.1.a: *Topography*:

The City shall protect the natural topography of the City, including steep and seepage slopes, by requiring new development to include techniques to minimize negative impacts on the natural terrain. An emphasis will be placed on retaining the natural function of seepage slopes during development. Additionally, retention of existing native vegetation will be encouraged as one method of protecting slopes.

Based upon information provided by your client, the Tara Phoenicia Project proposes to add approximately 9,000 truckloads of cut and fill which will total approximately 130,000 cubic yards. Similarly, the Tara April Project also proposes a substantial change in the topography of the subject property. Thus, the Tara Phoenicia Project and the Tara April Project propose to substantially alter, not protect, the natural topography of the City.

The above-referenced provisions of the City's Comprehensive Plan are just a few examples of deficiencies associated with your client's pending applications.

In conclusion, all of the allegations in your November 15 letter are without merit. Please do not hesitate to contact me if you have any questions or need further information.

Sincerely,



David A. Theriaque

Enclosures

cc: Mike DaRoza, City Manager
Marian Rush, City Attorney
Kathy Winburn, City Planning and Zoning Director



City of Alachua

MAYOR GIB COERPER
Vice Mayor Jennifer Blalock
Commissioner Shirley Green Brown
Commissioner Dayna Miller
Commissioner Edward Potts

OFFICE OF THE CITY MANAGER
MIKE DAROZA

June 29, 2022

Sayed Moukhtara
7717 NW 20th Lane
Gainesville, Florida 32605

RE: TARA FOREST WEST, TARA APRIL & TARA PHOENICIA

Dear Mr. Moukhtara:

This letter is in regards to the above referenced projects.

It has come to the attention of City staff ("Staff") during the review of development applications involving the above three referenced projects that were submitted at various times, that numerous aspects and requirements for them are inextricably intertwined or dependent on other prerequisites before they can be considered for final approval. In other words, none of the above projects stands on their own merit, but instead, they are dependent on the approval of the other applications.

As such, Staff, including Planning & Community Development and Public Services, will not be proceeding with further review of each of these projects in their current form, as it does not appear that any of them can receive ultimate final approval standing individually on their own merit. As Staff has been reviewing the viability of the above referenced projects, the interdependency of one project on the other or on other applications has become readily apparent. Staff does not wish to mislead any applicant regarding the success of an application.

If you wish to discuss the above, a meeting with City staff can be arranged.

Regards,

Mike DaRoza
City Manager

Cc: Kathy Winburn, Planning & Community Development Director
Rodolfo Valladares, Public Services Director
Justin Tabor, AICP, Principal Planner
Adam Hall, AICP, Principal Planner



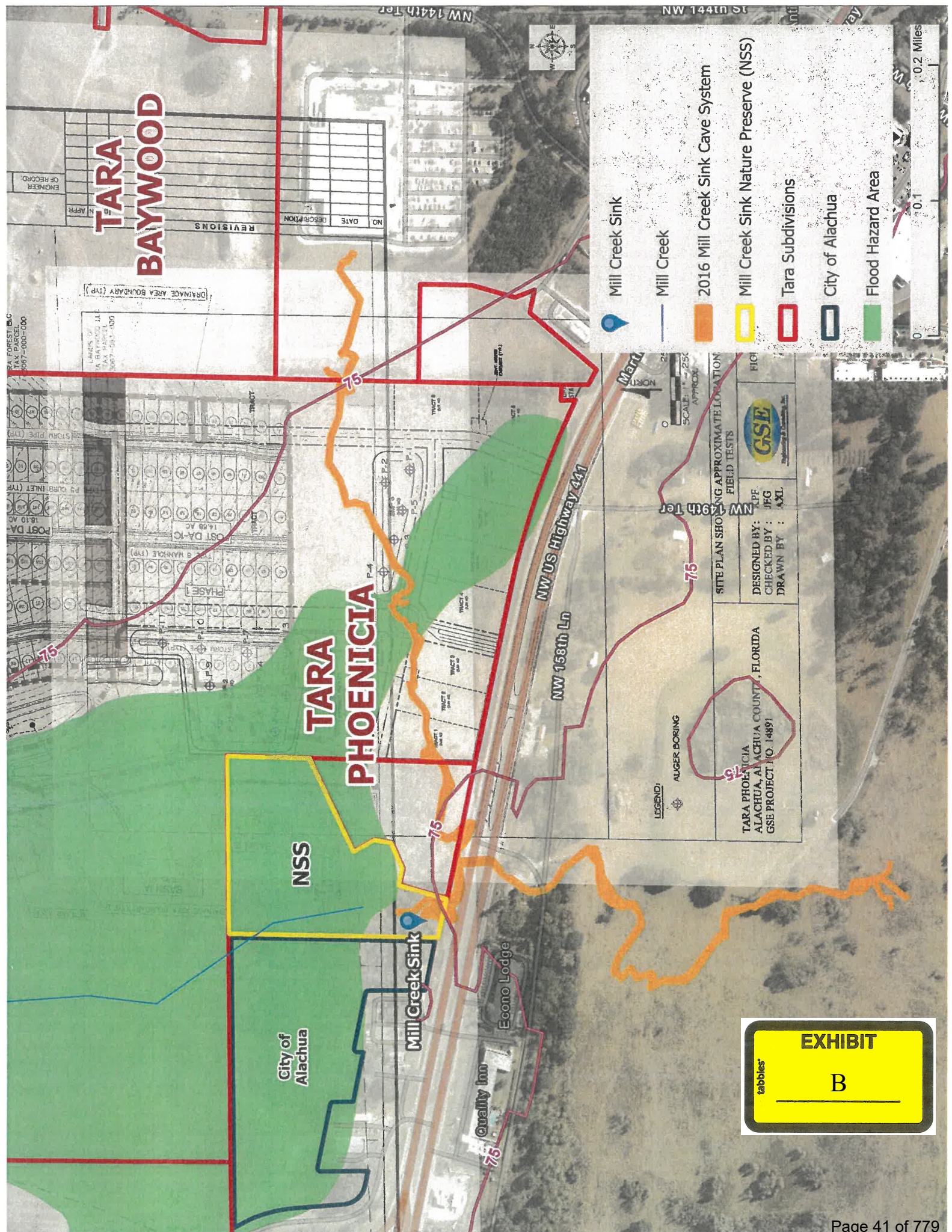
Aug. 18, 2022 - Meeting

City of Alachua

Adam Hall	Planning
Marian B. Rush	city attorney
MIKE DAROZA	CITY MANAGER
Kathy Winburn	Planning
Justin Tebar	Planning

Applicant

Adam Boukas
Jay Brown, JBPro
Chris Potts, JBPro
Cole Barnett, Salter Fleiber, PA
Denise Hutson, Salter Fleiber, PA
SAYED MOWKHETARA
SILVIA MOWKHETARA
Clay Sweger, eda
SERGIO REYES, eda



**TARA
BAYWOOD**

**TARA
PHOENICIA**

NSS

City of
Alachua

Mill Creek Sink

Quality Inn

Econo Lodge

NW US Highway 441
NW 158th Ln

NW 149th Ter

Mill Creek Sink

Mill Creek

2016 Mill Creek Sink Cave System

Mill Creek Sink Nature Preserve (NSS)

Tara Subdivisions

City of Alachua

Flood Hazard Area

TARA PHOENICIA
ALACHUA, ALACHUA COUNTY, FLORIDA
GSE PROJECT NO. 14891



LEGEND:
ALUGER BORING

SITE PLAN SHOWING APPROXIMATE LOCATION
FIELD TESTS

DESIGNED BY: JPF
CHECKED BY: JFG
DRAWN BY: AXL

EXHIBIT
B

0 0.1 0.2 Miles



CHILDERS LAW, LLC

Jeff Childers, Esq.
jchilders@smartbizlaw.com

Nicholas P. Whitney, Esq.
nwhitney@smartbizlaw.com

Charles H. Hardage, Esq.
chardage@smartbizlaw.com

Friday, November 15, 2024

David Theriaque, Esq.
Theriaque & Spain
433 North Magnolia Drive
Tallahassee, FL 32308

Via electronic mail to dat@theriaquelaw.com and first class U.S. mail, postage prepaid

RE: TARA APRIL (TIME-SENSITIVE) / TARA MASTER PROJECT

Dear David,

I hope you are well. Pursuant to your email request of October 21, 2024, I am corresponding with you regarding the above-referenced matters in your capacity as staff counsel. This is a time-sensitive and urgent request.

Although your email stated that the City of Alachua had, at least informally, placed the Tara Projects on hold pending staff analysis of the irrelevant and unfounded issues raised by Alachua County,¹ I nevertheless write to request the hearing on final approval of the Special Exception Permit for the Tara April project be placed on the December 10, 2024 hearing calendar, which by our reckoning requires public notice to be issued **next week** (the week of November 18-22).

Obviously, unnecessary hearing delays have significant financial consequences.

The applicable facts and law supporting my request follow. Tara April's Special Exception Permit and Infrastructure Plan were accepted by the City and scheduled for final hearing on September 10, 2024 (Special Exception Permit) and tentatively for October 7, 2024 (Infrastructure Plan). Please see attached letter from Justin Tabor dated July 30, 2024. In other words, all conditions related to approval of the permit were complete prior to July 30, 2024.

As you know, § 166.033, Florida Statutes, requires that within "180 days for applications that require final action through a quasi-judicial hearing or a public hearing, the municipality must approve, approve with conditions, or deny the application for a development permit or

¹ I would be grateful for an update on the City's progress and its current view of when activity may resume.

development order.” We believe that Tara April must be placed on the December 10, 2024 agenda for the City to comply with its statutory duty.

Thus, I respectfully request that you immediately confer with staff to ensure this critical scheduling obligation is fulfilled. If, for any reason, this cannot be accomplished, please promptly notify me.

Next, as I am sure you are aware, by virtue of its substantial investments in reliance on existing approvals and assurances from the City and other regulatory bodies like the WMD,² Tara holds enforceable vested rights. See, e.g., *Monroe County v. Ambrose*, 866 So.2d 707 (2003). The County’s tardy interference, only arising after the significant investments were made in reliance on prior approvals, is in bad faith. At the County’s emergency October hearing, various Commissioners expounded at length about “accidentally” overlooking the years-long project. The County’s *negligence* is not a good faith basis to raise untimely concerns years after the appropriate time.

Next, I would like to offer a few observations about the County’s position. I have also attached the County’s October 15, 2024 letter addressed to the Water Management District. I’m certain you will note, as I did, the tone and detail in the WMD letter varied significantly from the County’s letter of the same date addressed to the City.

The County’s WMD letter refers to the entire “I-75/US441 corridor between Alachua and High Springs,” rather than just the area around the interstate interchange, as it referenced in its letter to the City. We respectfully suggest that, if the City accedes to the County’s interference in this project, it will be emboldened to continue similar unlawful interference in future projects in the entire region.

Next, you will note that the County’s WMD letter also greatly broadens the description of its interests compared to the letter sent to the City. The WMD letter refers to the County’s concerns over karst geology generally and not just karst designated property (“karst sensitive areas”). Indeed, with sufficient depth, caves and voids can be found nearly everywhere in Florida.

Increasing the burden of environmental inspections and requiring “best practices” not provided for in applicable planning regulations will discourage development in the City. I am sure that you will also recognize the material fact that the City has not historically required these heightened, extra-regulatory development standards for other projects along the “I-75/US441 corridor between Alachua and High Springs,” or in other “karst sensitive areas.”

² See, e.g., Suwanee River Water Management District Permit Numbers ERP-001-242142-2, issued on January 10, 2023, and ERP-001-241954-1, issued on December 20, 2022.



The City of Alachua has consistently exercised its jurisdiction over local development projects without external interference, a practice firmly supported by Florida's statutory framework and municipal autonomy in land use matters. By adhering to the City's established regulatory processes, Alachua ensures that projects like Tara April undergo thorough local evaluation, balancing growth with community needs and existing zoning standards. Yielding to the County's recent, overreaching demands could set a poor precedent, undermining the City's capacity to make independent determinations for its future. Alachua's authority over its development process not only aligns with statutory mandates but serves the best interests of its residents by preserving local control and responsiveness in decision-making.

My client has enjoyed, and hopes to continue enjoying, a positive and productive relationship with the City. Our projects will benefit the City, its citizens, its businesses, and its environment. We appreciate the City's uncompromising adherence to the rule of law and common sense in this and future similar matters.

In light of these considerations, we urge that the Tara April project be promptly scheduled for approval at the December 10, 2024, hearing to satisfy statutory deadlines and support the City's growth trajectory. Any barriers to fulfilling this scheduling request should be communicated without delay, as timely action is essential for the project's viability and for the City's compliance with state law. Thank you for your attention to this request and for upholding the City's commitment to a fair, expedient review process that prioritizes both local autonomy and the public interest.

Thank you,



Jeff Childers





City of Alachua

MIKE DAROZA
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN

July 30, 2024

Sent by electronic mail to cvega@edaf.com

Claudia Vega, P.E.
EDA Consultants, Inc.
720 SW 2nd Avenue
South Tower, Suite 300
Gainesville, FL 32601

RE: Public Hearings for Ben E. Keith Site Plan Application Tara April Special Exception Permit and Infrastructure Plan Applications

Dear Ms. Vega:

The City of Alachua has reviewed the revised applications and materials for a Special Exception Permit and Infrastructure Plan submitted on behalf of Tara Forest, LLC. The applications propose the construction of stormwater management facilities and other associated site improvements to provide stormwater quality treatment on a ±58.32 acre subject property, located on Tax Parcel Number 03020-000-000. Based upon a review of the revised applications, the City has determined that the applications can now be scheduled for public hearings.

The Special Exception Permit will require a public hearing before the Planning and Zoning Board (PZB) and is scheduled for the September 10, 2024 PZB Meeting. The Infrastructure Plan will require a public hearing before the City Commission and is tentatively scheduled for the October 7, 2024 City Commission Meeting (pending PZB action on the Special Exception Permit).

Prior to the PZB Meeting, you must provide two (2) *double-sided, three-hole punched, color sets* of the **complete** Special Exception Permit application package, seven (7) sets of plans, and a digital copy of all materials in PDF format on a CD or by emailing a Cloud / FTP link to download the materials to planning@cityofalachua.com. These materials must be submitted *no less than 10 business days prior to the meeting date* (no later than **Tuesday, August 28, 2024**). Materials may be submitted earlier than this date.

In addition, Section 2.2.9(D) of the Land Development Regulations requires the applicant to place posted notice signs on the subject property at least 14 days prior to the public hearing. Therefore, posted notice signs must be placed on the property no later than **Tuesday, August 28, 2024**. Staff will contact notify you when the signs are available for pick up at City Hall.

If you plan to utilize a PowerPoint presentation or would like other materials to be available for reference during the public hearing, please submit the presentation or materials no later than 12:00 PM on the last business day prior the PZB meeting (no later than **Monday, September 9,**

2024). Any presentation or materials may be submitted by emailing them to planning@cityofalachua.com.

Should you have any questions, please feel free to contact me at (386) 418-6100, x 1602 or via email at jtabor@cityofalachua.com.

Sincerely,



Justin Tabor, AICP
Principal Planner

- c: Mike DaRoza, City Manager (*by electronic mail*)
Rodolfo Valladares, PE, Assistant City Manager (*by electronic mail*)
Kathy Winburn, Planning & Community Development Director (*by electronic mail*)
Adam Hall, AICP, Principal Planner (*by electronic mail*)
Carson Crockett, AICP Candidate, Planner (*by electronic mail*)
Project File



Alachua County Board of County Commissioners

Mary C. Alford, *Chair*
Charles S. Chestnut, IV, *Vice Chair*
Ken Cornell
Anna Prizzia
Marihelen Wheeler

Administration
Michele L. Lieberman
County Manager

October 15, 2024

hugh.Thomas@srwmd.org

Hugh Thomas, Executive Director
Suwannee River Water Management District
9225 CR 49
Live Oak, FL 32060

RE: Tara Forest West and Tara Phoenicia - Projects located near Mill Creek Sink, City of Alachua

Dear Mr. Thomas,

On behalf of the Alachua County Board of County Commissioners (BoCC), I respectfully urge you to have your staff further review and incorporate additional conditions into the proposed stormwater permit/ERP for Tara Forest West and Tara Phoenicia in order to adequately safeguard the Floridan aquifer, the Mill Creek Sink and Cave systems, and the downgradient springs on the Santa Fe River.

The I-75/US441 corridor between Alachua and High Springs is experiencing significant growth and development and it is critical that such development occur in a sustainable manner, using best engineering, landscaping, and management practices, to protect this area's vulnerable Floridan aquifer, caves, and springs systems. With the proper safeguards, the proposed development projects can serve as a model for development in karst sensitive areas and would better protect our valuable water resources.

Our environmental and planning staff are available and willing to sit down with District and City of Alachua staff to work on additional recommended conditions, safeguards, stormwater and site design strategies, including LID techniques to reduce the potential for harm to the Mill Creek system, the Floridan aquifer, and our drinking water.

Thank you for giving Alachua County the opportunity to provide input to address water resource concerns associated with these projects. We look forward to working with SRWMD and City of Alachua staff to ensure that these types of developments occur in a manner that protects these unique water resources.

If you have any questions, please do not hesitate to contact, Stephen Hofstetter, our Environmental Protection Department Director at shofstetter@alachuacounty.us or at (352) 264-6811.

Sincerely,

A handwritten signature in blue ink, appearing to read "Mary C. Alford".

Mary C. Alford, Chair
Alachua County Commission
Chr25.002

xc: Alachua County Board of County Commissioners
Michele Lieberman, County Manager
Sylvia Torres, County Attorney
Gib Coerper, City of Alachua Mayor
Mike DaRoza, City Manager
Katherine Weitz, City of High Springs Mayor
Jeremy Marshall, City of High Springs City Manager

FOLDS WALKER, LLC

ATTORNEYS AT LAW

ALLISON E. FOLDS†
S. SCOTT WALKER‡

NORMAN BLEDSOE
A. DEREK FOLDS
KIERSTEN N. BALLOU
DANIELLE C. ADAMS

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527 E. UNIVERSITY AVENUE
GAINESVILLE, FL 32601
TELEPHONE (352) 372-1282
FACSIMILE (352) 375-9960
WWW.FOLDSWALKER.COM

† Certified Family and Circuit Civil Mediator
‡ Certified Family Mediator

October 1, 2024

Sylvia Torres, Esq.
County Attorney's Office
12 SE 1st Street
Gainesville, FL 32601

SENT VIA CERTIFIED MAIL, RETURN RECEIPT REQUESTED

Re: City of Alachua – Tara Forest Final Plat

Dear Sylvia,

I am writing on behalf of the City Commission of the High Springs, as they requested, to express their concerns regarding the site approval of the Tara Forest Final Plat in the City of Alachua. While the project is not located within the City of High Springs, as an affected third party, we believe that its development may have significant impacts on our community and the surrounding area.

The City is aware that the County has also expressed concerns regarding this project and would like to offer its support and resources as all parties navigate this issue. The City believes that collaboration between the County and affected municipalities will help to address potential challenges more effectively.

Additionally, our office sent a letter, dated August 23, 2024, to the City of Alachua declaring ourselves as a third-party intervenor at the hearing pertaining to the final site approval for the Tera Forest Final Plat. We also requested they include us on all future correspondence related to the matter and to provide our office with any procedural requirements for our participation as same. We have not received any correspondence from the City of Alachua.

In that regard, we propose setting up a time for city and county staff to discuss the matter in further detail. Please let us know if the County is amenable to this and feel free to contact our office or the City Manager, Jeremy Marshall, to arrange a suitable time for this meeting.

We look forward to your response and the opportunity to work together on this important issue.

Very Truly Yours,

FOLDS WALKER, LLC


S. Scott Walker, Esq.

cc: Marian Rush, Esq., City Attorney for the City of Alachua;
Jeremy Marshall, City Manager for the City of High Springs; Mayor and City Commissioners



City of Alachua

MIKE DAROZA
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN

July 30, 2024

Sent by electronic mail to cvega@edaf.com

Claudia Vega, P.E.
EDA Consultants, Inc.
720 SW 2nd Avenue
South Tower, Suite 300
Gainesville, FL 32601

RE: Public Hearings for Ben E. Keith Site Plan Application Tara April Special Exception Permit and Infrastructure Plan Applications

Dear Ms. Vega:

The City of Alachua has reviewed the revised applications and materials for a Special Exception Permit and Infrastructure Plan submitted on behalf of Tara Forest, LLC. The applications propose the construction of stormwater management facilities and other associated site improvements to provide stormwater quality treatment on a ±58.32 acre subject property, located on Tax Parcel Number 03020-000-000. Based upon a review of the revised applications, the City has determined that the applications can now be scheduled for public hearings.

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Prior to the PZB Meeting, you must provide two (2) *double-sided, three-hole punched, color sets* of the **complete** Special Exception Permit application package, seven (7) sets of plans, and a digital copy of all materials in PDF format on a CD or by emailing a Cloud / FTP link to download the materials to planning@cityofalachua.com. These materials must be submitted *no less than 10 business days prior to the meeting date* (no later than **Tuesday, August 28, 2024**). Materials may be submitted earlier than this date.

In addition, Section 2.2.9(D) of the Land Development Regulations requires the applicant to place posted notice signs on the subject property at least 14 days prior to the public hearing. Therefore, posted notice signs must be placed on the property no later than **Tuesday, August 28, 2024**. Staff will contact notify you when the signs are available for pick up at City Hall.

If you plan to utilize a PowerPoint presentation or would like other materials to be available for reference during the public hearing, please submit the presentation or materials no later than 12:00 PM on the last business day prior the PZB meeting (no later than **Monday, September 9,**

2024). Any presentation or materials may be submitted by emailing them to planning@cityofalachua.com.

Should you have any questions, please feel free to contact me at (386) 418-6100, x 1602 or via email at jtabor@cityofalachua.com.

Sincerely,



Justin Tabor, AICP
Principal Planner

- c: Mike DaRoza, City Manager (*by electronic mail*)
- Rodolfo Valladares, PE, Assistant City Manager (*by electronic mail*)
- Kathy Winburn, Planning & Community Development Director (*by electronic mail*)
- Adam Hall, AICP, Principal Planner (*by electronic mail*)
- Carson Crockett, AICP Candidate, Planner (*by electronic mail*)
- Project File

RE: Tara April

Sergio Reyes <sreyes@edafl.com>

Thu 7/25/2024 11:06 AM

To: Justin Tabor <ju_tabor@cityofalachua.org>;

Cc: Clay Sweger <csweager@edafl.com>; Claudia Vega <cvega@edafl.com>;

Sounds good, thank you.

Sergio Reyes, P.E.

President

SReyes@edafl.com

edafl.com



720 SW 2nd Ave
South Tower, Suite 300
Gainesville, Florida 32601
(352) 373-3541

From: Justin Tabor <ju_tabor@cityofalachua.org>
Sent: Thursday, July 25, 2024 10:35 AM
To: Sergio Reyes <sreyes@edafl.com>
Cc: Clay Sweger <csweager@edafl.com>; Claudia Vega <cvega@edafl.com>
Subject: Re: Tara April

Good question. I think we can suffice with electronic only for now. We will need the standard 7 sets of plans and two copies of all other materials 2 weeks prior to PZB. I'll send a letter separately with further details.



JUSTIN TABOR

Principal Planner

📞 386.418.6123

✉️ jtabor@cityofalachua.org

🌐 www.cityofalachua.org

Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing.

From: Sergio Reyes <sreyes@edafl.com>
Sent: Thursday, July 25, 2024 10:13:03 AM
To: Justin Tabor
Cc: Clay Sweger; Claudia Vega
Subject: RE: Tara April

Justin:

Thanks for quick response. How many copies of the materials do you need? I assume that you need hard copies and electronic submittal too.

Let me know. Thanks

Sergio Reyes, P.E.

President

SReyes@edafl.com

edafl.com



720 SW 2nd Ave
South Tower, Suite 300
Gainesville, Florida 32601
(352) 373-3541

From: Justin Tabor <ju_tabor@cityofalachua.org>

Sent: Thursday, July 25, 2024 9:53 AM

To: Sergio Reyes <sreyes@edafl.com>

Cc: Clay Sweger <csweger@edafl.com>; Claudia Vega <cvega@edafl.com>

Subject: Re: Tara April

Sergio,

Since it is Mr. Moukhtara's intent to utilize the new processes established by the recent privately-initiated LDR text amendments, we needed to pause the review pending the creation of the new subdividers agreements and infrastructure plan agreements to implement the text amendments. That process concluded recently, which allowed the Tara Forest West preliminary plat to proceed with public hearings.

Through the development of the new agreements we have determined that an infrastructure plan agreement should not be necessary for Tara April since all improvements will be privately maintained. That said, we should be able to get the special exception on the September PZB and the infrastructure plan (pending approval of the special exception permit) to the Commission in October.

Could you please resubmit the application so we can make sure we have all documents in final form?

Thanks.



JUSTIN TABOR

Principal Planner

386.418.6123

jtabor@cityofalachua.org

www.cityofalachua.org

Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing.

From: Sergio Reyes <sreyes@edafl.com>
Sent: Thursday, July 25, 2024 7:35:33 AM
To: Justin Tabor
Cc: Clay Sweger; Claudia Vega
Subject: Tara April

Good Morning Justin:

What is status of Tara April permit? We re-submit back plans and supporting documentation in February of this year and we have not received any response or request for additional information.

Mr. Moukhtara informed us that his other projects have some level of approval (preliminary plat or final plats approval) and we would like to finalize Tara April.

Please let us know.

Thanks

Sergio Reyes, P.E.
President
SReyes@edafl.com
edafl.com



720 SW 2nd Ave
South Tower, Suite 300
Gainesville, Florida 32601
(352) 373-3541

June 29, 2023



Justin Tabor, AICP
Principal Planner
City of Alachua
PO Box 9
Alachua, FL 32616

Re: Planning Assistance Team (PAT) Summary: Tara April Special Exception Application

Dear Mr. Tabor:

The applicant's responses to the PAT review comments issued on June 26, 2023 are below.

1. Miscellaneous Clarifications

a. General Comment: The applicant proposes for the trail system to be constructed in three phases, however, the stormwater management facilities serving the property zoned Community Commercial will be constructed during Phase 1. Phase 2 proposes a connection to the Tara Forest West project and is thus contingent upon the approval and development of the Tara Forest West project in order for the interconnectivity between Tara Forest West and Tara April to be realized. Please provide further assurances within the conditions of the Special Exception addressing the phasing schedule and realization of Phase 2 and Phase 3 improvements.

RESPONSE: The Special Exception Master Plan (Condition #6) has been revised to better address the trail phasing schedule.

b. Page 4: the final paragraph of the Background states, "[a] related and fundamental part of the overall site design is to utilize the portion of the property with a Recreation and Agriculture zoning for a two-fold purpose..." Recreation is not a zoning category established by the City's LDRs. Revise accordingly.

RESPONSE: This paragraph has been revised to clarify the intent of this statement.

c. Page 6: The following statement conflicts with the standards for Special Exceptions as stated in Section 2.4.4(D): "It is the applicant's understanding that the City will review each Special Exception request individually and will consider approval based on the merits of the application and that the bar should be set high to permit such proposals in order to ensure a superior result in comparison to development that is allowed 'by right' without a Special Exception permit. It is is (sic) the applicant's that this application, which has been improved and enhanced based on input and discussions with City staff, will provide a 'win-win' condition for both the applicant and the residents of the City of Alachua and a (sic) overall superior result, which is the intent of this project proposal." Revise accordingly.

RESPONSE: This section has been revised to address the comment above.

d. Page 8: Clarify the following statement: “Proposed improvements that are above and beyond standard code requirements are again summarized below”. Particularly: i. Trail network is being provided to fulfill the requirements of Section 4.3.2(1)(4) which requires an enhanced recreational functional use.

RESPONSE: This statement has been revised to provide further clarification.

ii. Implementation of FDOT stormwater treatment basins is required by Policy 1.3.h of the Comprehensive Plan Future Land Use Element prior to commercial development. The statement that granting the Special Exception Permit will ‘expedite’ the implementation of Policy 1.3.h is irrelevant to the application of the Special Exception Permit standards or the fulfillment of Policy 1.3.h.

RESPONSE: This statement has been revised to provide further clarification.

i. Clarify the following statement: “...the proposed Special Exception has been prepared to demonstrate consistency with the applicable sections of the Comprehensive Plan and Land Development Code. Specifically, the application is consistent with and will help implement Comprehensive Plan Policy 1.3.h...”

RESPONSE: This statement has been revised to provide further clarification.

ii. Clarify the following statement: “In addition to compliance with Comprehensive Plan and Land Development Code, the Special Exception, if approved by the City of Alachua, will allow for the implementation of the landowner’s master plan, which will accomplish several objectives that are all supportive with and are interdependent upon each other and will provide a superior result to a standard ‘by right’ development limited in scope to just within the commercially-zoned property.”

RESPONSE: This statement has been revised to provide further clarification.

d. Page 9: Clarify the following statement: “In summary, the proposed design elements indicated on the Special Exception Master Plan will provide a superior result to a standard ‘by right’ development limited in scope to just within the commercially zoned property. The Special Exception will provide pedestrian interconnectivity to a variety of public private uses that would otherwise not be linked, including the recently completed water quality improvement project and help showcase the City project to the public, will limit commercial uses that would be in proximity to the Mill Creek conservation area and will help expedite and make financially feasible the FDOT water quality improvements as indicated in Policy 1.3.h.”

RESPONSE: This statement has been revised to provide further clarification.

e. Conclusion:

i. Clarify the following statement: "...the proposed Special Exception has been prepared to demonstrate consistency with the applicable sections of the Comprehensive Plan and Land Development Code. Specifically, the application is consistent with and will help implement Comprehensive Plan Policy 1.3.h..."

RESPONSE: This statement has been removed from this portion of the report.

ii. Clarify the following statement: "In addition to compliance with Comprehensive Plan and Land Development Code, the Special Exception, if approved by the City of Alachua, will allow for the implementation of the landowner's master plan, which will accomplish several objectives that are all supportive with and are interdependent upon each other and will provide a superior result to a standard 'by right' development limited in scope to just within the commercially-zoned property."

RESPONSE: This statement has been removed from this portion of the report.

f. Provide further information within the application regarding the existing wetland creek crossing that will be utilized, including pictures.

RESPONSE: eda has consulted with Verde Environmental regarding the following response that addresses this comment. The proposed creek crossing is at a very well-established stabilized road crossing that has been in place for many years. Attached photos are photos taken on June 27, 2023, that show the existing conditions at the crossing area. As can be seen, the crossing is completely dry, even after the extensive rainfall that has occurred over the previous several days. While this narrow crossing area was mapped in the environmental assessment as wetland, this area is disturbed & altered from its original condition. In comparison to the remainder of the wetland area, this crossing provides the lowest level of wetland function and minimal habitat value. The substrate has been altered through the addition of stone to stabilize the road bed, and the vegetation has been suppressed as a result of frequent truck traffic. Additionally, the crossing is situated where the wetland is at its narrowest. The proposed impact has been minimized, and the proposed activity is limited to a trail crossing and as such, is consistent with the applicable City Comprehensive Plan Policy 1.10.b and Alachua County ULDC Sec. 77.21 below:

Policy 1.10.b: The City shall conserve wetlands by prohibiting, where the alternative of clustering all structures in the non-wetland portion of the site exists, any development or dredging and filling which would alter their natural functions. If no other alternative for development exists, the City shall allow only minimal development activity in those areas designated as wetlands within this Comprehensive Plan and that such development activity comply with the following performance standards:

III. Limited development activity with impacts to isolated wetlands (and/or associated buffers) that meet all of the following conditions:

- a. Less than .25 acres in size; and,***
- b. Determined to be of poor quality by a certified environmental specialist; and,***
- c. The applicant has demonstrated that every reasonable step has been taken to minimize impact to wetland; and,***

d. The applicant has provided for appropriate on-site or off-site mitigation for impact to wetland. Limited development activity includes, but is not limited to, park amenities such as trails or boardwalks, minimum necessary roadways and/or sidewalks for access or internal site connectivity, and underground utility line crossings.

Sec. 77.21. Exemptions.

(a) The following activities are allowed on regulated surface waters, wetlands, and wetland buffers, subject to municipal regulations, if any, and any specified limitations, restrictions, and conditions:

(2) Minor nature trails. Construction and maintenance of public or private nature trails no greater than ten feet in width, including boardwalks and foot bridges, provided that no more dredging or filling is performed than necessary to install, repair, or replace pilings.

2. Special Exception Notes on Special Exception Master Plan

a. Condition 3 is an incomplete sentence. Revise accordingly.

RESPONSE: Condition #3 has been revised to complete the sentence.

b. Add the following to Note 3: Points of access shall be approved by City Staff during review of a development plan (e.g., site plan or other applicable development review process).

RESPONSE: This language has been added to Note / Condition #3.

c. Add the following to Note 4: The internal pedestrian network shall be approved by City Staff during review of a development plan (e.g., site plan or other applicable development review process).

RESPONSE: This language has been added to Note #4.

d. Condition 8 conflicts with provisions of the LDRs and there must be removed.

RESPONSE: This condition has been removed from the Master Plan.

3. Response to Section 2.4.4(D)

a. In response to Section 2.4.4(D)(4):

i. Clarify the statement that “the approval of the Special Exception will help improve existing water quality conditions from Interstate 75.” The Special Exception Permit is not required in order for the water quality treatment standards as set forth in Policy 1.3.h of the Comprehensive Plan Future Land Use Element to be implemented.

RESPONSE: This statement has been removed from the report.

ii. The following statement is irrelevant to the standard and therefore should be removed: “The proposed stormwater in Agriculture zoning (per Special Exception) will allow for adquate (sic) (sic) revenue to make it financially feasible to construct the sizable on-site FDOT stormwater runoff area that (when constructed) will improve water quality of a portion of the interstate road runoff before it enters the Mill Creek system. Also, the Special Exception proposes to eliminate several commercial uses that could be potentially incompatible with the Mill Creek system, thereby providing further environmental protection beyond what is otherwise allowed in the City LDR’s by right.”

RESPONSE: This statement has been removed from the report.

b. In response to Section 2.4.4(D)(6): Response primarily addresses public facility impacts and water treatment rather than the specified standard.

RESPONSE: This section has been revised to address the comment above.

c. In response to Section 2.4.4(D)(7):

i. The following statements are irrelevant to the standard and should therefore be removed:

(a) “The Special Exception Master Plan will accomplish several objectives that are all supportive with and are interdependent upon each other. The proposed stormwater in Agriculture zoning (per Special Exception) will allow for adquate (sic) space for commercial development that will generate adquate (sic) revenue to make it financially feasible to construct the sizable on-site FDOT stormwater runoff area that (when constructed) will improve water quality of a portion of the interstate road runoff before it enters the Mill Creek system.”

RESPONSE: This statement has been removed from the report.

(b) “The proposed design elements indicated on the Special Exception Master Plan will provide a superior result to a standard ‘by right’ development limited in scope to just within the commercially zoned property. The Special Exception will provide pedestrian interconnectivity to a variety of public private uses that would otherwise not be linked, including the recently completed water quality improvement project and help showcase the City project to the public, will limit commercial uses that would be in proximity to the Mill Creek conservation area and will help expedite and make financially feasible the FDOT water quality improvements as indicated in Policy 1.3.h.”

RESPONSE: This statement has been removed from the report.

(c) “Also, the Special Exception proposes to eliminate several commercial uses, thereby providing further enviornmental (sic) protection beyond what is otherwise allowed in the City LDR’s by right.”

RESPONSE: This statement has been removed from the report.

Photo submitted by applicant's agent, eda consultants, inc., in June 29, 2023 response to staff comment f., issued in staff comments to applicant on June 23, 2023. This comment added for clarity by City staff.



Photo submitted by applicant's agent, eda consultants, inc., in June 29, 2023 response to staff comment f., issued in staff comments to applicant on June 23, 2023. This comment added for clarity by City staff.



Photo submitted by applicant's agent, eda consultants, inc., in June 29, 2023 response to staff comment f, issued in staff comments to applicant on June 23, 2023. This comment added for clarity by City staff.



Photo submitted by applicant's agent, eda consultants, inc., in June 29, 2023 response to staff comment f., issued in staff comments to applicant on June 23, 2023. This comment added for clarity by City staff.



Photo submitted by applicant's agent, eda consultants, inc., in June 29, 2023 response to staff comment f., issued in staff comments to applicant on June 23, 2023. This comment added for clarity by City staff.



Photo submitted by applicant's agent, eda consultants, inc., in June 29, 2023 response to staff comment 1, issued in staff comments to applicant on June 23, 2023. This comment added for clarity by City staff.



Photo submitted by applicant's agent, eda consultants, inc., in June 29, 2023 response to staff comment f, issued in staff comments to applicant on June 23, 2023. This comment added for clarity by City staff.



Photo submitted by applicant's agent, eda consultants, inc., in June 29, 2023 response to staff comment f, issued in staff comments to applicant on June 23, 2023. This comment added for clarity by City staff.



Photo submitted by applicant's agent, eda consultants, inc., in June 29, 2023 response to staff comment f., issued in staff comments to applicant on June 23, 2023. This comment added for clarity by City staff.





City of Alachua

MIKE DAROZA
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

June 26, 2023

Sent by electronic mail to csweger@edafl.com

Clay Sweger, AICP, LEED AP
EDA Consultants, Inc.
720 SW 2nd Avenue
South Tower, Suite 300
Gainesville, FL 32601

RE: Project Assistance Team (PAT) Review: Tara April Special Exception Permit Application

Dear Mr. Sweger:

On May 30, 2023, the City of Alachua received your revised application for a Special Exception Permit on behalf of Tara Forest, LLC. The application proposes to allow the placement of a minor utility (stormwater management facilities) in the Agricultural (A) zoning district that would support development located within the Community Commercial (CC) zoning district on Tax Parcel Number 03020-000-000. The revised application received on May 30, 2023 was submitted to address the completeness review comments issued to you in a letter dated May 4, 2022.

The application has been reviewed by the City's Project Assistance Team (PAT). Upon review of the application and materials, the following insufficiencies must be addressed. A meeting to review these comments can be scheduled upon request.

Please address all insufficiencies in writing and provide an indication as to how they have been addressed by **5:00 PM on Wednesday, July 12, 2023**. Materials may be submitted electronically to the project planner (no printed copies are required).

Please address the following:

1. Miscellaneous Clarifications

- a. General Comment: The applicant proposes for the trail system to be constructed in three phases, however, the stormwater management facilities serving the property zoned Community Commercial will be constructed during Phase 1. Phase 2 proposes a connection to the Tara Forest West project and is thus contingent upon the approval and development of the Tara Forest West project in order for the interconnectivity between Tara Forest West and Tara April to be realized. Please provide further assurances within the conditions of the Special Exception addressing the phasing schedule and realization of Phase 2 and Phase 3 improvements.

-
- b. Page 4: the final paragraph of the Background states, “[a] related and fundamental part of the overall site design is to utilize the portion of the property with a Recreation and Agriculture zoning for a two-fold purpose...” Recreation is not a zoning category established by the City’s LDRs. Revise accordingly.
 - c. Page 6: The following statement conflicts with the standards for Special Exceptions as stated in Section 2.4.4(D): “It is the applicant's understanding that the City will review each Special Exception request individually and will consider approval based on the merits of the application and that the bar should be set high to permit such proposals in order to ensure a superior result in comparison to development that is allowed ‘by right’ without a Special Exception permit. It is is (sic) the applicant's that this application, which has been improved and enhanced based on input and discussions with City staff, will provide a ‘win-win’ condition for both the applicant and the residents of the City of Alachua and a (sic) overall superior result, which is the intent of this project proposal.” Revise accordingly.
 - d. Page 8: Clarify the following statement: “Proposed improvements that are above and beyond standard code requirements are again summarized below”. Particularly:
 - i. Trail network is being provided to fulfill the requirements of Section 4.3.2(1)(4) which requires an enhanced recreational functional use.
 - ii. Implementation of FDOT stormwater treatment basins is required by Policy 1.3.h of the Comprehensive Plan Future Land Use Element prior to commercial development. The statement that granting the Special Exception Permit will ‘expedite’ the implementation of Policy 1.3.h is irrelevant to the application of the Special Exception Permit standards or the fulfillment of Policy 1.3.h.
 - d. Page 9: Clarify the following statement: “In summary, the proposed design elements indicated on the Special Exception Master Plan will provide a superior result to a standard ‘by right’ development limited in scope to just within the commercially zoned property. The Special Exception will provide pedestrian interconnectivity to a variety of public private uses that would otherwise not be linked, including the recently completed water quality improvement project and help showcase the City project to the public, will limit commercial uses that would be in proximity to the Mill Creek conservation area and will help expedite and make financially feasible the FDOT water quality improvements as indicated in Policy 1.3.h.”
 - e. Conclusion:
 - i. Clarify the following statement: “...the proposed Special Exception has been prepared to demonstrate consistency with the applicable sections of the Comprehensive Plan and Land Development Code. Specifically, the application is consistent with and will help implement Comprehensive Plan Policy 1.3.h...”
 - ii. Clarify the following statement: “In addition to compliance with Comprehensive Plan and Land Development Code, the Special Exception, if approved by the City of Alachua, will allow for the implementation of the landowner’s master plan, which will accomplish several objectives that are all supportive with and are interdependent upon each other and will provide a superior result to a standard ‘by right’ development limited in scope to just within the commercially-zoned property.”

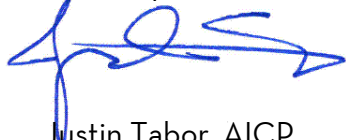
-
- f. Provide further information within the application regarding the existing wetland creek crossing that will be utilized, including pictures.
2. *Special Exception Notes on Special Exception Master Plan*
- a. Condition 3 is an incomplete sentence. Revise accordingly.
 - b. Add the following to Note 3: Points of access shall be approved by City Staff during review of a development plan (e.g., site plan or other applicable development review process).
 - c. Add the following to Note 4: The internal pedestrian network shall be approved by City Staff during review of a development plan (e.g., site plan or other applicable development review process).
 - d. Condition 8 conflicts with provisions of the LDRs and there must be removed.
3. *Response to Section 2.4.4(D)*
- a. In response to Section 2.4.4(D)(4):
 - i. Clarify the statement that “the approval of the Special Exception will help improve existing water quality conditions from Interstate 75.” The Special Exception Permit is not required in order for the water quality treatment standards as set forth in Policy 1.3.h of the Comprehensive Plan Future Land Use Element to be implemented.
 - ii. The following statement is irrelevant to the standard and therefore should be removed: “The proposed stormwater in Agriculture zoning (per Special Exception) will allow for adequate (sic) (sic) revenue to make it financially feasible to construct the sizable on-site FDOT stormwater runoff area that (when constructed) will improve water quality of a portion of the interstate road runoff before it enters the Mill Creek system. Also, the Special Exception proposes to eliminate several commercial uses that could be potentially incompatible with the Mill Creek system, thereby providing further environmental protection beyond what is otherwise allowed in the City LDR’s by right.”
 - b. In response to Section 2.4.4(D)(6): Response primarily addresses public facility impacts and water treatment rather than the specified standard.
 - c. In response to Section 2.4.4(D)(7):
 - i. The following statements are irrelevant to the standard and should therefore be removed:
 - (a) “The Special Exception Master Plan will accomplish several objectives that are all supportive with and are interdependent upon each other. The proposed stormwater in Agriculture zoning (per Special Exception) will allow for adequate (sic) space for commercial development that will generate adequate (sic) revenue to make it financially feasible to construct the sizable on-site FDOT stormwater runoff area that (when constructed) will improve water quality of a portion of the interstate road runoff before it enters the Mill Creek system.”
 - (b) “The proposed design elements indicated on the Special Exception Master Plan will provide a superior result to a standard ‘by right’ development limited in scope to just within the commercially zoned property. The Special Exception will provide pedestrian interconnectivity to a variety of public private uses that

would otherwise not be linked, including the recently completed water quality improvement project and help showcase the City project to the public, will limit commercial uses that would be in proximity to the Mill Creek conservation area and will help expedite and make financially feasible the FDOT water quality improvements as indicated in Policy 1.3.h.”

- (c) “Also, the Special Exception proposes to eliminate several commercial uses, thereby providing further environmental (sic) protection beyond what is otherwise allowed in the City LDR’s by right.”

If you have any questions regarding the information above, please contact me at 386-418-6100 x 1602 or via e-mail at jtabor@cityofalachua.com. We look forward to receiving your revised application.

Sincerely,



Justin Tabor, AICP
Principal Planner

- c: Mike DaRoza, City Manager *(by electronic mail)*
- Kathy Winburn, Planning & Community Development Director *(by electronic mail)*
- Adam Hall, AICP, Principal Planner *(by electronic mail)*
- Carson Crockett, Planner *(by electronic mail)*
- Sayed Moukhtara, Tara Forest, LLC *(by electronic mail)*
- Project File



City of Alachua

MIKE DAROZA
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

April 5, 2023

Sent by electronic mail to csweger@edaf.com

Clay Sweger, AICP, LEED AP
EDA Consultants, Inc.
720 SW 2nd Ave, South Tower
Suite 300
Gainesville, FL 32601

RE: LDR Administrator Interpretation: Land Development Regulations Text – Application of Section 4.3.2(l)(4)(a)(iii) of the LDRs for Tara April Special Exception Permit & Infrastructure Plan Applications

Dear Mr. Sweger:

On March 21, 2023 the City of Alachua Planning & Community Development Department received your application for an Interpretation of the Land Development Regulation (LDR) Administrator pursuant to Section 2.4.19 of the City's LDRs. This application requests an interpretation of the text of the LDRs by the LDR Administrator. Specifically, it requests an interpretation of the application of Section 4.3.2(l)(4)(a)(iii) of the LDRs with respect to the Tara April project.

The Tara April Infrastructure Plan, among other improvements, proposes the construction of stormwater management facilities located in the Agricultural (A) zoning district that would support future development of adjacent lands zoned Community Commercial (CC).

A stormwater management facility is identified in Article 10 of the LDRs as a minor utility. A minor utility is defined in Article 10 of the LDRs as (emphases added): *“infrastructure services that need to be located in or near the neighborhood or use type where the service is provided. Examples of minor utilities include water and sewage pump stations, distribution electric substations, as defined in F.S. § 163.3208, stormwater retention and detention facilities, telephone exchanges, and surface transportation stops such as bus stops.”*

In instances where a stormwater management facility is proposed within a zoning district that is less intense than the zoning district of the proposed use, Section 4.3.2(l)(4) of the LDRs requires the development to receive approval of a Special Exception Permit and for the stormwater management facility to meet specified criteria. Section 4.3.2(l)(4)(a) states:

- (4) *Utility, minor.* A minor utility use shall comply with the following standards:
 - (a) *Location.* Be located within reasonable proximity of the area to be served. Stormwater detention and retention facilities may be permitted by special exception permit on properties with less intense zoning district designations under common ownership, subject to the following requirements:

- (i) The zoning designation of the location of the stormwater detention and retention facility allows minor utilities; and,
 - (ii) The stormwater detention and retention facility meets the compatibility requirements as set forth in Subsection 4.3.2(l)(4)(b); and
 - (iii) The stormwater detention and retention facility provides an enhanced natural (e.g., increased topographic relief, vegetative diversity, etc.) or recreational (e.g., perimeter trail, boardwalk, interpretive kiosk, etc.) functional use.
- (b) *Compatibility.* Provide adequate setbacks, screening and buffering around the perimeter of the proposed use if it is deemed necessary to ensure land use compatibility with surrounding uses.
- (c) *Exemptions.* The provisions of this subsection shall not be applicable when the differing zoning designations are both classified as residential districts or are both classified as business districts, as categorized in Table 3.1-1, Establishment of Base Zone Districts. Stormwater detention and retention facilities serving residential districts shall be permitted in business districts without special exception if included as part of a master stormwater permit or common development plan.

Staff and the applicant have worked collectively through the review of the Tara April Special Exception Permit to ensure that the purpose and intent of Section 4.3.2(l)(4)(a)(iii) will be achieved. The applicant proposes the incorporation of recreational features that will connect the Tara April project to the Tara Forest West project via a recreational trail and boardwalk at an existing wetland crossing as well as a connection from the Tara April project to the nearby City Mill Creek Stormwater Enhancement Area located to the south. The applicant also proposes an interpretive kiosk at the City Mill Creek Stormwater Enhancement Area.

Upon reviewing the LDR Interpretation request and the conceptual site plan for Tara April, prepared by EDA Consultants, Inc., and dated 2/3/23, the LDR Administrator hereby finds that the proposed improvements as shown on the conceptual site plan submitted as an exhibit to the Special Exception Permit application (attached) will fulfill the requirement of Section 4.3.2(l)(4)(a)(iii) to provide an 'enhanced recreational functional use' for the project. This approval does not eliminate the requirement to comply with all other applicable provisions of the City's LDRs, including but not limited to Sections 2.4.4(D), 2.4.4(E), 2.4.9(E)(2), and 2.4.9(F).

If you have any questions related to this interpretation, please contact the Planning & Community Development Department at 386-418-6121.

Sincerely,



Mike DaRoza
City Manager / LDR Administrator

Attachment

c: Kathy Winburn, Planning & Community Development Director *(by electronic mail)*
Justin Tabor, AICP, Principal Planner *(by electronic mail)*
Adam Hall, AICP, Principal Planner *(by electronic mail)*
File



City of Alachua

MIKE DAROZA
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

February 23, 2023

Sent by electronic mail to csweger@edaf.com

Clay Sweger, AICP, LEED AP
EDA Consultants, Inc.
720 SW 2nd Ave, South Tower
Suite 300
Gainesville, FL 32601

RE: Review of Tara April Special Exception Permit Application

Dear Mr. Sweger:

On November 8, 2022 City of Alachua Staff received your revised application for a Special Exception Permit on behalf of Tara Forest, LLC. The application proposes to allow the placement of a minor utility (stormwater management facilities) in the Agricultural (A) zoning district that would support development located within the Community Commercial (CC) zoning district on Tax Parcel Number 03020-000-000.

A letter was sent to you, dated September 22, 2022, advising you that an evaluation of the application's compliance with the applicable provisions of the LDRs, including but not limited to Sections 2.4.4(A), 2.4.4(D), and 4.3.2(l)(4), cannot be made without also considering an associated development plan. Additionally, the September 22, 2022 letter advised you that Section 2.4.4(D)(7) requires a Site Plan or Preliminary Plat to be prepared and to demonstrate how the proposed special exception use complies with all other standards of Section 2.4.4(D). A 'conceptual site plan' was submitted with the materials received on November 8, 2022. However, this 'conceptual site plan' does not fulfill the requirements of Section 2.4.9 nor does it fulfill the requirements of Section 2.4.4(D)(7).

In addition to compliance with Section 2.4.4(D)(7), at a meeting held on January 26, 2023 Staff expressed concerns regarding the proposal of the Special Exception Permit Application to restrict the permitted uses on the commercially zoned property but not identify the specific use which shall exist on this property. Staff further indicated to you that this approach does not demonstrate that the stormwater management facilities will provide an *enhanced recreational functional* use as required by Section 4.3.2(l)(4)(a)(iii). As stated during the January 26, 2023 meeting, the specific use proposed must be known in order to evaluate that an enhanced functional recreational use will be created by the proposed development plan.

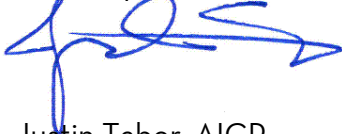
Therefore, as stated in the September 22, 2022 letter and discussed in our meeting held on January 26, 2023, the review of a Special Exception Permit application proposing stormwater management facilities in the Agricultural (A) zoning district and supporting development within

the Community Commercial (CC) zoning district cannot proceed until a Site Plan proposing a specific development is submitted to the City for review.

While a complete review of the Special Exception Permit application cannot be conducted until these matters are resolved, Staff would also like to discuss with you the proposed dedication of land to the City as part of the Special Exception Permit application. Please contact us at your convenience to set a time for this discussion.

If you have any questions, please contact me at 386-418-6100 x 1602 or via e-mail at jtabor@cityofalachua.com.

Sincerely,



Justin Tabor, AICP
Principal Planner

- c: Mike DaRoza, City Manager *(by electronic mail)*
- Kathy Winburn, Planning & Community Development Director *(by electronic mail)*
- Adam Hall, AICP, Principal Planner *(by electronic mail)*
- Sayed Moukhtara, Tara Forest, LLC *(by electronic mail)*
- Project File



SUWANNEE RIVER

WATER MANAGEMENT DISTRICT

December 22, 2022

Sayed Moukhtara
Tara Forest LLC
7717 NW 20th Lane
Gainesville, FL 32605

SUBJECT: Permit Number ERP-001-241954-1
Tara April

Dear Sayed Moukhtara:

Enclosed is your ERP Individual Permit issued by the Suwannee River Water Management District on December 20, 2022. This permit is a legal document and should be kept with your other important documents. Permit issuance does not relieve you from the responsibility of obtaining any necessary permits from any federal, state, or local agencies for your project.

Noticing Your Permit:

For noticing instructions, please refer to the noticing materials in this package regarding closing the point of entry for someone to challenge the issuance of your permit. Please note that if a timely petition for administrative hearing is filed, your permit will become nonfinal and any activities that you choose to undertake pursuant to your permit will be at your own risk.

Compliance with Permit Conditions:

To submit your required permit compliance information, go to the District's website at <https://permitting.sjrwmd.com/srepermitting/jsp/start.jsp>. Click to sign-in to your existing account or to create a new account. Select the "Apply/Submit" tab, select "Submit Compliance Data", enter your permit number, and select "No Specific Date" for the Compliance Due Date Range. You will then be able to view all the compliance submittal requirements for your project. Select "the compliance item that you are ready to submit and then attach the appropriate information or form. The forms to comply with your permit conditions are available at floridaswater.com/permitting under the section "Handbooks, forms, fees, final orders". Click on forms to view all permit compliance forms, then scroll to the ERP application forms section and select the applicable compliance forms. Alternatively, if you have difficulty finding forms or need copies of the appropriate forms, please contact the Resource Management Division at (386) 362-1001.

Compliance with Other Permitting Programs:

This permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any construction, alteration, operation, maintenance, removal or abandonment authorized by this permit.

The Suwannee River Water Management District did not issue a National Pollutant Discharge Elimination System (NPDES) permit for this project. If this project meets the thresholds such that a NPDES permit is required, you must apply to the Florida Department of Environmental Protection directly. More information about NPDES permits may be found online at

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<https://floridadep.gov/water/stormwater>. **Failure to obtain a NPDES permit prior to construction could subject you to enforcement action by that agency.**

For projects which involve wetlands or surface waters, the Suwannee River Water Management District did not issue a federal authorization for use or impacts to wetlands under federal jurisdiction, this project. Therefore, you must apply directly to the US Army Corps of Engineers (USACE). More information about USACE permitting may be found online at <https://www.saj.usace.army.mil/>. **Failure to obtain USACE authorization prior to construction could subject you to federal enforcement action by that agency.**

Transferring Your Permit:

Your permit requires you to notify the District in writing within 30 days of any change in ownership or control of the project or activity covered by the permit, or within 30 days of any change in ownership or control of the real property on which the permitted project or activity is located or occurs. You will need to provide the District with the information specified in rule 62-330.340, Florida Administrative Code (F.A.C.). Generally, this will require you to complete and submit Form 62-330.340(1), "Request to Transfer Permit".

Please note that a permittee is liable for compliance with the permit before the permit is transferred. The District, therefore, recommends that you request a permit transfer in advance in accordance with the applicable rules. You are encouraged to contact District staff for assistance with this process.

Thank you and please let us know if you have additional questions. For general questions contact us at (386) 362-1001.

Sincerely,



Tim Alexander
Deputy Executive Director

Enclosures: Permit

cc: District Permit File



SUWANNEE RIVER

WATER MANAGEMENT DISTRICT

ERP Individual Permit

PERMITTEE:

Sayed Moukhtara
Tara Forest LLC
7717 NW 20th Lane
Gainesville, FL 32605

PERMIT NUMBER: ERP-001-241954-1**DATE ISSUED:** December 20, 2022**DATE EXPIRES:** December 20, 2027**COUNTY:** Alachua**TRS:** S4 T8S R18E**PROJECT:** Tara April

Upon completion, the approved entity to which operation and maintenance maybe transferred pursuant to rule 62-330.310 and 62-330.340 or 40B-4.1130, Florida Administrative Code (F.A.C) shall be:

Sayed Moukhtara
Tara Forest LLC
7717 NW 20th Lane
Gainesville, FL 32605

Based on the information provided to the Suwannee River Water Management District (District), the above mentioned project has met the conditions of issuance as found in subsection 62-330.301, subsections 62-330.407 through 62-330.635, or subsection 40B-4.3030, F.A.C. The permit is hereby in effect for the activity description below:

This permit authorizes the construction operation, and maintenance of a stormwater management system to serve a total of 8.37 acres of future impervious surfaces and 13.51 acres of existing impervious surfaces. The project shall be constructed in a manner consistent with the application package, plans, and calculations submitted and certified by Claudia Vega, P.E. and Meagan Dickey, EDA on or before December 16, 2022.

As the permittee and/or operation and maintenance entity, it is your responsibility to ensure that adverse off-site impacts do not occur either during or after the construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You and any other substantially affected persons are entitled to request an administrative hearing or mediation. Please refer to the enclosed notice of rights.

1. All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with rule 62-330.315, F.A.C. Any deviations that are not so authorized may subject the permittee to enforcement action and revocation of the permit under chapter 373, F.S.
2. A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase, and shall be available for review at the work site upon request by the District staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.
3. Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation June 2007), and the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), which are both incorporated by reference in paragraph 62-330.050(9)(b)5., F.A.C., unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.
4. At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the Agency a fully executed Form 62-330.350(1), "Construction Commencement Notice," (October 1, 2013), (<http://www.flrules.org/Gateway/reference.asp?No=Ref-02505>), incorporated by reference herein, indicating the expected start and completion dates. A copy of this form may be obtained from the Agency, as described in subsection 62-330.010(5), F.A.C., and shall be submitted electronically or by mail to the Agency. However, for activities involving more than one acre of construction that also require a NPDES stormwater construction general permit, submittal of the Notice of Intent to Use Generic Permit for Stormwater Discharge from Large and Small Construction Activities, DEP Form 62-621.300(4)(b), shall also serve as notice of commencement of construction under this chapter and, in such a case, submittal of Form 62-330.350(1) is not required.
5. Unless the permit is transferred under rule 62-330.340, F.A.C., or transferred to an operating entity under rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms and conditions of the permit for the life of the project or activity.

6. Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:
 - a. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex — “Construction Completion and Inspection Certification for Activities Associated With a Private Single-Family Dwelling Unit” [Form 62-330.310(3)]; or
 - b. For all other activities — “As-Built Certification and Request for Conversion to Operational Phase” [Form 62-330.310(1)].
 - c. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.
7. If the final operation and maintenance entity is a third party:
 - a. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as-built certification, whichever comes first, the permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.3 of Volume I) as filed with the Department of State, Division of Corporations and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the County in which the activity is located.
 - b. Within 30 days of submittal of the as- built certification, the permittee shall submit “Request for Transfer of Environmental Resource Permit to the Perpetual Operation Entity” [Form 62-330.310(2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.
8. The permittee shall notify the District in writing of changes required by any other regulatory District that require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.
9. This permit does not:
 - a. Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in chapter 62-330, F.A.C.;
 - b. Convey to the permittee or create in the permittee any interest in real property;
 - c. Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
 - d. Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.
10. Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under chapters 253 and 258, F.S. Written authorization that requires formal execution by the

Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.

11. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.
12. The permittee shall notify the District in writing:
 - a. Immediately if any previously submitted information is discovered to be inaccurate; and
 - b. Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall request transfer of the permit in accordance with rule 62-330.340, F.A.C. This does not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.
13. Upon reasonable notice to the permittee, District staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.
14. If prehistoric or historic artifacts, such as pottery or ceramics, projectile points, stone tools, dugout canoes, metal implements, historic building materials, or any other physical remains that could be associated with Native American, early European, or American settlement are encountered at any time within the project site area, the permitted project shall cease all activities involving subsurface disturbance in the vicinity of the discovery. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance Review Section (DHR), at (850)245-6333, as well as the appropriate permitting agency office. Project activities shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and the proper authorities notified in accordance with section 872.05, F.S. For project activities subject to prior consultation with the DHR and as an alternative to the above requirements, the permittee may follow procedures for unanticipated discoveries as set forth within a cultural resources assessment survey determined complete and sufficient by DHR and included as a specific permit condition herein.
15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under rule 62-330.201, F.A.C., provides otherwise.
16. The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other uplands in a manner that does not require a permit under chapter 62-330, F.A.C., or cause violations of state water quality standards.
17. This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the District will require the

Water for Nature. Water for People.

permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.

18. A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with section 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.
19. This permit does not authorize the permittee to cause any adverse impact to or “take” of state listed species and other regulated species of fish and wildlife. Compliance with state laws regulating the take of fish and wildlife is the responsibility of the owner or applicant associated with this project. Please refer to Chapter 68A-27 of the Florida Administrative Code for definitions of “take” and a list of fish and wildlife species. If listed species are observed onsite, FWC staff are available to provide decision support information or assist in obtaining the appropriate FWC permits. Most marine endangered and threatened species are statutorily protected and a “take” permit cannot be issued. Requests for further information or review can be sent to FWCConservationPlanningServices@MyFWC.com.
20. Operation and maintenance of the surface water management system shall be the responsibility of the permittee until such time as those responsibilities are transferred to the approved association. Prior to the association assuming operation and maintenance responsibilities, permittee shall request transfer to operation and maintenance entity.
21. Prior to a dedication or transfer of all or any part of the common properties which is directly or indirectly related to the surface water management system, the dedication or approval of the transfer must be authorized by the District through modification of any and all permits or authorizations issued by the District. Such modifications shall be made under the lawfully adopted rules of the District in effect at the time of application for modification.
22. Permittee shall submit to the District within 30 days of issuance of permit, proof that the Articles of Incorporation have been filed with the Secretary of State and that the corporation is in good standing.
23. Permittee shall submit to the District within 30 days of issuance of permit, proof that all surface water management systems are located on the common areas and that the common areas are owned or controlled by the homeowner's association.
24. Prior to the sale of any lot or parcel, the permittee must record Declarations of Covenants and Restrictions which include a restriction on the real property pursuant to section 704.06, F.S.; prohibiting all construction including clearing, dredging, or filling, except that which is specifically authorized by Environmental Resource permit, within the conservation areas delineated on the final plans and/or mitigation proposal approved by the District.
25. Prior to the Permittee seeking to transfer the operation and maintenance to a Homeowner's Association, the Permittee must demonstrate to the reasonable satisfaction of the Suwannee River Water Management District that over twenty-four (24) consecutive months have passed since the active operation of the Homeowner's Association commenced and the Permittee shall demonstrate to the Suwannee River Water Management District's satisfaction that the Homeowner's Association is an active, ongoing concern which the Permittee shall establish by submitting copies of all minutes

of meetings of members of the Association, the board of directors, copies of all operation and maintenance expenses incurred and documentation showing that all assessments that were levied have been collected and such other documentation as the Suwannee River Water Management District may reasonably deem necessary to establish that the Homeowner's Association is an active, functioning and ongoing concern.

26. The permittee shall include the finished floor elevations for the lots and the wetland delineation lines on the final subdivision plat and shall submit a copy of the final, approved plat to the District following recordation.

WITHIN 30 DAYS AFTER COMPLETION OF THE PROJECT, THE PERMITTEE SHALL NOTIFY THE DISTRICT, IN WRITING, THAT THE FACILITIES ARE COMPLETE.

AUTHORIZED BY: Suwannee River Water Management District

By: 

Tim Alexander
Deputy Executive Director



City of Alachua

MIKE DAROZA
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

September 22, 2022

Also sent by electronic mail to csweger@edafl.com

Clay Sweger, AICP, LEED AP
EDA Consultants, Inc.
720 SW 2nd Ave, South Tower
Suite 300
Gainesville, FL 32601

RE: Review of Tara April Special Exception Permit Application

Dear Mr. Sweger:

City of Alachua Staff has reviewed your application for a Special Exception Permit on behalf of Tara Forest, LLC. The application proposes to allow the placement of a minor utility (stormwater management facilities) in the Agricultural (A) zoning district that would support development located within the Community Commercial (CC) zoning district on Tax Parcel Number 03020-000-000.

Upon review of the application and with consideration to the requirements of the City's Land Development Regulations (LDRs), Staff finds that an evaluation of the application's compliance with the applicable provisions of the LDRs, including but not limited to Sections 2.4.4(A), 2.4.4(D), and 4.3.2(I)(4), cannot be made without also considering an associated development plan. Furthermore, Section 2.4.4(D)(7) requires a Site Plan or Preliminary Plat to be prepared and to demonstrate how the proposed special exception use complies with all other standards of Section 2.4.4(D).

Therefore, review of a Special Exception Permit application proposing stormwater management facilities in the Agricultural (A) zoning district and supporting development within the Community Commercial (CC) zoning district cannot proceed until a Site Plan proposing a specific development is submitted to the City for review.

If you have any questions, please contact me at 386-418-6100 x 1602 or via e-mail at jtabor@cityofalachua.com.

Sincerely,

Justin Tabor, AICP
Principal Planner

c: Mike DaRoza, City Manager *(by electronic mail)*
Kathy Winburn, Planning & Community Development Director *(by electronic mail)*
Adam Hall, AICP, Principal Planner *(by electronic mail)*
Sayed Moukhtara, Tara Forest, LLC *(by electronic mail)*
Project File



City of Alachua

MAYOR GIB COERPER
Vice Mayor Jennifer Blalock
Commissioner Shirley Green Brown
Commissioner Dayna Miller
Commissioner Ed Potts

OFFICE OF THE CITY MANAGER
MIKE DAROZA

September 14, 2022

Sayed Moukhtara
7717 NW 20th Lane
Gainesville, Florida 32605

RE: TARA FOREST WEST, TARA APRIL, AND TARA PHOENICIA (PROJECTS)

Dear Mr. Moukhtara:

This letter is a follow-up to my letter dated June 29, 2022, (the "Letter"), and the meeting on August 18, 2022 (the "Meeting"), between you and your agents and City of Alachua ("City") staff ("Staff"), regarding the above referenced Projects.

A copy of the attendance sheet from the Meeting is attached. The purpose of the Meeting, as pointed out in the Letter, was to inform you of potential issues related to the Projects that have come to Staff's attention as individual applications have been submitted to the City as these issues may impact the viability of the Projects.

During the Meeting, Staff pointed out issues regarding the development of the Projects in relation to the environmentally-sensitive area known as Mill Sink, which is part of an underground cave system located in geographic areas potentially impacted by the Projects.

There was also discussion during the meeting that in the past, development which might have any impact to the cave system has been of great concern to the public, Alachua County and organizations involving "cave divers," resulting in litigation.

Staff was pointing out some of the potential impacts. The meeting was not meant to be an in-depth discussion of any of the Projects. It was simply to bring to your attention impediments so as not to mislead you regarding the success of any of these applications.

No feedback was received at the meeting indicating any interest on your part to reconsider aspects of pending applications. Therefore, Staff is continuing to review the pending applications now that you have been informed of some of the initial impediments with them.

All questions regarding any of these development applications should be directed to the City of Alachua Planning & Community Development Department.

Sincerely,



Mike DaRoza
City Manager
City of Alachua

cc: Kathy Winburn, Planning & Community Development Director
Rodolfo Valladares, Public Services Director
Justin Tabor, AICP, Principal Planner
Adam Hall, AICP, Principal Planner



City of Alachua

MAYOR GIB COERPER
Vice Mayor Jennifer Blalock
Commissioner Shirley Green Brown
Commissioner Dayna Miller
Commissioner Edward Potts

OFFICE OF THE CITY MANAGER
MIKE DAROZA

June 29, 2022

Sayed Moukhtara
7717 NW 20th Lane
Gainesville, Florida 32605

RE: TARA FOREST WEST, TARA APRIL & TARA PHOENICIA

Dear Mr. Moukhtara:

This letter is in regards to the above referenced projects.

It has come to the attention of City staff ("Staff") during the review of development applications involving the above three referenced projects that were submitted at various times, that numerous aspects and requirements for them are inextricably intertwined or dependent on other prerequisites before they can be considered for final approval. In other words, none of the above projects stands on their own merit, but instead, they are dependent on the approval of the other applications.

As such, Staff, including Planning & Community Development and Public Services, will not be proceeding with further review of each of these projects in their current form, as it does not appear that any of them can receive ultimate final approval standing individually on their own merit. As Staff has been reviewing the viability of the above referenced projects, the interdependency of one project on the other or on other applications has become readily apparent. Staff does not wish to mislead any applicant regarding the success of an application.

If you wish to discuss the above, a meeting with City staff can be arranged.

Regards,

Mike DaRoza
City Manager

Cc: Kathy Winburn, Planning & Community Development Director
Rodolfo Valladares, Public Services Director
Justin Tabor, AICP, Principal Planner
Adam Hall, AICP, Principal Planner

Aug. 18, 2022 - Meeting

City of Alachua

Adam Hall

Planning

Marion B. Rush

city attorney

MIKE DAROZA

CITY MANAGER

Kathy Winburn

Planning

Justin Tebor

Planning

Applicant

Adam Boukas

Jay BROWN, JBPRO

CHRIS Potts, JBPro

COLE BARNETT, SALTER FEIBER, PA

DENISE HUTSON, SALTER FEIBER, PA

SAYED MOKHTARA

SILVIA MOKHTARA

Clay Sweger, eda

SERGIO REYES, eda

RE: Tara April Special Exception

Clay Sweger <csweger@edafl.com>

Thu 6/16/2022 11:11 AM

Tara April Infrastructure Plan

To: Justin Tabor' <jtabor@cityofalachua.org>;

Cc: Kathy Winburn <kwinburn@cityofalachua.org>; Adam Hall <ad_hall@cityofalachua.org>; Sergio Reyes <sreyes@edafl.com>;

Good Morning, Justin:

Understood. At this time, we'd like to request a time to sit with your team to discuss the application, issues / opportunities and an approach moving forward. We'd like to have this conversation before official City comments are released. What is your availability next week to meet? Please let us know.

Thank you very much -

Clay Sweger, AICP, LEED AP

Principal / Director of Planning

csweger@edafl.com

edafl.com



720 SW 2nd Avenue
South Tower, Suite 300
Gainesville, Florida 32601
(352) 373-3541

From: Justin Tabor <jtabor@cityofalachua.org>

Sent: Monday, June 13, 2022 5:15 PM

To: Clay Sweger <csweger@edafl.com>

Cc: Kathy Winburn <kwinburn@cityofalachua.org>; Adam Hall <ad_hall@cityofalachua.org>; Sergio Reyes <sreyes@edafl.com>

Subject: Re: Tara April Special Exception

Clay,

As you know, this application is unique and there are concerns about policy direction that must be discussed and coordinated with both the Executive Department and with legal. We have met internally to review the request and will provide a response from the PAT as soon as possible.

Sincerely,

Justin Tabor, AICP

Principal Planner

City of Alachua

15100 NW 142nd Terrace | PO Box 9

Alachua, Florida 32616

386.418.6100 x 1602 | fax: 386.418.6130

jtabor@cityofalachua.com

City Hall Hours of Operation

Monday - Thursday, 7:30 AM - 6:00 PM

Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing.

From: "Clay Sweger" <csweger@edafl.com>
To: "Justin Tabor" <jtabor@cityofalachua.org>, "Adam Hall" <ad_hall@cityofalachua.org>
Cc: "Sergio Reyes" <sreyes@edafl.com>
Sent: Thursday, June 9, 2022 9:05:31 AM
Subject: Tara April Special Exception

Good Morning, Justin & Adam:

Our client has asked us to inquire as to the status of this project review? When you have a moment, will you please advise?

Thank you very much -

Clay Sweger, AICP, LEED AP

Principal / Director of Planning

csweger@edafl.com

edafl.com



720 SW 2nd Avenue
South Tower, Suite 300
Gainesville, Florida 32601
(352) 373-3541

CAUTION: This email originated from outside the City.

DO NOT respond, click, or open attachments unless you recognize the sender (**name AND email address**) and know the content is safe.

Should there still be any question on the origin of this email, contact the IT Department immediately.

CAUTION: This email originated from outside the City.

DO NOT respond, click, or open attachments unless you recognize the sender (**name AND email address**) and know the content is safe.

Should there still be any question on the origin of this email, contact the IT Department immediately.



City of Alachua

MIKE DAROZA
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

May 4, 2022

Also sent by electronic mail to csweger@edaf.com

Clay Sweger, AICP, LEED AP
EDA Consultants, Inc.
720 SW 2nd Ave, South Tower
Suite 300
Gainesville, FL 32601

RE: Completeness Review: Tara April Special Exception Permit Application

Dear Mr. Sweger:

On April 28, 2022, the City of Alachua received your application for a Special Exception Permit on behalf of Tara Forest, LLC. The application proposes to allow the placement of a minor utility (stormwater management facilities) in the Agricultural (A) zoning district that would support development located within the Community Commercial (CC) zoning district on Tax Parcel Number 03020-000-000.

According to Section 2.2.6 of the Land Development Regulations (LDRs), upon receipt of an application, a completeness review shall be conducted to determine that the application contains all the necessary information and materials, is in proper form and of sufficient detail, and is accompanied by the appropriate fee. The Planning Department has reviewed the aforementioned application for completeness and finds that the application is complete, contingent upon receiving the information as noted below. Please provide materials addressing the comments below by **5:00 PM on Thursday, May 12, 2022**. With the exception of mailing labels, all materials may be submitted by email to the project planner.

The comments below are based solely on a preliminary review of your application for completeness. An in-depth review of the content of the application will be performed, and the findings of the in-depth review will be sent to you under separate cover.

Please address the following:

1. **Special Exception Permit Application Attachment #2.g., Site Plan:** Section 2.4.4(D)(7) requires a site plan (Section 2.4.9) or preliminary plat (Section 2.4.10(G)(3)) to be prepared and to demonstrate how the proposed special exception use complies with the other standards of this Section 2.4.4(D). Please submit the infrastructure plan from the companion Tara April Infrastructure Plan application to fulfill this requirement, as infrastructure plans are a subset of Section 2.4.9.

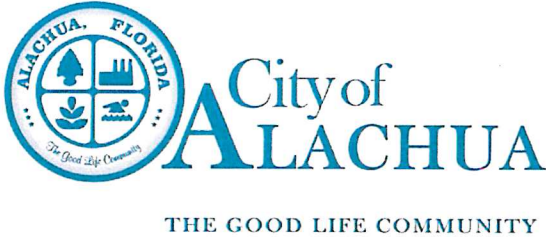
If you have any questions, please contact me at 386-418-6100 x 1602 or via e-mail at jtabor@cityofalachua.com.

Sincerely,



Justin Tabor, AICP
Principal Planner

- c: Mike DaRoza, City Manager *(by electronic mail)*
- Kathy Winburn, AICP, Planning & Community Development Director *(by electronic mail)*
- Adam Hall, AICP, Principal Planner *(by electronic mail)*
- Sayed Moukhtara, Tara Forest, LLC *(by electronic mail)*
- Project File



FOR PLANNING USE ONLY	
Case #:	_____
Application Fee: \$	_____
Filing Date:	_____
Acceptance Date:	_____
Review Type: P&Z; CC	_____

Special Exception Permit Application

Reference City of Alachua Land Development Regulations Article 2.4.4

A. PROJECT

- Project Name: Tara April Special Exception
- Address of Subject Property: No Address (Undeveloped Property on April Boulevard)
- Parcel ID Number(s): 03020-000-000
- Existing Use of Property: Undeveloped (Timberland - site index 80-89)
- Future Land Use Map Designation : Commercial, Recreation, Conservation
- Zoning Designation: CC, A, CSV
- Acreage: 58.32 +/-

B. APPLICANT

- Applicant's Status Owner (title holder) Agent
- Name of Applicant(s) or Contact Person(s): Clay Sweger, AICP, LEED AP Title: Director of Planning
Company (if applicable): eda consultants, inc.
Mailing address: 720 SW 2nd Ave, South Tower, Suite 300
City: Gainesville State: FL ZIP: 32601
Telephone: () 352-373-3541 FAX: () N/A e-mail: sreyes@edafil.com
- If the applicant is agent for the property owner*:
Name of Owner (title holder): Tara Forest LLC
Mailing Address: 7717 NW 20th Lane
City: Gainesville State: FL ZIP: 32605

* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

C. ADDITIONAL INFORMATION

- Is there any additional contact for sale of, or options to purchase, the subject property? Yes No
If yes, list names of all parties involved: N/A
If yes, is the contract/option contingent or absolute? Contingent Absolute

D. ATTACHMENTS

- Statement of proposed special exception including the identification of the provision of the Land Development Regulations under which the special exception permit is sought, and stating the grounds on which it is requested.
- Analysis of compliance with the Standards for a Special Exception, as defined in Section 2.4.4 of the Land Development Regulations (LDRs), and listed below:
 - Complies with Use Specific Regulations
 - Compatibility
 - Design Minimizes Adverse Impact
 - Design Minimizes Environmental Impact
 - Roads and Other Public Facilities
 - Not Injure Neighboring Land or Property Values
 - Site Plan
 - Complies will All Other Relevant Laws and Ordinances
- Materials which demonstrate that the special exception permit would promote the public health, safety, morals, order, comfort, convenience, appearance, prosperity or the general welfare, which shall include (at a minimum):

- a. A site plan showing the proposed placement of structures on the property; provisions for ingress and egress, off-street parking and off-street loading areas, and refuse and service areas; and required yards and other open spaces;
 - b. Access and points of connection to utilities (electric, potable water, sanitary sewer, gas, etc.)
 - c. Plans for screening and buffering with reference to type, character and dimensions;
 - d. Proposed landscaping, signs and lighting, including type, dimensions and character;
 - e. Any specific requirements of the zoning district.
4. Two (2) sets of labels for all property owners within 400 feet of the subject property boundaries – even if property within 400 feet falls outside of City limits. (Obtain from the Alachua County Property Appraiser).
 5. Neighborhood Meeting Materials, including:
 - i. Copy of the required published notice (advertisement) – must be published a newspaper of general circulation, as defined in Article 10 of the City's Land Development Regulations
 - ii. Copy of written notice (letter) sent to all property owners within 400 feet, and mailing labels or list of those who received written notice
 - iii. Written summary of meeting – must include (1) those in attendance; (2) a summary of the issues related to the development proposal discussed; (3) comments by those in attendance about the development proposal; and, (4) any other information deemed appropriate.
 6. Map of the subject property and surrounding area with zoning.
 7. Legal description with tax parcel number.
 8. Proof of ownership.
 9. Proof of payment of taxes.
 10. **Fee.** Please see fee schedule for fee determination. No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any necessary technical review will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any legislative and/or quasi-judicial action of any kind on the petition, appeal, or development application.

All 10 attachments are required for a complete application. A completeness review of the application will be conducted within 5 business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge.

Clay Sweger
Signature of Applicant

Signature of Co-applicant

Clay Sweger, Director of Planning
Typed or printed name and title of applicant

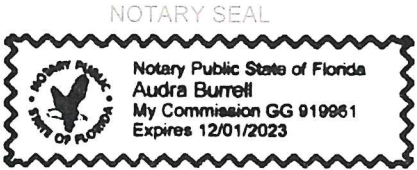
Typed or printed name of co-applicant

State of Florida County of Alachua

The foregoing application is acknowledged before me this 26th day of April, 2022 by Clay Sweger

_____, who is/are personally known to me, or who has/have produced _____ as identification.

Audra Burrell
Signature of Notary Public, State of Florida



Authorized Agent Affidavit

A. PROPERTY INFORMATION

Address of Subject Property: N/A
 Parcel ID Number(s): 03020-000-000
 Acreage: 58.32 +/-

B. PERSON PROVIDING AGENT AUTHORIZATION

Name: Sayed Moukhtara Title: _____
 Company (if applicable): Tara Forest LLC
 Mailing Address: 7717 NW 20th Ln
 City: Gainesville State: FL ZIP: 32605
 Telephone: (352) 278 5317 FAX: _____ e-mail: sayed@moukhtara.com

C. AUTHORIZED AGENT

Name: Sergio Reyes, P.E. Title: President
 Company (if applicable): eda consultants, inc.
 Mailing address: 720 SW 2nd Ave, South Tower, Suite 300
 City: Gainesville State: FL ZIP: 32601
 Telephone: 352-373-3541 FAX: _____ e-mail: sreyes@edafll.com

D. REQUESTED ACTION:

Special Exception

I hereby certify that I am the property owner of record, or I have received authorization from the property owner of record to file an application for a development permit related to the property identified above. I authorize the agent listed above to act on my behalf for purposes of this application.

 Signature of Applicant

Sayed Moukhtara
 Typed or printed name and title of applicant

 Signature of Co-applicant

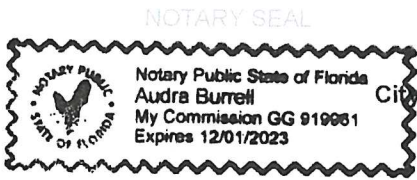
 Typed or printed name of co-applicant

State of Florida County of Alachua

The foregoing application is acknowledged before me this 6 day of April, 2022 by Sayed Moukhtara

_____, who is/are personally known to me, or who has/have produced Florida Driver License as identification.

Audra Burrell
 Signature of Notary Public, State of Florida



Sign Up for Property Watch

Parcel Summary

Parcel ID 03020-000-000
Prop ID 12195
Location Address ALACHUA, FL 32615
Neighborhood/Area 8-18 RURAL (233200.00)
Subdivision
Brief Legal Description* S1/2 OF E1/2 OF LOT 7 LESS R/W FOR SR-93 (LESS THAT PART LYING W OF I-75 ALSO IN SEC 09-08-18 THAT PART LYING E OF I-75 & ADJ TO & W OF SEC LINE & N OF PARCEL 3066-4) DEED APPEARS IN ERROR OR 4738/0321
(Note: *The Description above is not to be used on legal documents.)
Property Use Code TMBR SI 80-89 (05500)
Sec/Twp/Rng 04-08-18
Tax District ALACHUA (District 1700)
Millage Rate 22.0463
Acreage 65.120
Homestead N

[View Map](#)

Owner Information

[TARA FOREST LLC](#)
 7717 NW 20TH LN
 GAINESVILLE, FL 32605

Valuation

	2021 Certified Values	2020 Certified Values	2019 Certified Values	2018 Certified Values	2017 Certified Values
Improvement Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$0	\$0	\$0	\$0	\$0
Land Agricultural Value	\$22,614	\$22,614	\$24,100	\$24,100	\$14,000
Agricultural (Market) Value	\$162,800	\$162,800	\$162,800	\$162,800	\$162,800
Just (Market) Value	\$162,800	\$162,800	\$162,800	\$162,800	\$162,800
Assessed Value	\$22,614	\$22,614	\$24,100	\$24,100	\$14,000
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$22,614	\$22,614	\$24,100	\$24,100	\$14,000
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice

2021 TRIM Notice (PDF)

Land Information

Land Use	Land Use Desc	Acres	Square Feet	Eff. Frontage	Depth	Zoning
5500	TIMBER 2	58.12	2531707.2	0	0	CSV
5900	PINE/HARDWOOD	7.00	304920	0	0	CC

Sales

Sale Date	Sale Price	Instrument	Book	Page	Qualified	Vacant/Improved	Grantor	Grantee	Link to Official Records
12/5/2019	\$2,963,100	MS	4738	0321	05 - QUALIFIED, MULTI TRANS	Vacant	LUTHER ACQUISITIONS LLC, MEGAH	TARA FOREST LLC	Link (Clerk)
9/28/1998	\$100	MS	2209	2650	U - UNQUALIFIED	Vacant	* LISA M WOOD	MEGAHEE ENTERPRISES LTD LLLP	Link (Clerk)
9/28/1998	\$100	MS	2209	2647	U - UNQUALIFIED	Vacant	* WILBUR L WOOD III	* LISA M WOOD	Link (Clerk)
9/28/1998	\$100	MS	2209	2644	U - UNQUALIFIED	Vacant	* JOAN M JONES TRUSTEE	* WILBUR L WOOD III	Link (Clerk)
9/28/1998	\$100	MS	2195	2886	U - UNQUALIFIED	Vacant	* JOAN M JONES	* JOAN M JONES TRUSTEE	Link (Clerk)

Sale Date	Sale Price	Instrument	Book	Page	Qualified	Vacant/Improved	Grantor	Grantee	Link to Official Records
9/28/1998	\$100	MS	2195	2883	U - UNQUALIFIED	Vacant	* JOAN MEGAHEE JONES PER/REP I	* JOAN M JONES	Link (Clerk)
9/28/1998	\$100	MS	2195	2880	U - UNQUALIFIED	Vacant	* JOAN M JONES FKA WOOD TRUSTE	* JOAN MEGAHEE JONES PER/REP I	Link (Clerk)
12/28/1984	\$100	MS	1582	1576	U - UNQUALIFIED	Vacant	* MARIE M MEGAHEE PER/REP NOEL	* JOAN M JONES FKA WOOD TRUSTE	Link (Clerk)

Official Public Records information is provided by the Alachua County Clerk's Office. Clicking on these links will direct you to their web site displaying the document details for this specific transaction.

Map



No data available for the following modules: Building Information, Sub Area, Extra Features, Permits, Sketches, Photos.

This web application and the data herein is prepared for the inventory of real property found within Alachua County and is compiled from recorded deeds, plats, and other public records and data. Users of this web application and the data herein are hereby notified that the aforementioned public primary information sources should be consulted for verification of the information. Alachua County Property Appraiser's Office assumes no legal responsibility for the information contained herein.

[User Privacy Policy](#)
[GDPR Privacy Notice](#)

Last Data Upload: 4/26/2022, 6:06:23 AM

Version 2.3.191

Developed by
 Schneider
 GEOSPATIAL

PREPARED BY AND RETURN TO:
Mary A. Robison, Esquire (KDB)
Fisher, Tousey, Leas & Ball, P.A.
501 Riverside Avenue, Suite 600
Jacksonville, Florida 32202

12/9/2019 2:25 PM
BOOK 4738 PAGE 321
J.K. JESS IRBY, ESQ.
Clerk of the Court, Alachua County, Florida
ERECORDED Receipt # 924842
Doc Stamp-Mort: \$0.00
Doc Stamp-Deed: \$20,741.70
Intang. Tax: \$0.00

NOTE TO CLERK: CONSIDERATION ON THIS TRANSFER IS IN THE AMOUNT OF \$2,963,090.51. DOCUMENTARY STAMP TAX IN THE AMOUNT OF \$20,741.70 IS BEING PAID ON THIS TRANSFER.

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED, made and entered into as of the 5th day of December, 2019, by LUTHER ACQUISITIONS, LLC, a Florida limited liability company, and MEGAHEE ENTERPRISES, LTD., LLLP, a Florida limited liability limited partnership, successor by conversion to Megahee Enterprises, Ltd., a Florida limited partnership, the address for which is 2513 S.W. 50th Boulevard, Gainesville, Florida 32608 (collectively, the "Grantors"), to TARA FOREST, LLC, a Florida limited liability company, the address for which is 7717 N.W. 20th Lane, Gainesville, Florida 32605 (the "Grantee").

WITNESSETH:

THAT, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00), and other good and valuable consideration, the receipt and sufficiency of which are acknowledged by Grantors, Grantors hereby grant, bargain, sell, convey and confirm unto Grantee all that certain real property together with the improvements thereon (collectively, the "Real Property") in Alachua County, Florida, and more particularly described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND BY THIS REFERENCE MADE A PART HEREOF.

RE Nos.: 03067-001-000, 03008-000-000, 03066-002-000 and 03020-000-000

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in any way appertaining.

TO HAVE AND TO HOLD the same unto Grantee in fee simple, forever.

Subject to conditions, covenants, restrictions, reservations, easements, rights-of-way, taxes assessed subsequent to December 31, 2019, and all applicable zoning ordinances; provided, however, this reference will not serve to reimpose any such conditions, covenants, restrictions, reservations or easements.

And Grantors do hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever, claiming by, through or under Grantors, but not otherwise.

IN WITNESS WHEREOF, Grantors have caused this Special Warranty Deed to be executed on their behalf as of the day and year first above written.

LUTHER ACQUISITIONS, LLC, a Florida limited liability company

Nancy Perry
Witness Print Name: NANCY PERRY

By: [Signature]
Joan M. Jones, Manager

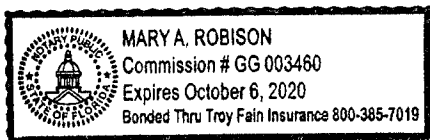
Mary A Robison
Witness Print Name: Mary A Robison

STATE OF FLORIDA
COUNTY OF ALACHUA

The foregoing instrument was acknowledged before me this 4th day of December, 2019, by Joan M. Jones, Manager of LUTHER ACQUISITIONS, LLC, a Florida limited liability company, on behalf of the company, who is personally known to me or has produced _____ as identification.

Notary Stamp

Mary A Robison
Print Name: Mary A Robison
Title: Notary Public
Serial No. (if any) GG003460
Commission Expires: 10/6/20



Signed, sealed and delivered
in the presence of:

MEGAHEE ENTERPRISES, LTD., LLLP,
a Florida limited liability limited partnership

[Signature]
Witness Print Name: Nancy Perry

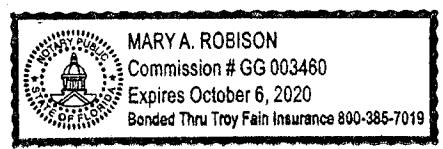
By: [Signature]
Joan M. Jones
Its: General Partner

[Signature]
Witness Print Name: Mary A Robison

STATE OF FLORIDA
COUNTY OF ALACHUA

The foregoing instrument was acknowledged before me this 4th day of December, 2019, by Joan M. Jones, a General Partner of MEGAHEE ENTERPRISES, LTD., LLLP, a Florida limited liability limited partnership, on behalf of the partnership, who is personally known to me or has produced _____ as identification.

Notary Stamp



[Signature]
Print Name: Mary A Robison
Title: Notary Public
Serial No. (if any) GG003460
Commission Expires: 10/6/20

987932

EXHIBIT "A"

Parcel One & Part of Parcel 7:

That part of the East ½ of Section 9, Township 8 South, Range 18 East, lying North of the North right of way of U.S. Highway 441,

Less and except the North ¼ of Government Lot 2; and

Less and Except the right of way of State Road 93 a/k/a Interstate I-75; and

Less and Except that part of Government Lot 7 lying East of the East right of way of State Road 93 a/k/a Interstate I-75;

Also Less and Except the following described property:

Commence at the Southeast corner of Section 9, Township 8 South, Range 18 East, and run North 3° 37' 28" West 286.74 feet to the North right of way of Old State Road No. 25; thence North 79°23'05" West along said right of way 1055.3 feet to its intersection with the West right of way of Interstate No. 75, thence run North 4°26'55" East along said Interstate Road right of way 212.91 feet to its intersection with the South right of way of State Road No. 25 (U.S. No. 441), thence run North 79°06'35" West along said State Road right of way 306.92 feet, thence run North 1°48' 35" West 205.01 feet, thence run North 79°06'35" West 355.34 feet to the North right of way of State Road No. 24 (U.S. No. 441) and the Point of Beginning, thence run North 79° 06'35" West along said right of way 175.00 feet, thence run North 10°53'25" East 175.00 feet, thence South 79°06'35" East 349.10 feet to the Westerly right of way of Interstate Road No. 75, thence South 27°21'25" West along said right of way 38.71 feet to the p.c. of a 34° 11'20" curve, having a radius of 170.10 feet, an internal angle of 73°32' and being concave to a Northwesterly direction, thence run in a Southwesterly direction along the arc of said right of way curve a distance of 215.08 feet to the P.T. of said curve, thence South 10° 53'25" West 16.00 feet to the Point of Beginning. All being and lying in Section 9, Township 8 South, Range 18 East, Alachua County, Florida.

Also Less and Except:

Commence at the Northeast corner of Government Lot Seven (7), Section Nine (9), Township Eight (8) South, Range Eighteen (18) East, and run South 01°48'22" East, along the East line of said Government Lot Seven (7), 1677.39 feet; thence run North 79°06'35" West, 351.65 feet to the intersection with the West right of way line of Interstate Highway No. 75 and the North right of way line of U.S. Highway 441; thence run North 79°06'35" West, along said North right of way line 175.00 feet to the Point of Beginning; thence continue North 79°06'35" West along said North right of way line, 175.00 feet; thence run North 10°53'25" East, 175.00 feet; thence run South 79°06'35" East, 175.00 feet; thence run South 10°53'25" West, 175.00 feet; to the Point of Beginning.

Together with the following described lands:

The East Sixty-four and 79/100 (64.79) feet of that part of Government Lot Three (3), in Section Fifteen (15), Township Eight (8) South, Range Eighteen (18) East, lying North and East of State Roads Nos. 20 and 25, Alachua County, Florida.

And That part of Government Lot Three (3), in Section Fifteen (15), Township Eight (8) South, Range Eighteen (18) East, lying North and East of U.S. Highway 441 less the East Sixty-four and 79/100 (64.79) feet, Alachua County, Florida.

Less and Except therefrom the lands described in Official Records Book 4334, Page 1074 in favor of the City of Alachua, of the Public Records of Alachua County, Florida.

Together with the following described parcel:

The West ½ of Section 10, Township 8 South, Range 18 East, lying North of the North right of way of U.S. Highway 441, Alachua County, Florida. Less and Except the Southwest ¼ of the Southwest ¼, but including that part of the Southwest ¼ of the Southwest ¼ lying within the following described property:

Commence at the Southwest corner of Section 10, Township 8 South, Range 18 East and run North 1°48'58" West along the West line of said Section 1352.21 feet to the Point of Beginning; thence continue North 01°48'58" West along said West Section line 562.78 feet; thence run South 36°22'41" East 524.13 feet; thence run North 89°12'27" East 1039.09 feet; thence run South 38°29'43" East 109 feet, thence run South 87°09'17" West, 1401.60 feet to the West line of Section 10, Township 8 South, Range 18 East and the Point of Beginning. All being and lying in the Southwest ¼ of Section 10, Township 8 South, Range 18 East, Alachua County, Florida.

Parcel Two:

The Southwest ¼ of the Southwest ¼ of the West ½ of Lot 4, all lying and being in Section 3, Township 8 South, Range 18 East, Alachua County, Florida.

Parcel Three:

A tract of land situated in Section 10, Township 8 South, Range 18 East, Alachua County, Florida, said tract of land being more particularly described as follows:

Commence at a concrete monument at the Southwest corner of aforementioned Section 10, Township 8 South, Range 18 East for a point of reference and run North 88°24'02" East, along the South line of said Section 10, a distance of 792.27 feet; thence run North 00° 39'21" West, along the East line of the West 792.16 feet of the Southwest ¼ of the Southwest ¼ of said Section 10, a distance of 508.06 feet to a concrete monument (LS#3456) on the Northerly right of way line of State Road 20-25 a/k/a U.S. Highway 441 (200 foot right of way); thence run South 77°51'07" East, along said Northerly right of way line, a distance of 143.86 feet to a concrete monument (LS#3456) and the True Point of Beginning; thence run North 12°08'53" East, a distance of 200.00 feet to a concrete monument (LS#3456); thence run South 77°51'07" East, a distance of 59.81 feet to a concrete monument (LS#3456); thence run North 60°49'36" East, a distance of 101.29 feet to a concrete monument (LS#3456); thence run North 07°01'30" East, a distance of 70.52 feet to a concrete monument (LS#3456); thence run North 28°08'16" West, a distance of 91.36 feet to a concrete monument (LS#3456); thence run North 60°43'36" East, a distance of 367.96 feet to a concrete monument (LS#3456) on the East line of the aforementioned Southwest ¼ of the Southwest ¼ of Section 10; thence run South 00°00'26" East, along said East line, a distance of 665.16 feet to a concrete monument (LS#940) on the aforementioned Northerly right of way line; thence run North 77°51'07" West, along said Northerly right of way line, a distance of 486.49 feet to the True Point of Beginning.

Balance of Parcel 7:

The South ½ of the East ½ of Government Lot 7, in Section 4, Township 8 South, Range 18 East, Alachua County, Florida. Less and Except the right of way of State Road No. 93 a/k/a Interstate 75, and Less and Except the 66-foot access road.

ACCOUNT NUMBER	PROPERTY ADDRESS	MILLAGE CODE
03020 000 000	UNASSIGNED LOCATION RE	1700

TARA FOREST LLC
7717 NW 20TH LN
GAINESVILLE, FL 32605

EXEMPTIONS:



AD VALOREM TAXES						
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES LEVIED	
COUNTY GENERAL	7.8662	22,614	0	22,614	177.89	
LIBRARY GENERAL	1.0856	22,614	0	22,614	24.55	
SCHOOL CAP36 PROJECT	1.5000	22,614	0	22,614	33.92	
SCHOOL DISCRNRY & CN	0.7480	22,614	0	22,614	16.92	
SCHOOL GENERAL	3.5950	22,614	0	22,614	81.30	
SCHOOL VOTED	1.0000	22,614	0	22,614	22.61	
CHILDREN'S TRUST	0.5000	22,614	0	22,614	11.31	
SUWANNEE RIVER WATER MGT DIST	0.3615	22,614	0	22,614	8.17	
CITY OF ALACHUA	5.3900	22,614	0	22,614	121.89	
TOTAL MILLAGE		22.0463		AD VALOREM TAXES	\$498.56	

Please Retain this Portion for your Records. Receipt Available Online.

LEGAL DESCRIPTION
S1/2 OF E1/2 OF LOT 7 LESS R/W FOR SR-93 (LESS THAT PART LYING W OF I-75 ALSO IN See Additional Legal on Tax Roll

NON-AD VALOREM ASSESSMENTS			
LEVYING AUTHORITY	UNIT	RATE	AMOUNT
NON-AD VALOREM ASSESSMENTS			\$0.00

PAY ONLY ONE AMOUNT. ↓

COMBINED TAXES AND ASSESSMENTS \$498.56

IF PAID/POSTMARKED BY PLEASE PAY	Jan 31, 2022	\$0.00			
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JOHN POWER, CFC 2021 PAID REAL ESTATE 12195
ALACHUA COUNTY TAX COLLECTOR NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS
PLEASE PAY IN U.S. FUNDS TO JOHN POWER, TAX COLLECTOR • P.O. Box 44310 • Jacksonville, FL 32231-4310

ACCOUNT NUMBER	PROPERTY ADDRESS
03020 000 000	UNASSIGNED LOCATION RE

TARA FOREST LLC
7717 NW 20TH LN
GAINESVILLE, FL 32605

PAY ONLY ONE AMOUNT	
IF PAID/POSTMARKED BY	PLEASE PAY
<input type="checkbox"/> Jan 31, 2022	\$0.00
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	

WANT TO RECEIVE YOUR BILL ELECTRONICALLY NEXT YEAR? VISIT www.AlachuaCollector.com AND SIGN UP FOR E-BILLS!

LEGAL DESCRIPTION

Parcel One & Part of Parcel 7:

That part of the East $\frac{1}{2}$ of Section 9, Township 8 South, Range 18 East, lying North of the North right of way of U.S. Highway 441,

Less and except the North $\frac{1}{4}$ of Government Lot 2; and

Less and Except the right of way of State Road 93 a/k/a Interstate I-75; and

Less and Except that part of Government Lot 7 lying East of the East right of way of State Road 93 a/k/a Interstate I-75;

Also Less and Except the following described property:

Commence at the Southeast corner of Section 9, Township 8 South, Range 18 East, and run North $3^{\circ} 37' 28''$ West 286.74 feet to the North right of way of Old State Road No. 25; thence North $79^{\circ} 23' 05''$ West along said right of way 1055.3 feet to its intersection with the West right of way of Interstate No. 75, thence run North $4^{\circ} 26' 55''$ East along said Interstate Road right of way 212.91 feet to its intersection with the South right of way of State Road No. 25 (U.S. No. 441), thence run North $79^{\circ} 06' 35''$ West along said State Road right of way 306.92 feet, thence run North $1^{\circ} 48' 35''$ West 205.01 feet, thence run North $79^{\circ} 06' 35''$ West 355.34 feet to the North right of way of State Road No. 24 (U.S. No. 441) and the Point of Beginning, thence run North $79^{\circ} 06' 35''$ West along said right of way 175.00 feet, thence run North $10^{\circ} 53' 25''$ East 175.00 feet, thence South $79^{\circ} 06' 35''$ East 349.10 feet to the Westerly right of way of Interstate Road No. 75, thence South $27^{\circ} 21' 25''$ West along said right of way 38.71 feet to the p.c. of a $34^{\circ} 11' 20''$ curve, having a radius of 170.10 feet, an internal angle of $73^{\circ} 32'$ and being concave to a Northwesterly direction, thence run in a Southwesterly direction along the arc of said right of way curve a distance of 215.08 feet to the P.T. of said curve, thence South $10^{\circ} 53' 25''$ West 16.00 feet to the Point of Beginning. All being and lying in Section 9, Township 8 South, Range 18 East, Alachua County, Florida.

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Together with the following described parcel:

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Commence at the Southwest corner of Section 10, Township 8 South, Range 18 East and run North 1°48'58" West along the West line of said Section 1352.21 feet to the Point of Beginning; thence continue North 01°48'58" West along said West Section line 562.78 feet; thence run South 36°22'41" East 524.13 feet; thence run North 89°12'27" East 1039.09 feet; thence run South 38°29'43" East 109 feet, thence run South 87°09'17" West, 1401.60 feet to the West line of Section 10, Township 8 South, Range 18 East and the Point of Beginning. All being and lying in the Southwest ¼ of Section 10, Township 8 South, Range 18 East, Alachua County, Florida.

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ALACHUA COUNTY TODAY


Published Weekly
Alachua, Alachua County, FLORIDA

STATE OF FLORIDA
COUNTY OF ALACHUA:

Before the undersigned authority personally appeared H. Bryan Boukari, who on oath and in my physical presence says that he is the Publisher of *Alachua County Today*, a weekly newspaper published at Alachua in Alachua County, Florida; that the attached copy of advertisement, being a Public Notice in the Matter set forth at the beginning of the attached notice, was published in said newspaper in the issue(s) date(s) as set forth at the end of the attached notice.

Affiant further says that *Alachua County Today* is a newspaper published at Alachua, in said Alachua County, Florida, and that the said newspaper has heretofore been continuously published in said Alachua County, Florida, each week and has been entered as periodicals matter at the post office in Alachua, in said Alachua County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that he (she) has neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.

Sworn to and subscribed before me this 7th day of April 2022 by H. Bryan Boukari, who is personally known to me.



(Signature of Affiant)



(Signature of Notary Public)



RAYMOND L. WISE
Commission # HH 112741
Expires April 1, 2025
Bonded Thru Budget Notary Services

PUBLIC NOTICE

A neighborhood workshop will be held to discuss a Special Exception to allow a minor utility (stormwater facility) per LDC Section 4.3.2(1)(4)(a). The subject property is a portion of Alachua County Tax Parcel 03020-000-000 located along April Blvd. This is not a public hearing. The purpose of this meeting is to inform neighboring property owners of the proposed action and to seek their comments. The meeting will be held at 5:15 pm on Monday, April 25, 2022 in the Meeting Room of the Alachua Library Branch, located at 14913 NW 140 Street, Alachua, Florida 32615.



Contact: Sergio Reyes of eda consultants inc.

Ph: 352-373-3541 E-mail: sreyes@edafi.com

(Published: Alachua County Today - April 7, 2022)

NEIGHBORHOOD WORKSHOP NOTICE

Date: Monday, April 25, 2022
Time: 5:15 p.m.
Place: Alachua Library Branch Meeting Room
 14913 NW 140th Street, Alachua, Florida 32615

A neighborhood workshop will be held to discuss a Special Exception to allow a minor utility (stormwater facility) per LDC Section 4.3.2(1)(4)(a). The subject property is a portion of Alachua County Tax Parcel 03020-000-000 located along April Blvd. This is not a public hearing. The purpose of this meeting is to inform neighboring property owners of the proposed application and to seek their comments.



Contact:

Sergio Reyes, P.E. eda consultants, inc.
 sreyes@edaf.com (352) 373-3541

Antoinette Endelicato
5562 NW 93rd Avenue
Gainesville, FL 32653

Dan Rhine
288 Turkey Creek
Alachua, FL 32615

Tom Gorman
9210 NW 59th Street
Alachua, FL 32653

Richard Gorman
5716 NW 93rd Avenue
Alachua, FL 32653

Peggy Arnold
410 Turkey Creek
Alachua, FL 32615

David Forest
23 Turkey Creek
Alachua, FL 32615

President of TCMOA
1000 Turkey Creek
Alachua, FL 32615

Linda Dixon, AICP
Assistant Director of Planning
PO Box 115050
Gainesville, FL 32611

Craig Parenteau
FL Dept. of Environmental Protection
4801 Camp Ranch Road
Gainesville, FL 32641

Jeannette Hinsdale
P.O. Box 1156
Alachua, FL 32616

Lynn Coullias
7406 NW 126th Ave
Alachua, FL 32615

Lynda Coon
7216 NW 126 Avenue
Alachua, FL 32615

Tamara Robbins
PO Box 2317
Alachua, FL 32616

Michele L. Lieberman
County Manager
12 SE 1st Street
Gainesville, FL 32601

Bonnie Flynn
16801 NW 166th Drive
Alachua, FL 32615

Hugh & Jean Calderwood
P.O. Box 2307
Alachua, FL 32616

Lisia Jenkins
P.O. Box 1071
Alachua, FL 32616

Shasta Schoellhorn
15907 NW 188th St.
Alachua, FL 32615

Carrie Luke
16611 NW 138th Ave.
Alachua, FL 32615

Dena Courtney
PO Box 1215
High Springs, FL 32655



Neighborhood Meeting Minutes

Project: Tara April Special Exception

Meeting Date & Time: April 26, 2022 at 5:15 p.m.

Community Participants: None

Project Representatives: Sergio Reyes, eda
Clay Sweger, eda

Meeting Minutes:

No community attendees.

NEIGHBORHOOD WORKSHOP NOTICE

Date: Wednesday, May 11, 2022
Time: 5:30 p.m.
Place: Alachua Library Branch Meeting Room
 14913 NW 140th Street, Alachua, Florida 32615

A neighborhood workshop will be held to discuss a Special Exception to allow a minor utility (stormwater facility) per LDC Section 4.3.2(1)(4)(a). The subject property is a portion of Alachua County Tax Parcel 03020-000-000 located along April Blvd. This is not a public hearing. The purpose of this meeting is to inform neighboring property owners of the proposed application and to seek their comments.



Contact:

Sergio Reyes, P.E. eda consultants, inc.
 sreyes@edaf.com (352) 373-3541

03049-000-000
ALACHUA A ONE LLC
15260 NW 147TH DR STE 100
ALACHUA, FL 32615

03049-004-000
ALACHUA A ONE LLC
15260 NW 147TH DR STE 100
ALACHUA, FL 32615

03066-006-000
MOHAN-LERRA FAMILY
PARTNERSHIP
16715 NW 129TH TER
ALACHUA, FL 32615

03015-001-000
SPENCER JR & SPENCER TRUSTEES
17604 NW 140TH ST
ALACHUA, FL 32615-4457

03017-002-000
SPENCER ARTHUR PRESCOTT JR
TRUSTEE
4145 STATE RD 11
DELAND, FL 32724

03066-006-001
WAFFLE HOUSE INC
5986 FINANCIAL DR
NORCROSS, GA 30071

03008-000-000
TARA FOREST LLC
7717 NW 20TH LN
GAINESVILLE, FL 32605

03020-000-000
TARA FOREST LLC
7717 NW 20TH LN
GAINESVILLE, FL 32605

03067-001-000
TARA FOREST LLC
7717 NW 20TH LN
GAINESVILLE, FL 32605

03015-004-000
MRVZ PARK INVESTORS LLC
PO BOX 1462
INVERNESS, FL 34451

03066-004-000
CITY OF ALACHUA
PO BOX 9
ALACHUA, FL 32616-0009

03066-004-001
CITY OF ALACHUA
PO BOX 9
ALACHUA, FL 32616-0009

03066-006-002
CITY OF ALACHUA
PO BOX 9
ALACHUA, FL 32616-0009

Neighborhood Meeting Minutes

Project: Tara April Special Exception

Meeting Date & Time: May 11, 2022 at 5:30 p.m.

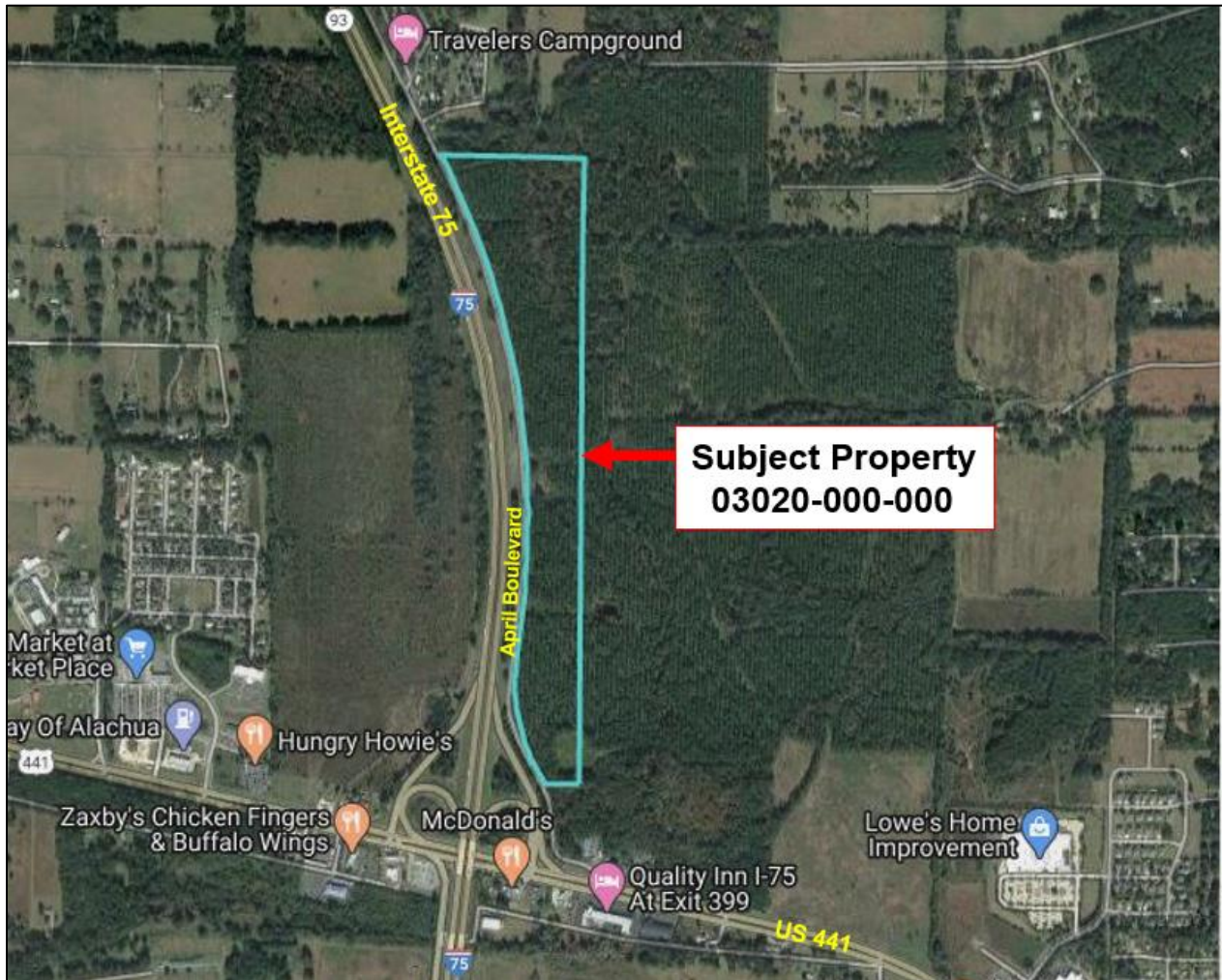
Community Participants: None

Project Representatives: Clay Sweger, eda

Meeting Minutes:

No community attendees.

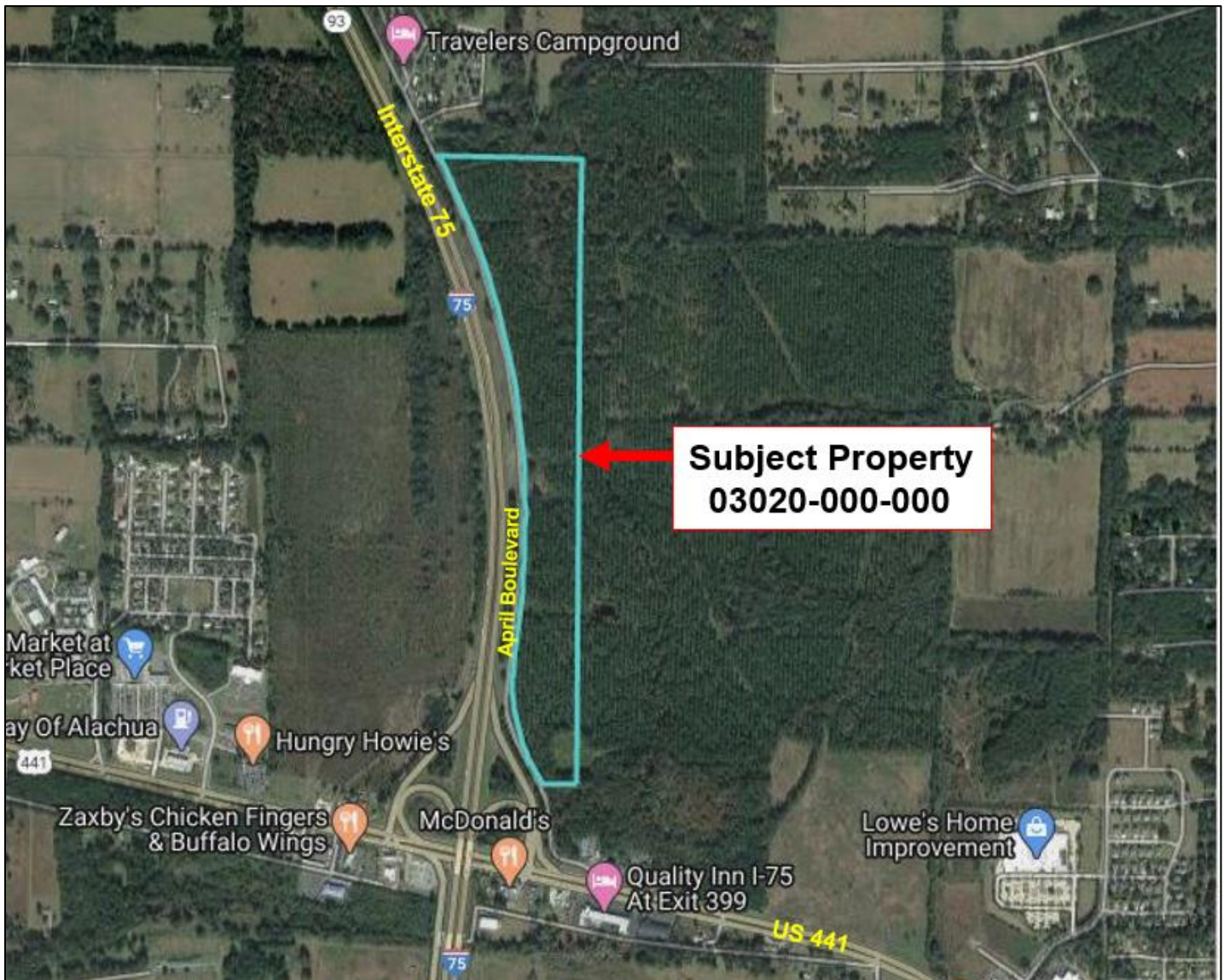
Special Exception Justification Report



- Request:** A proposed Special Exception to allow a minor utility (stormwater facility) per LDC Sec. 4.3.2(I)(4)(a).
- Location:** 17000 block of April Blvd.
- Parcel Number:** 03020-000-000 (portion of)
- Acreage:** 58.32 +/- Acres
- Prepared By:** Clay Sweger, AICP, LEED AP
- Date:** Nov. 4, 2022, Revised May 30, 2023, June 30, 2023 & Feb. 22, 2024

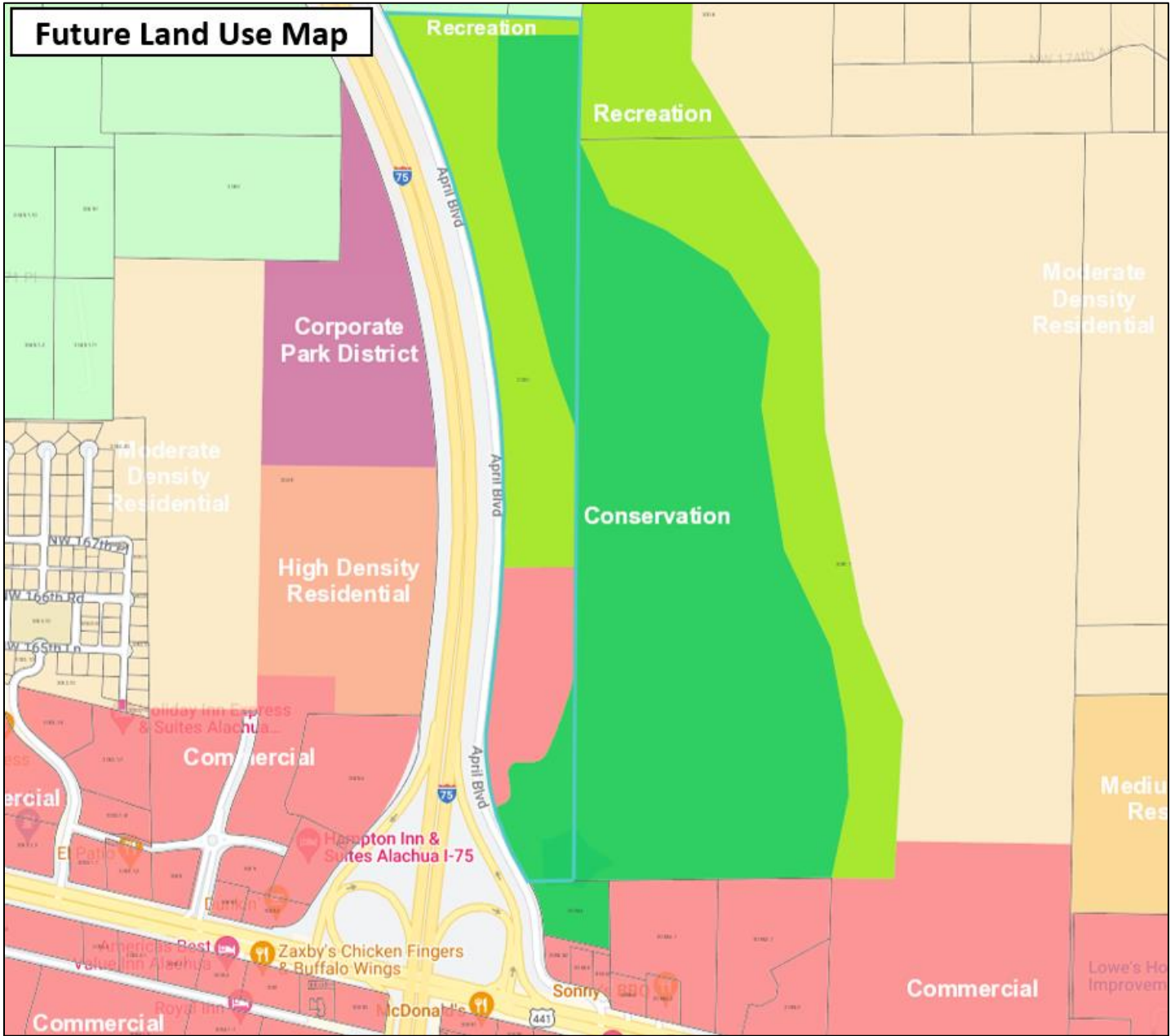
Background

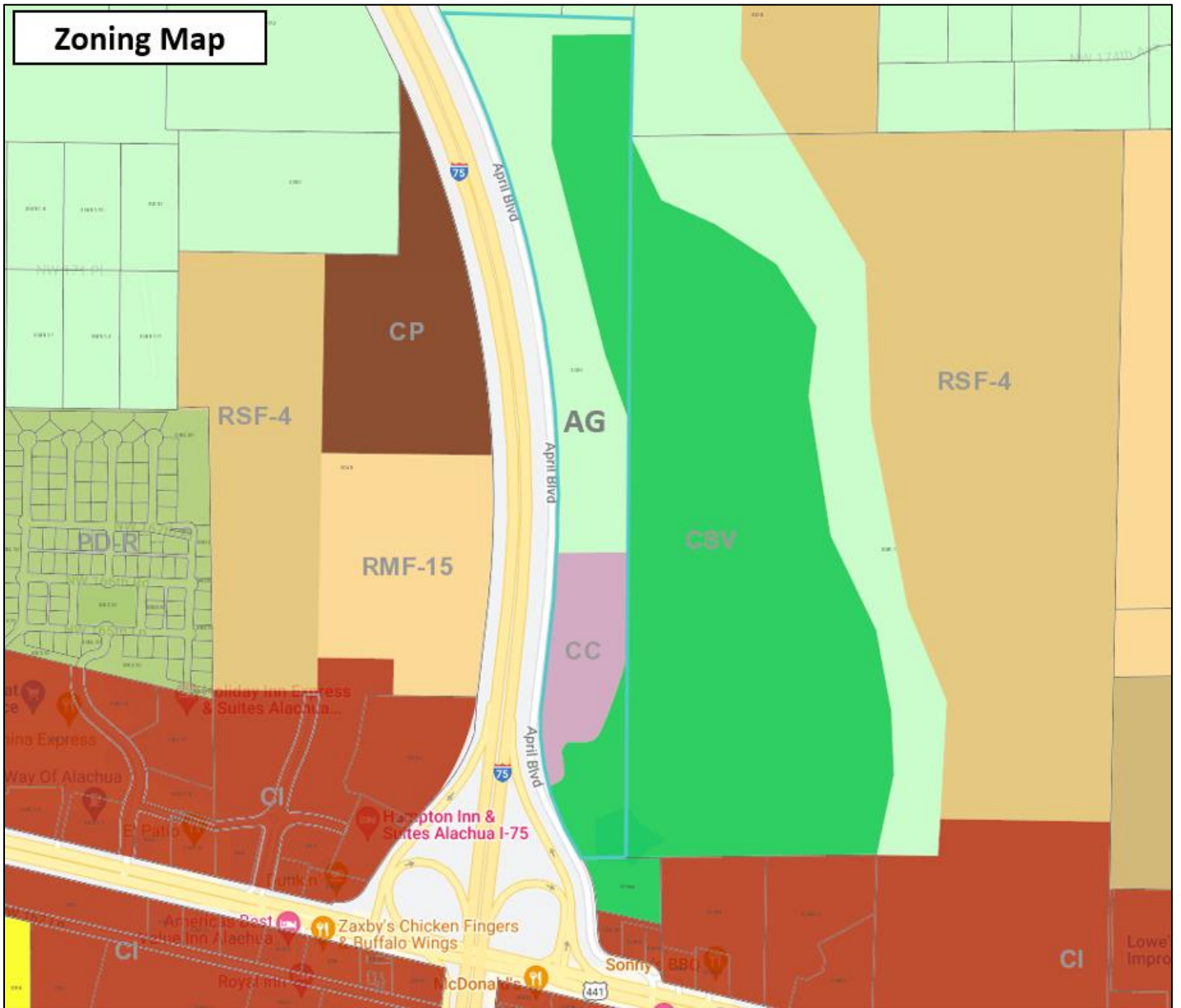
The subject property is located at the 17000 block of April Blvd. in the City of Alachua. The property is located north of US Highway 441, east of Interstate 75 and south of the Travelers Campground and is presently undeveloped. An aerial photo of the entire tax parcel (03020-000-000) is below:



In 2021, the City of Alachua approved a Comprehensive Plan future land use map amendment and rezoning for an approximately 10.5-acre portion of parcel 03020-000-000 from Recreation & Agriculture to Commercial and Community Commercial, respectively. The parcel is presently undeveloped, classified as timberland by the Property Appraiser and is located within Section 18 & 17, Township 8, Range 18.

The future land use & zoning maps for the subject property are illustrated below:





In addition to the land use and zoning map on the approximately 10.5-acre portion of the property, site specific Comprehensive Plan text was approved that allows for stormwater facility improvements within other portions of the property, including areas with Recreation future land use designation and Agriculture zoning. This text is indicated below:

Policy 1.3.h The following sub-policies shall be applicable to Tax Parcel 03020-000-000 or any subset of the parcel.

- 1. In order to enhance stormwater treatment conditions and to provide stormwater water quality improvements, the owner/developer of Tax Parcel 03020-000-000 will provide on-*

site stormwater water quality treatment for the Florida Department of Transportation (FDOT) stormwater runoff as set forth below:

- a. Concurrent with or prior to any commercial development on Parcel 03020-000-000 (or subset of the parcel), the owner/developer shall provide on-site stormwater water quality treatment volume of 0.5 inches of runoff of the I-75 drainage adjacent to the parcel that is associated with FDOT culverts 2/3 & 4/5 as indicated on the FDOT Drainage Map titled “FDOT Map I-75 Alachua County – US 441 To Columbia County Line 26260-3427.” The treatment shall occur on the portion of Parcel 03020-000-000 with a Recreation land use designation.*
 - b. The owner/developer shall coordinate the stormwater water quality improvements with the FDOT and the City of Alachua. Improvements will be in the form of a stormwater basin(s) providing volume treatment to infiltrate through the natural ground. The stormwater basin(s) shall be privately owned and maintained.*
 - c. Construction of the stormwater water quality improvements may include partnership on the project with, but not limited to, FDOT, Suwannee River Water Management District, or another governmental agency.*
 - d. Consistent with the Recreation future land use category on the property, the stormwater water quality treatment area shall be designed to encourage passive recreation use in the form of pervious pathways or nature trails. This passive recreation area shall be privately owned and maintained.*
- 2. The portion of Tax Parcel 03020-000-000 (or subset of the parcel) designated as Commercial on the Future Land Use Map by Ordinance 21-XX shall be zoned Community Commercial (CC) or a less intensive zoning district.*

Based on the City-approved land use change and rezoning, the property owner plans to develop the approximately 10.5-acre Commercial FLU / Community Commercial Zoning area in the future with commercial properties to serve the residents of and visitors to the City of Alachua. These developments are permitted in the underlying land use and zoning categories and will be subject to Development Plan approval by the City Planning & Zoning Board.

A related and fundamental part of the overall site design is to utilize the portion of the property with the Recreation future land use designation and Agriculture zoning district for a two-fold purpose; to construct/provide stormwater facilities that will provide the FDOT / Interstate stormwater water quality treatment as offered by the property owner in Policy 1.3.h and also to serve and treat the runoff generated by the proposed commercial properties with properly designed and permitted stormwater facilities.

Statement of Proposed Change

As such, the applicant proposes a Special Exception to allow a minor utility (stormwater facility) in the Agriculture zoning area of the subject property, per LDC Sec. 4.3.2(l)(4)(a).

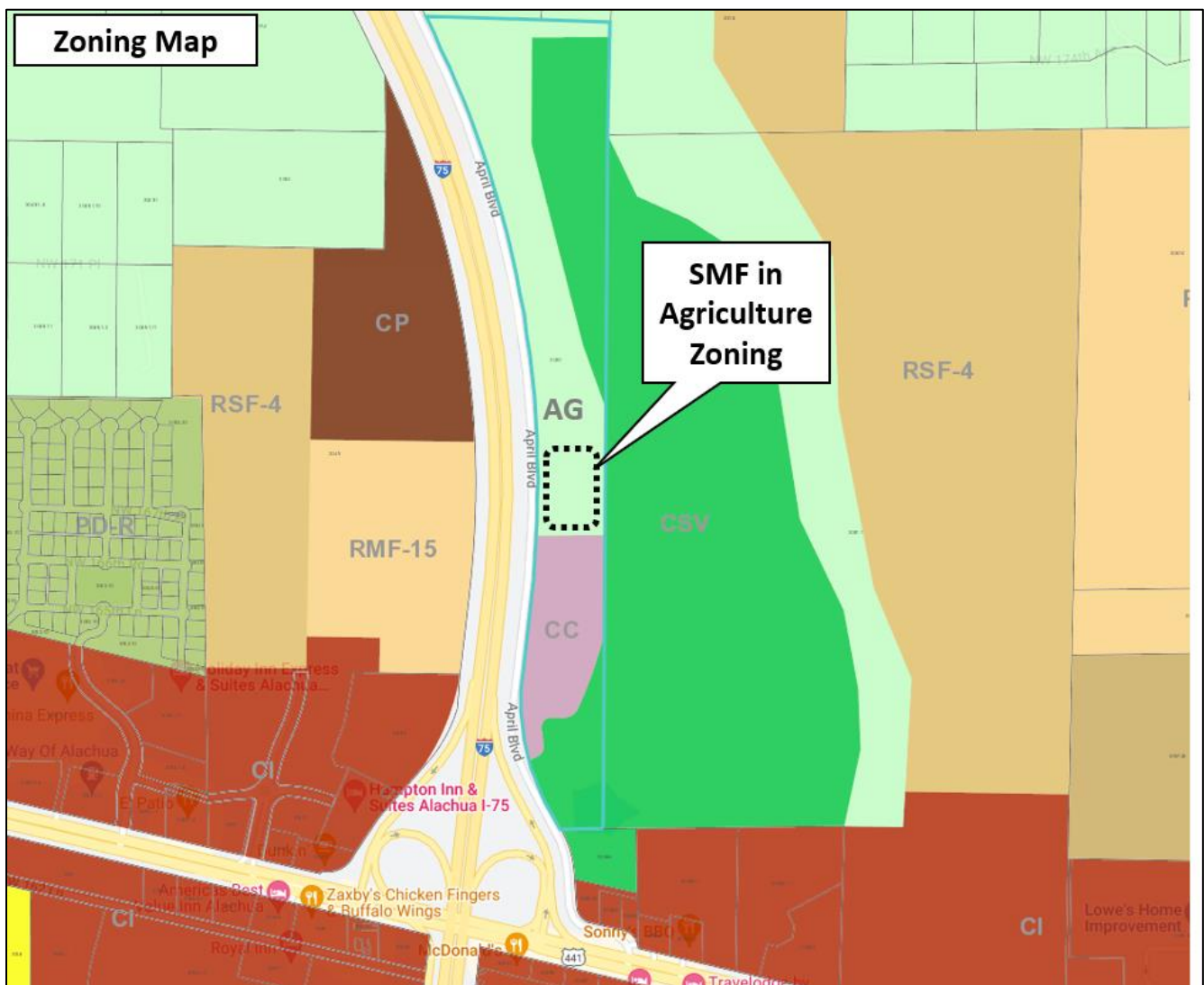
Stormwater retention and detention facilities are considered by the City’s LDC as a minor utility, as indicated in the following Code excerpt:

Sec. 10.2. Definitions.

Utility, minor, means infrastructure services that need to be located in or near the neighborhood or use type where the service is provided. Examples of minor utilities include water and sewage pump stations, distribution electric substations, as defined in F.S. § 163.3208, stormwater retention and detention facilities, telephone exchanges, and surface transportation stops such as bus stops.

As stormwater facilities are defined as a 'minor utility,' they are regulated accordingly in the City Land Development Code. As stated, the property owner / developer plans to develop commercial properties in the future within the Commercial / Community Commercial land use / zoning map area of the property, with the related stormwater facilities being located immediately to the north in Recreation / Agriculture land use / zoning map area on the same parcel under common ownership.

The approximate location of the proposed stormwater management facilities (SMF) in the Agriculture zoning map area is indicated below:



City of Alachua LDC Sec. 4.3.2(l)(4)(a) provides a specific mechanism for such a proposal (stormwater area associated with commercial development within Agriculture zoning), as indicated below:

4.3.2 *Public and institutional use.*

(l) *Utilities.*

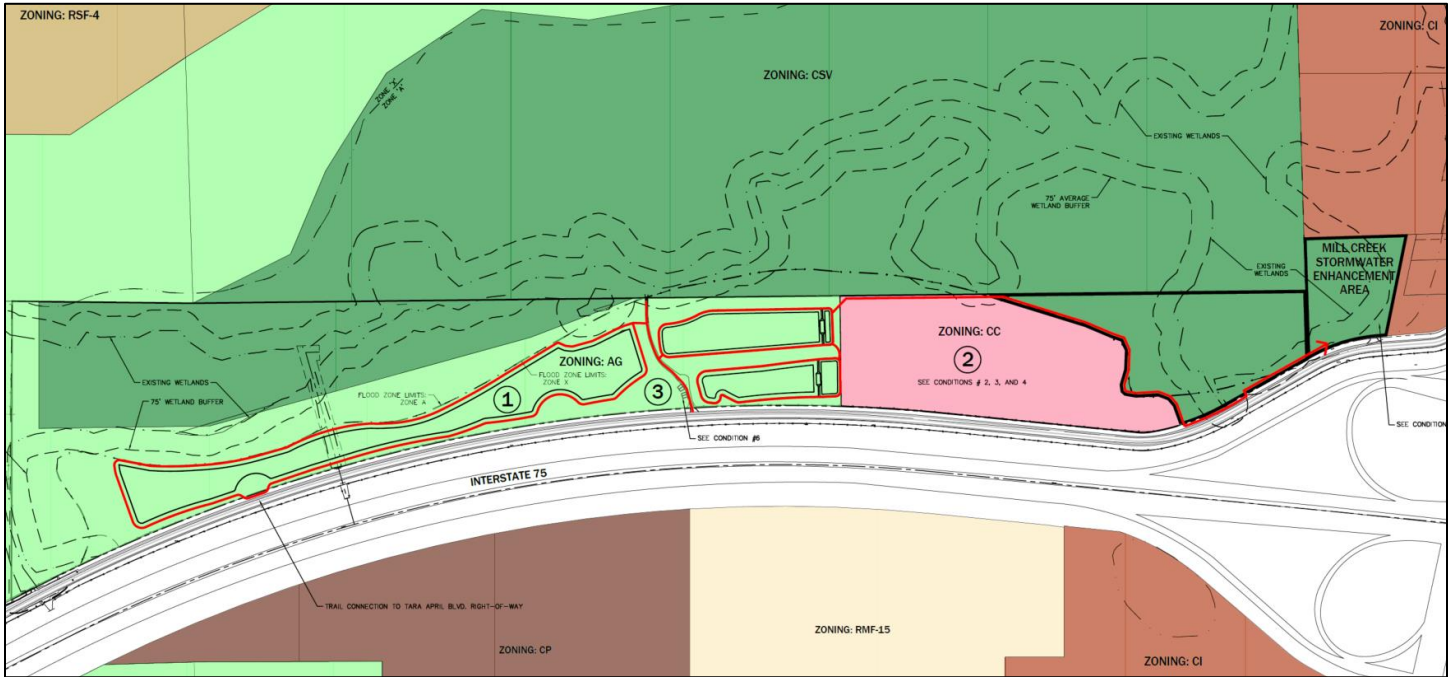
(4) *Utility, minor. A minor utility use shall comply with the following standards:*

(a) *Location. Be located within reasonable proximity of the area to be served.*
Stormwater detention and retention facilities may be permitted by special exception permit on properties with less intense zoning district designations under common ownership.

As stated above in Sec. 4.3.2(l)(4)(a), stormwater facilities may be permitted by special exception permit on properties with less intense zoning district designations under common ownership. In this case, since a stormwater facility is proposed in a less intense zoning district designation under common ownership, that is the exact nature of this proposed Special Exception application request.

It is the applicant's understanding that the City will review each Special Exception request individually and will consider approval based on the merits of the application and at a minimum there be a demonstration that all applicable criteria in Sec. 2.4.4(D) be met. This application meets these standards, as indicated in the 'Consistency with the Land Development Regulations' section of this report. In addition to code compliance, the applicant proposes site improvements that will result in a superior result in comparison to development that is allowed 'by right' without a Special Exception permit.

It is the applicant's belief that this application, which has been improved and enhanced based on input and discussions with City staff, will provide a code compliant plan and an overall 'win-win' condition for both the applicant and the residents of the City of Alachua and will result in an overall superior outcome, which is the intent of this project proposal. The exhibit on the following page is a portion of the proposed Special Exception Master Plan (and Special Exception Legend) that accompanies the Special Exception request (with larger copy included in the application material).



SPECIAL EXCEPTION LEGEND

- 1
 PROPOSED INTERCONNECTED STORMWATER BASIN SYSTEM
 - 2
 FUTURE COMMERCIAL DEVELOPMENT AREA
 - 3
 TEMPORARY/STABILIZED PARKING AREA PARKING AREA FOR TRAIL ACCESS
- PROPOSED TRAIL SYSTEM

This Special Exception Master Plan identifies three main areas of proposed improvement that would be associated with the Special Exception request, in addition to proposed Special Exception Conditions that will run with the land, as outlined below:

SPECIAL EXCEPTION CONDITIONS

1. APPLICANT SHALL INSTALL AN INTERPRETIVE KIOSK AT THE CITY WATER IMPROVEMENT PROJECT SITE (MILL CREEK STORMWATER ENHANCEMENT AREA) WITH LOCATION DETERMINED BY THE CITY OF ALACHUA.
2. SPECIFIC REGULATIONS THAT APPLY TO THE COMMERCIAL ZONING AREA INCLUDE:
 - USES PERMITTED IN THE CC ZONING ARE ALLOWABLE EXCEPT THE FOLLOWING PROHIBITED USES:
 - GASOLINE SALES, GENERAL INDUSTRIAL SERVICE (PRIMARY USE), LAUNDRY AND DRY CLEANING AND CARPET CLEANING (PRIMARY USE), TIRE SALES AND MOUNTING (PRIMARY USE), PARKING LOT (PRIMARY USE), AND PARK AND RIDE FACILITIES.
3. AT LEAST TWO (2) POINTS OF ACCESS FROM THE PROPOSED TRAIL NETWORK TO THE FUTURE COMMERCIAL DEVELOPMENT AREA (WITH TRAIL SIGNAGE) WILL BE PROVIDED WITH THE EXACT LOCATION DETERMINED AT THE TIME OF DEVELOPMENT PLAN REVIEW FOR THE COMMERCIAL AREA. POINTS OF ACCESS SHALL BE APPROVED BY CITY STAFF DURING REVIEW OF A DEVELOPMENT PLAN (e.g., SITE PLAN OR OTHER APPLICABLE DEVELOPMENT REVIEW PROCESS).
4. FUTURE COMMERCIAL DEVELOPMENT SHALL BE REQUIRED TO PROVIDE INTERNAL PEDESTRIAN NETWORK (SIDEWALK) CONNECTIONS TO THE ADJACENT TRAIL NETWORK. THE INTERNAL PEDESTRIAN NETWORK SHALL BE APPROVED BY CITY STAFF DURING REVIEW OF A DEVELOPMENT PLAN (e.g., SITE PLAN OR OTHER APPLICABLE DEVELOPMENT REVIEW PROCESS).
5. THE CONSTRUCTION OF THE TRAIL NETWORK SHOWN ON THE PLANS SHALL OCCUR WITH THE CONSTRUCTION OF THE INTERCONNECTED BASIN SYSTEM.
6. THE PARKING IN THE AREA SHALL BE TEMPORARY AND SHALL REMAIN IN PLACE UNTIL PERMANENT PARKING IS CONSTRUCTED AS PART OF FUTURE COMMERCIAL DEVELOPMENT IN AREA 2. THE TEMPORARY PARKING SHALL BE AN UNPAVED, STABILIZED SURFACE.

As indicated above, there are several proposed elements in the Special Exception proposal that will provide a superior result versus a development of the commercial property 'by right' without the design elements and conditions included in the Special Exception. The master planning of this unique property will accomplish several objectives for both the City and the property owner that are all supportive with and are interdependent upon each other.

The following is a summary of the proposed improvements associated with the Special Exception application, which improvements that are consistent with the Special Exception requirements for the proposed use:

1. Installation of Interconnected Trail Network

The application includes a proposed interconnected trail network to be constructed by the developer for the use and enjoyment of the public. This trail system, as identified on the Conceptual Site Plan, will provide a linkage between the proposed trails around the stormwater areas on the Recreation land use area on the subject property, continuing southward to the future commercial development area and finally to the City-owned property that includes the city's water quality improvement project abutting Mill Creek sink. In addition, a trail stub will run eastward to the property line to provide the opportunity for a future connection to residential projects to the east of Mill Creek, which will include hundreds of proposed units.

This will be a functional recreational amenity that ties together commercial development, recreational lands and city owned assets through the installation of an approximately 1 mile trail system. This trail network is being provided to fulfill the requirements of Sec. 4.3.2(l)(4) which requires an enhanced recreational use.

2. Implementation of FDOT Stormwater Treatment Basins

The application includes the design and construction of these basins in order to provide on-site stormwater quality treatment of FDOT runoff from Interstate 75 as indicated in Comprehensive Plan Policy 1.3.h. This Special Exception plan will help maximize the potential future development within the commercial development area and will help make these water quality improvements economically viable and thereby will assist in their implementation.

3. Installation of Interpretive Kiosk Near Mill Sink

The applicant proposes in this application to install an interpretive kiosk / signage within the City's Mill Creek Stormwater Enhancement Area project to highlight the environmental benefits of the City's recently completed project and offer educational opportunities to learn about this significant environmental feature located in the City of Alachua. The kiosk would be located adjacent to the proposed trail network (as stated in Item #1 above) and the exact location of the kiosk would be determined by the City.

4. Additional Conditions for Future Commercial Development Area

Based on the proximity of the commercial development area on the subject property in related to off-site environmental resources to the east (Mill Creek and wetland areas), the Special Exception proposes conditions to future on-site commercial development with the intention to provide enhanced protections of these nearby environmentally sensitive resources. Most notably, the uses that will be permitted on this property will be reduced below what is already limited in the Community Commercial zoning district, including the elimination of the following permitted uses; gasoline sales, industrial service, laundry and dry cleaning and carpet cleaning, tire sales and mounting, parking lot, and park and ride facilities. The primary goal of eliminating these otherwise permitted uses is to eliminate uses that are identified in the CC zoning that might store or utilize hazardous materials, which could put adjacent resources at risk.

In summary, the proposed design elements indicated above and on the Special Exception Master Plan are proposed in consistency with the applicable criteria found in the Land Development Code, including the Special Exception requirements in Sec. 2.4.4(D) and the applicable use specific standards in Sec. 4.3.2(I). The Special Exception provides pedestrian interconnectivity and an enhanced recreational functional use to a variety of public and private uses that otherwise would not be linked, including the recently completed water quality improvement project, which will help showcase the City project to the public. This proposal will also limit commercial uses that would be in proximity to the Mill Creek conservation area, thereby providing additional protections to that environmentally sensitive area.

The following section of this report provides a justification for approval of the Special Exception by the Planning & Zoning Board based on all of the applicable City code review criteria.

Consistency with the Land Development Code

The analysis below indicates how this Special Exception application complies with the specific requirements for a Special Exception permit in the City of Alachua. Responses following each requirement are shown in bold below:

Sec. 2.4. Specific requirements for applications for development permits.

2.4.4 Special exception permit.

(D) Special exception standards. A special exception permit shall be approved only upon a finding the applicant demonstrates all the following standards are met:

(1) Complies with use specific regulations. The proposed special exception complies with all relevant standards in Section 4.3, Use specific standards, or Section 5.2.3(B), as applicable.

Consistency: The applicable standards for this use, (stormwater facility / minor utility in a less intense zoning district under common ownership) are stated below (with consistency statement following) with applicant's statements of how the application complies with each regulation:

Sec. 4.3. Use specific standards.

4.3.2 Public and institutional use.

(1) Utilities.

(4) Utility, minor. A minor utility use shall comply with the following standards:

(a) Location. Be located within reasonable proximity of the area to be served. Stormwater detention and retention facilities may be permitted by special exception permit on properties with less intense zoning district designations under common ownership, subject to the following requirements:

(i) The zoning designation of the location of the stormwater detention and retention facility allows minor utilities; and,

Consistency: The stormwater facility is located within the Agriculture zoning designation, which is a permitted use in the City Land Development Regulations, Table 4.1-1.

(ii) *The stormwater detention and retention facility meets the compatibility requirements as set forth in Subsection 4.3.2(1)(4)(b); and*

Consistency: See the response to ‘(2) Compatibility’ below for demonstration of the proposed use’s compatibility with surrounding uses.

(iii) *The stormwater detention and retention facility provides an enhanced natural (e.g., increased topographic relief, vegetative diversity, etc.) or recreational (e.g., perimeter trail, boardwalk, interpretive kiosk, etc.) functional use.*

Consistency: The proposed stormwater area is designed in a manner to take into account the existing topographic conditions related to the natural area located to the east of the property, providing a sound transition from the FDOT Interstate to the west of the property to the environmentally sensitive areas to the east. In addition, the proposed basins and the amenities/improved in this Special Exception application will provide a functional recreational use by installing an interconnected perimeter trail network linking several public and private uses, including a linkage between the proposed trails around the stormwater areas on the Recreation land use area on the subject property, continuing southward to the future commercial development area and finally to the City-owned property that includes the city’s water quality improvement project abutting Mill Creek sink. The applicant also proposes an interpretive kiosk at the City Mill Creek Stormwater Enhancement Area with the location to be determined by the City. In addition, a trail stub will run eastward to the property line to provide the opportunity for a future connection to residential projects to the east of Mill Creek, which will include hundreds of proposed units.

This will be a functional recreational amenity that ties together private development, recreational lands and city owned assets through the installation of an approximately 1 mile trail system. The application will also limit commercial uses that would be in proximity to the Mill Creek conservation area and will help expedite and make financially feasible the FDOT water quality improvements as indicated in Policy 1.3.h.

(b) *Compatibility. Provide adequate setbacks, screening and buffering around the perimeter of the proposed use if it is deemed necessary to ensure land use compatibility with surrounding uses.*

Consistency: See the response to ‘(2) Compatibility’ below for demonstration of the proposed use’s compatibility with surrounding uses.

(c) *Exemptions. The provisions of this subsection shall not be applicable when the differing zoning designations are both classified as residential districts or are both classified as business districts, as categorized in Table 3.1-1, Establishment of Base Zone Districts. Stormwater detention and retention facilities serving residential districts shall be permitted in business districts without special exception if included as part of a master stormwater permit or common development plan.*

Consistency: The regulation is not applicable to this Special Exception request.

(2) Compatibility. The proposed special exception is appropriate for its location and compatible with the character of surrounding lands and the uses permitted in the zone district.

Consistency: This special exception request will not result in any incompatibility with adjacent lands. The proposed minor utility (stormwater facility) will not have any negative impacts on the surrounding land uses. The following list of adjacent uses illustrate the existing land uses for the surrounding properties:

The existing land uses and future land use designations of the adjacent properties are as follows:

North: Proposed Stormwater Basins (on same subject property)
Recreation future land use designation and Agriculture zoning

East: Undeveloped Properties (on adjacent property)
Conservation future land use designation and CSV zoning

West: April Boulevard and I-75 ROW (on adjacent property)

South: Undeveloped Commercial Property (on same subject property)
Commercial future land use designation and CC zoning

The proposed Special Exception to allow a minor utility (stormwater facility) is compatible with the overall surrounding land use designations, zoning districts and the existing development pattern in the area. Stormwater basins are, by nature, compatible with most any kind of adjacent use. As previously stated, the site is located within the urbanizing portion of the City of Alachua, within close proximity to Interstate 75. The proposed stormwater facility will help accommodate future commercial development on the portion of the property with commercial zoning to the south. To the immediate north will be stormwater basins constructed (to treat FDOT runoff) as well. There is also existing development in the immediate vicinity north of the parcel and it is adjacent to Interstate 75. In addition, no impacts to the flood zone located east of the stormwater area is proposed. Finally, the implementation of all of the additional Special Exception conditions beyond the proposed stormwater basins (trails, limitation of potentially non-compatible commercial uses and interpretive kiosk at City property) will further increase the compatibility of the proposed use with surrounding properties.

(3) Design minimizes adverse impact. The design of the proposed special exception minimizes adverse effects, including visual impacts of the proposed use on adjacent lands; furthermore, the proposed special exception avoids significant adverse impact on surrounding lands

regarding service delivery, parking and loading, odors, noise, glare, and vibration, and does not create a nuisance.

Consistency: The proposed stormwater facility by nature of its use and function will not create a negative visual, auditory, or other impact on adjacent properties. Stormwater basins do not require parking/loading, or produce odors, glare, noise or vibration. No nuisance will be created by the proposed stormwater facility within the agricultural zoned area of the property.

(4) Design minimizes environmental impact. The proposed special exception minimizes environmental impacts and does not cause significant deterioration of light, water and air resources, wildlife habitat, stormwater management, scenic resources, and other natural resources.

Consistency: The proposed facility will not cause deterioration of light, water, or air resources. It is located next to conservation area (of which an adjacent stormwater basin is a compatible and transitional use) and will not have a negative impact on the environmental resources located nearby.

As stated in this report, the property is being master planned which will accomplish several objectives that are all supportive with and are interdependent upon each other. In addition, the proposed stormwater facility will be designed to meet all city and water management criteria for treating stormwater runoff for proposed future development (and also treat existing runoff on the site from adjacent roadways).

(5) Roads and other public facilities. There is adequate public facility capacity available to serve the proposed special exception, and the proposed special exception use is designed to ensure safe ingress and egress onto the site and safe road conditions around the site.

Consistency: The proposed use (stormwater facility / minor utility) will not have an impact of public facilities provided by the City of Alachua as the use does not create any demand for those facilities. In addition, while the stormwater facility will not require regular ingress/egress or require regular access to the site, basic access will be provided for any required future maintenance activities.

(6) Not injure neighboring land or property values. The proposed special exception will not substantially injure the use of neighboring land for those uses that are permitted in the zone district, or reduce land values.

Consistency: The proposed stormwater basin that would be approved via the Special Exception application will not injure neighboring land or property values. The proposed use (stormwater basin & pedestrian trail system) does not generate any increased demand on road, utilities or any other public infrastructure and does not generate any increased noise, odor or any other potential nuisances, which in many cases, when increased, can result in negative impacts on adjacent properties both in use and land values. In addition, it is part of the property owner's

plan to provide water quality treatment for adjacent FDOT runoff before it enters Mill Creek, which is an environmental benefit, which can result in enhanced use (and increased property values) of adjacent properties.

(7) Drawings. A site plan (Subsection 2.4.9 of this section) or preliminary plat (Subsection 2.4.10(G)(3) of this section) has been prepared that demonstrates how the proposed special exception use complies with the other standards of this subsection.

Consistency: Two items have been included in the Special Exception application package to comply with this requirement. First, a Site Plan (aka in this case, Infrastructure Plans based on the proposed use) has been prepared to include the design of the proposed stormwater facilities. Sec. 2.4.4(D)(7) above states that a site plan is required for the ‘special exception use,’ which in this case, based on Sec. 4.3.2(l)(4)(a), the ‘special exception use’ is the stormwater facility (minor utility). As such, the Site Plan requirement applies to this use (stormwater) only. As such, the design of the proposed stormwater improvements and trail network is included in the Infrastructure Plan set included in this application, per Sec. 2.4.9(E)(2). Future commercial development within the commercially zoned areas do not require a Special Exception approval and therefore, a Site Plan (per Sec. 2.4.9) for future commercial development is not required as part of this specific application (and will be provided in the future at the time of proposed commercial development).

Second, the Special Exception application also includes a ‘Special Exception Master Plan’ document, which provides details of the location of the trail network, interpretive kiosk and also includes proposed conditions that limit the future uses on the commercially zoned property.

A Special Exception Master Plan excerpt is indicated on page 6 of the report and a complete copy included in the Special Exception application) identifies all proposed improvements included in the Special Exception request.

(8) Complies with all other relevant laws and ordinances. The proposed special exception use complies with all other relevant City laws and ordinances, State and Federal laws, and regulations.

Consistency: The proposed stormwater facility shall be designed and permitted to meet the city and water management criteria for treating stormwater runoff for proposed future development. The proposed use of the site for a stormwater facility shall comply with all relevant laws and ordinances.

Conclusion

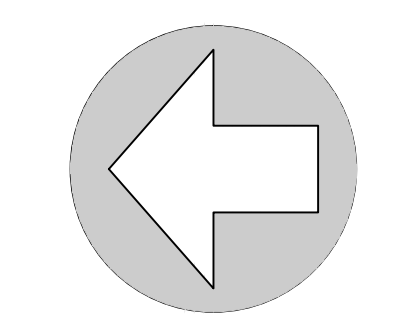
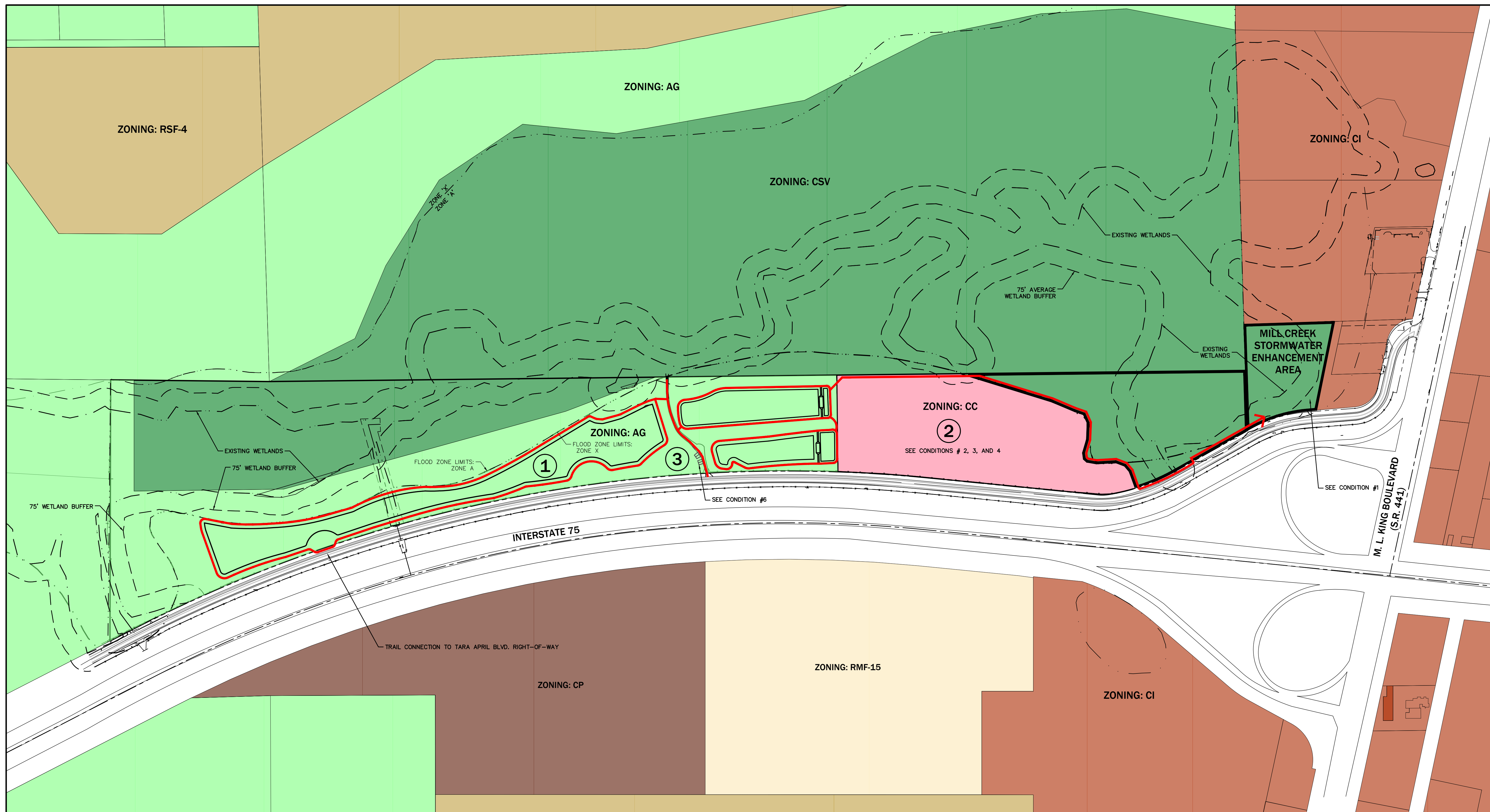
As outlined in this report, the proposed Special Exception has been prepared to demonstrate consistency with the applicable sections of the Comprehensive Plan and Land Development Code, including the review criteria for Special Exceptions in Sec. 2.4.4(D) and Section 4.3.2(l)(4) (Minor Utility

Use Specific Standards). The proposed trail network serving as an enhanced functional use along the perimeter of the proposed stormwater basins is consistent with Comprehensive Plan Policy 1.3.h (approved by the City Commission in 2021 for this property), which requires on-site stormwater water quality treatment of FDOT stormwater runoff concurrent with (or before) commercial development activity on the project site.

In addition to compliance with Comprehensive Plan and Land Development Code, the Special Exception, if approved by the City of Alachua, will allow for the implementation of the landowner's master plan, including construction of a trail network to fulfill the requirements of Sec. 4.3.2(I)(4). The Special Exception will provide a linkage between the proposed trails around the stormwater areas on the Recreation land use area on the subject property, continuing southward to the future commercial development area and finally to the City-owned property that includes the city's water quality improvement project abutting Mill Creek sink. In addition, a trail stub will run eastward to the property line to provide the opportunity for a future connection to residential projects to the east of Mill Creek, which will include hundreds of proposed units.

This will be a functional recreational amenity that ties together private development, commercial development, recreational lands and city owned assets through the installation of an approximately 1 mile trail system. The application will also limit commercial uses that would be in proximity to the Mill Creek conservation area and will help expedite and make financially feasible the FDOT water quality improvements as indicated in Policy 1.3.h.

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GRAPHIC SCALE

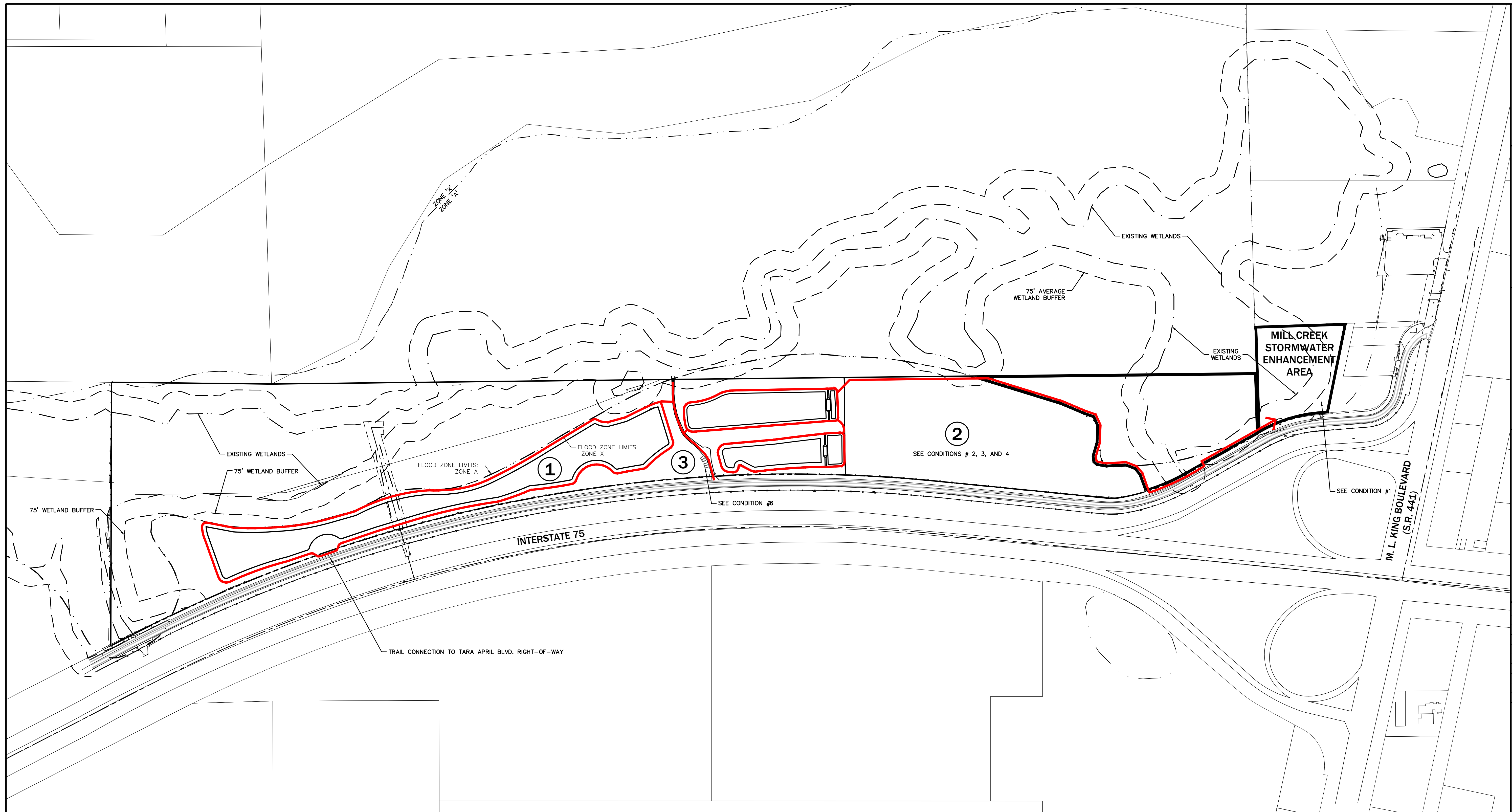
No.	Date	Comment

Project No:	----
Project phase:	SPECIAL EXCEPTION
Project title:	TARA APRIL CITY OF ALACHUA, FLORIDA
Sheet title:	SPECIAL EXCEPTION MASTER PLAN (WITH ZONING OVERLAY)
Designed: SJR	Sheet No.:
Drawn: TAR/GRV	P100
Checked: CSB	
Date: 02/21/24	

SPECIAL EXCEPTION LEGEND	
①	PROPOSED INTERCONNECTED STORMWATER BASIN SYSTEM
②	FUTURE COMMERCIAL DEVELOPMENT AREA
③	TEMPORARY/STABILIZED PARKING AREA FOR TRAIL ACCESS
	PROPOSED TRAIL SYSTEM

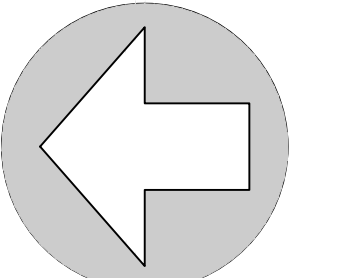
- | SPECIAL EXCEPTION CONDITIONS | |
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\\server3\engprojects\Tara April - Development Plans - Parcel 03020-000-000 - April Blvd - Moukhtara - 2020-0088\Plans\Current\DWG\2022 - Special Exception\S20088SE1.dwg, P110 - MASTER PLAN, 2/22/2024 4:21:36 PM, lowens



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NORTH
SCALE: 1" = 200'
0 100 200 400
GRAPHIC SCALE

No.	Date	Comment

Project No: ----
Project phase: **SPECIAL EXCEPTION**
Project title: **TARA APRIL CITY OF ALACHUA, FLORIDA**

Sheet title: **SPECIAL EXCEPTION MASTER PLAN**


Designed: SJR Sheet No.: **P110**
Drawn: TAR/GRV
Checked: CSB
Date: 02/21/24

SPECIAL EXCEPTION LEGEND

1 PROPOSED INTERCONNECTED STORMWATER BASIN SYSTEM

2 FUTURE COMMERCIAL DEVELOPMENT AREA

3 TEMPORARY/STABILIZED PARKING AREA PARKING AREA FOR TRAIL ACCESS

 PROPOSED TRAIL SYSTEM

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- SPECIFIC REGULATIONS THAT APPLY TO THE COMMERCIAL ZONING AREA INCLUDE:
 - USES PERMITTED IN THE CC ZONING ARE ALLOWABLE EXCEPT THE FOLLOWING PROHIBITED USES:
 - GASOLINE SALES, GENERAL INDUSTRIAL SERVICE (PRIMARY USE), LAUNDRY AND DRY CLEANING AND CARPET CLEANING (PRIMARY USE), TIRE SALES AND MOUNTING (PRIMARY USE), PARKING LOT (PRIMARY USE), AND PARK AND RIDE FACILITIES.
- AT LEAST TWO (2) POINTS OF ACCESS FROM THE PROPOSED TRAIL NETWORK TO THE FUTURE COMMERCIAL DEVELOPMENT AREA (WITH TRAIL SIGNAGE) WILL BE PROVIDED WITH THE EXACT LOCATION DETERMINED AT THE TIME OF DEVELOPMENT PLAN REVIEW FOR THE COMMERCIAL AREA. POINTS OF ACCESS SHALL BE APPROVED BY CITY STAFF DURING REVIEW OF A DEVELOPMENT PLAN (e.g., SITE PLAN OR OTHER APPLICABLE DEVELOPMENT REVIEW PROCESS).
- FUTURE COMMERCIAL DEVELOPMENT SHALL BE REQUIRED TO PROVIDE INTERNAL PEDESTRIAN NETWORK (SIDEWALK) CONNECTIONS TO THE ADJACENT TRAIL NETWORK. THE INTERNAL PEDESTRIAN NETWORK SHALL BE APPROVED BY CITY STAFF DURING REVIEW OF A DEVELOPMENT PLAN (e.g., SITE PLAN OR OTHER APPLICABLE DEVELOPMENT REVIEW PROCESS).
- THE CONSTRUCTION OF THE TRAIL NETWORK SHOWN ON THE PLANS SHALL OCCUR WITH THE CONSTRUCTION OF THE INTERCONNECTED BASIN SYSTEM.
- THE PARKING IN THE AREA SHALL BE TEMPORARY AND SHALL REMAIN IN PLACE UNTIL PERMANENT PARKING IS CONSTRUCTED AS PART OF FUTURE COMMERCIAL DEVELOPMENT IN AREA 2. THE TEMPORARY PARKING SHALL BE AN UNPAVED, STABILIZED SURFACE.

Plotted Dec 23, 2022 - 13:20:59 - dlanette

NOTES:

- 1) ELEVATIONS SHOWN HEREON WERE BASED ON AN ELEVATION OF 68.04 FEET (NAVD 1988 DATUM) ON A FLORIDA DEPARTMENT OF TRANSPORTATION BENCHMARK STAMPED "FDOT 2626002 BM1" AS SHOWN HEREON. SAID BENCHMARK IS A BRASS DISK SET IN POURED CONCRETE.
2) BEARINGS AS SHOWN HEREON WERE PROJECTED FROM A BEARING OF N 00°39'04" W ON THE EAST LINE OF SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST.
3) DISTANCES SHOWN HEREON ARE EXPRESSED IN U.S. SURVEY FEET AND WERE MEASURED ON A HORIZONTAL PLANE.
4) ALL CURB TYPES AS SHOWN ARE PER FLORIDA DEPARTMENT OF TRANSPORTATION INDEX 300.
5) THIS SURVEY CONSISTS OF 11 SHEETS AND IS NOT VALID WITHOUT ALL SHEETS.
6) NO SEARCH OF THE PUBLIC RECORDS WAS MADE BY THE SURVEYOR, THEREFORE, THERE MAY BE RESTRICTIONS OTHER THAN THOSE SHOWN HEREON WHICH MAY BE FOUND IN THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA. EASEMENTS AND BUILDING SETBACK REQUIREMENTS, OTHER THAN THOSE SHOWN, WERE NOT PROVIDED TO THIS SURVEYOR.
7) TREES WEST OF THE PAVEMENT ON APRIL BOULEVARD (OTHER THAN THOSE SHOWN HEREON) WERE NOT LOCATED.

UTILITY LOCATION NOTE:

THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN WERE BASED ON ABOVE GROUND FIXTURES, UTILITY COMPANY MAPS AVAILABLE TO THE SURVEYOR, AND ELECTRONIC DETECTION METHODS. UNLESS NOTED OTHERWISE ON THE GRAPHIC PORTION OF THIS SURVEY, NO UTILITIES WERE UNCOVERED TO VERIFY THEIR LOCATION.

NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED BY THE SURVEYOR THAT THE LOCATIONS SHOWN REPRESENT THE ACTUAL LOCATIONS OF THOSE UTILITIES, THE UTILITY TYPE, OR THAT NO OTHER UTILITIES EXIST ON THE SITE.

PRIOR TO THE DESIGN OF UTILITY CONNECTIONS, THE PROPOSED CONNECTION POINTS SHOULD BE EXCAVATED AS NECESSARY TO CONFIRM THEIR EXACT LOCATION, DEPTH AND CHARACTERISTICS.

IN ACCORDANCE WITH FLORIDA STATUTE CHAPTER 556, PRIOR TO ANY EXCAVATION, THE EXCAVATOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA AT 1-800-432-4770.

LEGAL DESCRIPTION:

THAT PART OF THE EAST 1/2 OF SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST, LYING NORTH OF THE NORTH LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 4671, PAGE 1059 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, AND LYING EAST OF THE EASTERLY RIGHT OF WAY LINE OF APRIL BOULEVARD (A 66' WIDE ALACHUA COUNTY SERVICE ROAD RIGHT OF WAY).

TOGETHER WITH:

THAT PORTION OF THE SOUTH 1/2 OF THE EAST 1/2 OF GOVERNMENT LOT 7, IN SECTION 4, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA, LYING EAST OF THE EASTERLY RIGHT OF WAY LINE OF APRIL BOULEVARD (A 66' WIDE ALACHUA COUNTY SERVICE ROAD RIGHT OF WAY).

BOUNDARY AND TOPOGRAPHIC SURVEY

IN SECTIONS 4 & 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST, CITY OF ALACHUA, ALACHUA COUNTY, FLORIDA FOR TARA FOREST, LLC

LEGEND OF SYMBOLS & ABBREVIATIONS:

- BPPR = WATERLINE BACKFLOW PREVENTER
cmp = CORRUGATED METAL PIPE
CONC = CONCRETE
DWS = DETECTABLE WARNING STRIP
D = DELTA (CENTRAL) ANGLE
R = RADIUS
A = ARC
T = TANGENT
CB = CHORD BEARING
CD = CHORD DISTANCE
ELEV = ELEVATION
F.D.O.T. = FLORIDA DEPARTMENT OF TRANSPORTATION
F.E.S. = FLARED END SECTION
GRUB = GRUCOM JUNCTION BOX
ID. = IDENTIFICATION
INV = INVERT
M.E.S. = MITERED END SECTION
No. = NUMBER
O.R. = OFFICIAL RECORDS BOOK
P.C.S. = PAGES
PVC = POLY-VINYL CHLORIDE
RCP = REINFORCED CONCRETE PIPE
R/W = RIGHT OF WAY
S BOX = TRAFFIC SIGNAL JUNCTION BOX
SECTION 9-8-18 = SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST
WITH = WITH
ANG = GUY ANCHOR
TRB = TRAFFIC BOLLARD
CO = SANITARY OR STORM SEWER CLEAN-OUT
FH = FIRE HYDRANT
FOC = FIBER OPTIC CABLE MARKER
FCM = FOUND CONCRETE MONUMENT (size, ID)
FN = FOUND NAIL & DISK (ID)
FR = FOUND REBAR & CAP (size, ID)
HBS = HOSE BIB (SPIGOT)
GV = GAS VALVE
LP = LIGHT POLE
MB = MAIL BOX
MH = MANHOLE
MP = METER POLE
PP = POWER POLE
REFL = REFLECTOR
SET 5/8" REBAR & CAP (LB 2389)
SIGN = SIGN
SV = SANITARY SEWER VALVE
TEPED = TELEPHONE PEDESTAL
CTVPED = CABLE TELEVISION PEDESTAL
WM = WATER METER
WV = WATER VALVE
ECL = ELEVATION CONTOUR LINE
FENCE = FENCE LINE
GHGW = OVERHEAD GUY WIRE
GHOML = OVERHEAD GRUCOM LINE
GHPWL = OVERHEAD POWER LINE
GHTEL = OVERHEAD TELEPHONE LINE
GHTEL = OVERHEAD TELEVISION LINE
GHFOL = OVERHEAD FIBER OPTIC CABLE LINE
FM = SANITARY SEWER FORCE MAIN
UGEL = UNDERGROUND ELECTRIC LINE
UGFOL = UNDERGROUND FIBER OPTIC CABLE LINE
UGGL = UNDERGROUND GAS LINE
UGRUL = UNDERGROUND GRUCOM LINE
UGTEL = UNDERGROUND TELEPHONE LINE
UGTVL = UNDERGROUND CABLE TELEVISION LINE
UGTSL = UNDERGROUND TRAFFIC SIGNAL LINE
UGWL = UNDERGROUND WATER LINE
(6" PVC) = SIZE AND/OR MATERIAL AS PROVIDED BY UTILITY COMPANY
4-1 = WETLANDS FLAG LOCATION "4-16" PROVIDED BY VERDE ENVIRONMENTAL CO.
88.95 X = SPOT ELEVATION
CONC = CONCRETE

TREE LEGEND:

TREES WITH A DIAMETER 10" AND GREATER, EXCLUDING ALL PINE AND SUGARBERRY TREES WERE LOCATED FOR THIS SURVEY. (DIAMETER MEASURED 4.5' ABOVE GRADE)

- bb10 = 10" BLUE BEECH Carpinus caroliniana
bbw13 = 13" BASSWOOD Tilia americana
cb11.16 = 11"-16" CHINA BERRY Melia azadirach
ch12 = 12" SOUTHERN RED CEDAR Juniperus silicicola
ch17 = 17" BLACK CHERRY Prunus serotina
cht14 = 14" CHINESE TALLOW Tridax sebifera
e20 = 20" FLORIDA ELM Ulmus floridana
h22 = 22" HICKORY Carya sp.
lao17 = 17" LAUREL OAK Quercus hemisphaerica
lot5 = 15" LIVE OAK Quercus virginiana
mb11 = 11" RED MULBERRY Morus rubra
mp25 = 25" RED MAPLE Acer rubrum
pal16 = 16" PALM Sabal palmetto
sc20 = 20" SWAMP CHESTNUT OAK Quercus michauxii
sp18 = 18" SWEETGUM Liquidambar styraciflua
tre23 = 23" UNIDENTIFIED TREE
tup15 = 15" TUPELO Nyssa biflora
wot9 = 19" WATER OAK Quercus nigra

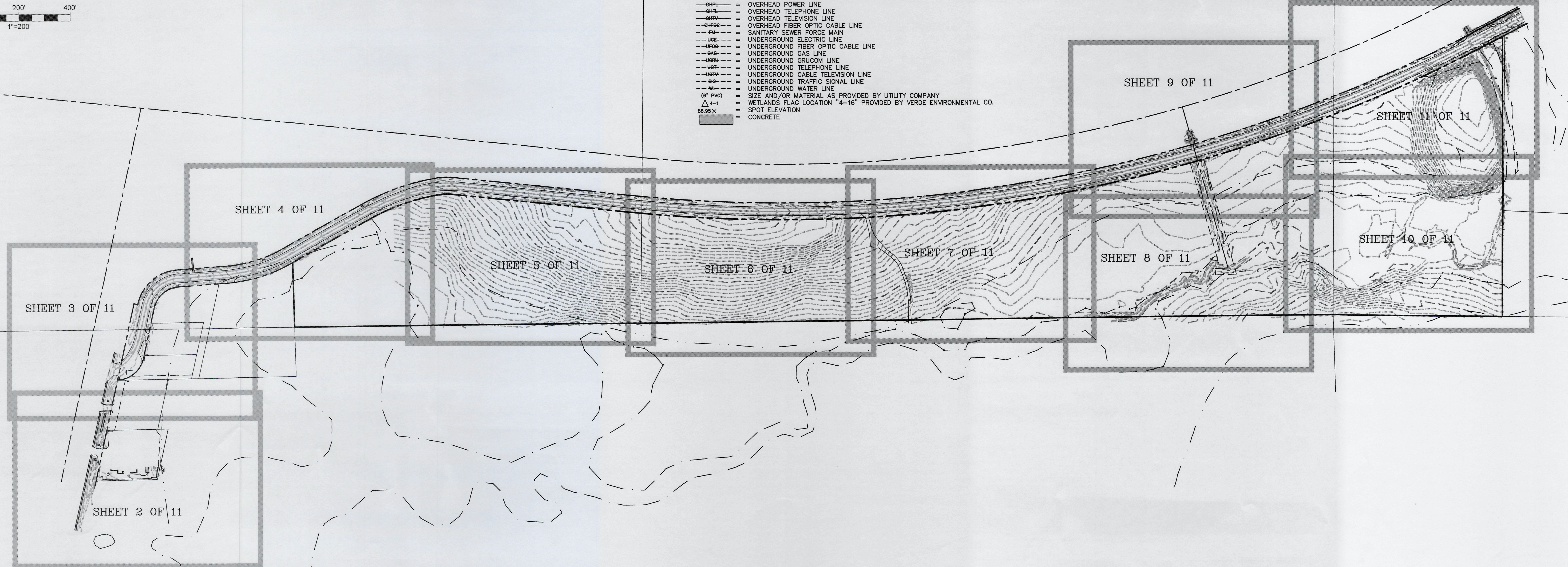
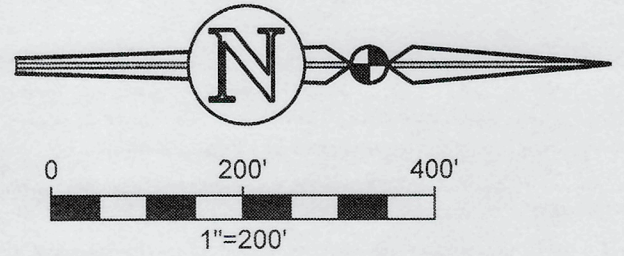


Table with columns: No., Date, Comment. Row 1: 1, 11/29/2021, ADDED WETLANDS INFORMATION. Row 2: 2, 12/23/2022, REVISED WETLANDS INFORMATION.

FLOOD INSURANCE RATE MAP STATEMENT: THE REAL PROPERTY SHOWN HEREON LIES WITHIN ZONE(S) A & X (UNSHADED) AS DESIGNATED ON THE FLOOD INSURANCE RATE MAP NUMBER: 120884-J, PANEL: 0987, EFFECTIVE DATE: 08/17/08. SAID FLOOD ZONE(S) INFORMATION BY THE U.S. SPECIAL MAP AND SURVEY SERVICE UNIT IS AN ANNUAL CHANGE FLOOD. NO BASE FLOOD ELEVATIONS DETERMINED AND ZONE X (UNSHADED) AS BEING DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.



Project No. 2020-0088, Date 12/23/2022, Prepared For: TARA FOREST, LLC, Survey Date 11/18/2021, Drawn/Checked: B.G., Scale: 1"=200', Date: 12/23/2022

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 55-17, FLORIDA STATUTES. THIS SURVEY DEPOSITS THE SITE CONDITIONS AS OF 11/18/2021.

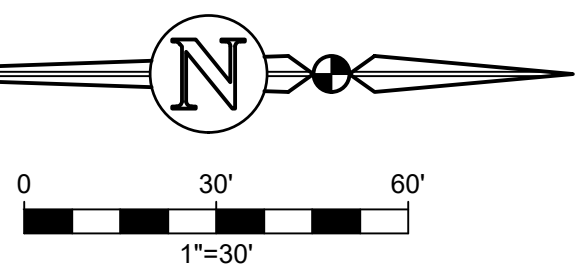
LEGEND OF SYMBOLS & ABBREVIATIONS:

- BFRP = WATERLINE BACKFLOW PREVENTER
- cmp = CORRUGATED METAL PIPE
- CONC = CONCRETE
- DWS = DETECTABLE WARNING STRIP
- D = DELTA (CENTRAL) ANGLE
- R = RADIUS
- A = ARC
- T = TANGENT
- CB = CHORD BEARING
- CD = CHORD DISTANCE
- ELEV = ELEVATION
- F.D.O.T. = FLORIDA DEPARTMENT OF TRANSPORTATION
- F.E.S. = FLARED END SECTION
- GRUJ.B = GRUJOM JUNCTION BOX
- ID. = IDENTIFICATION
- INV. = INVERT
- M.E.S. = MITERED END SECTION
- No. = NUMBER
- O.R. = OFFICIAL RECORDS BOOK
- PGS. = PAGES
- PVC = POLY-VINYL CHLORIDE
- RCP = REINFORCED CONCRETE PIPE
- R/W = RIGHT OF WAY
- S BOX = TRAFFIC SIGNAL JUNCTION BOX
- SECTION 9-8-18 = SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST
- W/ = WITH
- ANCH(4) = GUY ANCHOR
- O BOL. = TRAFFIC BOLLARD
- O CO. = SANITARY OR STORM SEWER CLEAN-OUT
- FH = FIRE HYDRANT
- FOCMRK = FIBER OPTIC CABLE MARKER
- FCM = FOUND CONCRETE MONUMENT (size, ID)
- FN = FOUND NAIL & DISK (ID)
- FR = FOUND REBAR & CAP (size, ID)
- O HBI = HOSE BIB (SPIGOT)
- GV = GAS VALVE
- LT PL = LIGHT POLE
- MBX = MAIL BOX
- MP = MANHOLE
- MP = METER POLE
- PP = POWER POLE
- REFL = REFLECTOR
- SET 5/8" REBAR & CAP (LB 2389)
- SV = SIGN
- SW = SANITARY SEWER VALVE
- TELPED = TELEPHONE PEDESTAL
- CTVPE = CABLE TELEVISION PEDESTAL
- WM = WATER METER
- WV = WATER VALVE
- ELEVATION CONTOUR LINE
- FENCE LINE
- OHGW = OVERHEAD GUY WIRE
- OHGRU = OVERHEAD GRUJOM LINE
- OHPL = OVERHEAD POWER LINE
- OHTEL = OVERHEAD TELEPHONE LINE
- OHTELV = OVERHEAD TELEVISION LINE
- OHFOC = OVERHEAD FIBER OPTIC CABLE LINE
- FM = SANITARY SEWER FORCE MAIN
- UGEL = UNDERGROUND ELECTRIC LINE
- UGFOC = UNDERGROUND FIBER OPTIC CABLE LINE
- UGAS = UNDERGROUND GAS LINE
- UGGRU = UNDERGROUND GRUJOM LINE
- UGTEL = UNDERGROUND TELEPHONE LINE
- UGTELV = UNDERGROUND TELEVISION LINE
- UGS = UNDERGROUND TRAFFIC SIGNAL LINE
- UGW = UNDERGROUND WATER LINE
- (6" TYP) = SIZE AND/OR MATERIAL AS PROVIDED BY UTILITY COMPANY
- 4-1 = WETLANDS FLAG LOCATION "4-16" PROVIDED BY VERDE ENVIRONMENTAL CO.
- 88.95 X = SPOT ELEVATION
- CONC = CONCRETE

TREE LEGEND:

- TREES WITH A DIAMETER 10" AND GREATER, EXCLUDING ALL PINE AND SUGARBERRY TREES WERE LOCATED FOR THIS SURVEY. (DIAMETER MEASURED 4.5' ABOVE GRADE)
- LOCATION
 - SPECIES
 - DIAMETER AT GRADE
 - HEIGHT
- bb10 = SIZE / COMMON NAME *Genus species*
 - bb10 = 10" BLUE BEECH *Carpinus caroliniana*
 - bbw13 = 13" BASSWOOD *Tilia americana*
 - cbw13 = 11"-16" CHINA BERRY *Melia azadirach*
 - ce12 = 12" SOUTHERN RED CEDAR *Juniperus silicicola*
 - ch17 = 17" BLACK CHERRY *Prunus serotina*
 - ch14 = 14" CHINESE TALLOW *Triadica sebifera*
 - me11 = 20" FLORIDA ELM *Ulmus floridana*
 - h122 = 22" HICKORY *Carya sp.*
 - lo17 = 17" LAUREL OAK *Quercus hemisphaerica*
 - lo15 = 15" LIVE OAK *Quercus virginiana*
 - ml11 = 11" RED MULBERRY *Morus rubra*
 - mp25 = 25" RED MAPLE *Acer rubrum*
 - pa16 = 16" PALM *Sabal palmetto*
 - sc20 = 20" SWAMP CHESTNUT OAK *Quercus michauxii*
 - sg18 = 18" SWEETGUM *Liquidambar styraciflua*
 - tree23 = 23" UNIDENTIFIED TREE
 - tu15 = 15" TUPELO *Nyssa biflora*
 - w19 = 19" WATER OAK *Quercus nigra*

S.E. CORNER OF SECTION 9-8-18 (4"x4", NO ID)



STATE ROAD NO. 25 (U.S. HIGHWAY NO. 441) CENTERLINE



NOTE: WETLAND LINES AND POINTS AS SHOWN HEREON WERE PROVIDED BY VERDE ENVIRONMENTAL CO. PER EXHIBIT "SRMAD REWETTED WETLANDS AND SURFACE WATERS TARA APRIL" REVIEWED BY SUWANNEE RIVER WATER MANAGEMENT DISTRICT ON 12-09-22. SAID EXHIBIT IS UNDATED, BUT RECEIVED BY THIS OFFICE DECEMBER 9, 2022. SEE SAID EXHIBIT FOR ADDITIONAL INFORMATION. THIS SURVEYOR HAS NOT VERIFIED NOR FIELD LOCATED THESE WETLAND LINES AND POINTS AND MAKES NO GUARANTEE THAT THEY ARE CORRECT AND THAT NO OTHER WETLANDS EXIST.

FLOOD INSURANCE RATE MAP STATEMENT
THE REAL PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE(S) (UNSHADED) AS DESIGNATED ON THE FLOOD INSURANCE RATE MAP NUMBER 12066A-1, COUNTY NUMBER 120664-1, PANEL 008, EFFECTIVE DATE 06/16/06. SAID MAP DESCRIBES ZONE(S) AS BEING "SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, NO BASE FLOOD ELEVATIONS DETERMINED" AND ZONE "X" (UNSHADED) AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."

eda consultants inc.
720 S.W. 2nd Ave., 5th Floor, Suite 300
GAINESVILLE, FLORIDA 32601
www.edafl.com

PROJECT NO.	2020-0088
DRAWN BY	A.L.
CHECKED BY	B.G.
DATE	12/23/2022
PROJECT	REWETTED WETLANDS AND SURFACE WATERS TARA APRIL
DATE	12/23/2022
PROJECT	REWETTED WETLANDS AND SURFACE WATERS TARA APRIL
DATE	12/23/2022

DATE	12/23/2022	REVISION	
DATE	11/18/2021	DRAWING COMPLETED	
DATE	11/18/2021	SURVEY DATE	
DATE	11/18/2021	PREPARED FOR	TARA FOREST, LLC

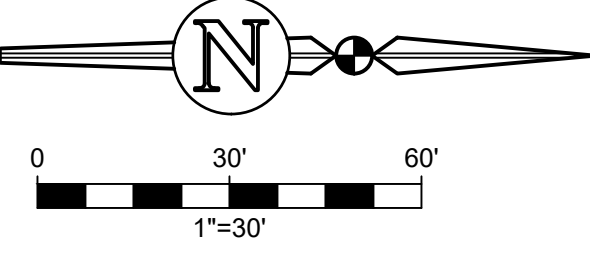
Sheet No.: V-003

LEGEND OF SYMBOLS & ABBREVIATIONS:

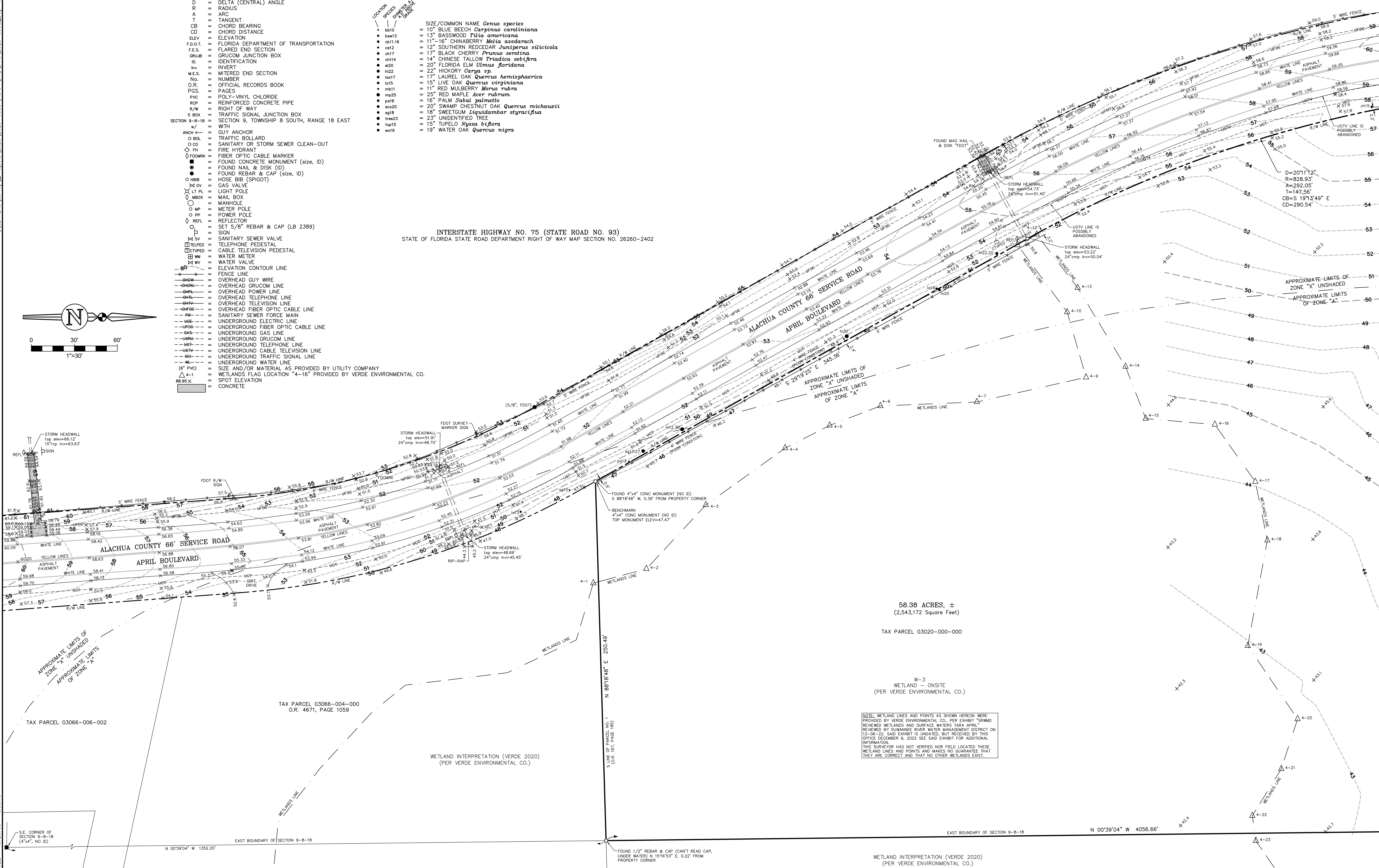
- bppr = WATERLINE BACKFLOW PREVENTER
cmp = CORRUGATED METAL PIPE
cmc = CONCRETE
dws = DETECTABLE WARNING STRIP
D = DELTA (CENTRAL) ANGLE
R = RADIUS
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M.E.S. = MITERED END SECTION
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ID = FOUND NAIL & DISK (ID)
R&C = FOUND REBAR & CAP (size, ID)
HBB = HOSE BIB (SPIGOT)
G VALVE = GAS VALVE
LTP = LIGHT POLE
MBOX = MAIL BOX
MP = MANHOLE
PP = METER POLE
REFL = REFLECTOR
SET 5/8" REBAR & CAP (LB 2389)
SIGN = SIGN
SV = SANITARY SEWER VALVE
TELEPHONE PEDESTAL = TELEPHONE PEDESTAL
CABLE TELEVISION PEDESTAL = CABLE TELEVISION PEDESTAL
WM = WATER METER
WV = WATER VALVE
ELEVATION CONTOUR LINE = ELEVATION CONTOUR LINE
FENCE LINE = FENCE LINE
OVERHEAD GUY WIRE = OVERHEAD GUY WIRE
OVERHEAD GRUCOM LINE = OVERHEAD GRUCOM LINE
OVERHEAD POWER LINE = OVERHEAD POWER LINE
OVERHEAD TELEPHONE LINE = OVERHEAD TELEPHONE LINE
OVERHEAD TELEVISION LINE = OVERHEAD TELEVISION LINE
OVERHEAD FIBER OPTIC CABLE LINE = OVERHEAD FIBER OPTIC CABLE LINE
SANITARY SEWER FORCE MAIN = SANITARY SEWER FORCE MAIN
UNDERGROUND ELECTRIC LINE = UNDERGROUND ELECTRIC LINE
UNDERGROUND FIBER OPTIC CABLE LINE = UNDERGROUND FIBER OPTIC CABLE LINE
UNDERGROUND GAS LINE = UNDERGROUND GAS LINE
UNDERGROUND GRUCOM LINE = UNDERGROUND GRUCOM LINE
UNDERGROUND TELEPHONE LINE = UNDERGROUND TELEPHONE LINE
UNDERGROUND CABLE TELEVISION LINE = UNDERGROUND CABLE TELEVISION LINE
UNDERGROUND TRAFFIC SIGNAL LINE = UNDERGROUND TRAFFIC SIGNAL LINE
UNDERGROUND WATER LINE = UNDERGROUND WATER LINE
SIZE AND/OR MATERIAL AS PROVIDED BY UTILITY COMPANY = SIZE AND/OR MATERIAL AS PROVIDED BY UTILITY COMPANY
WETLANDS FLAG LOCATION "4"-16" PROVIDED BY VERDE ENVIRONMENTAL CO. = WETLANDS FLAG LOCATION "4"-16" PROVIDED BY VERDE ENVIRONMENTAL CO.
SPOT ELEVATION = SPOT ELEVATION
CONCRETE = CONCRETE

TREE LEGEND:

- TREES WITH A DIAMETER 10" AND GREATER, EXCLUDING ALL PINE AND SUGARBERRY TREES WERE LOCATED FOR THIS SURVEY. (DIAMETER MEASURED 4.5' ABOVE GRADE)
SIZE / COMMON NAME Genus species
10" BLUE BEECH Carpinus caroliniana
13" BASSWOOD Tilia americana
11"-16" CHINABERRY Melia azedarach
12" SOUTHERN REDCEDAR Juniperus silicicola
17" BLACK CHERRY Prunus serotina
14" CHINESE TALLOW Triadica sebifera
20" FLORIDA ELM Ulmus floridana
22" HICKORY Carya sp.
17" LAUREL OAK Quercus hemisphaerica
15" LIVE OAK Quercus virginiana
11" RED MULBERRY Morus rubra
25" RED MAPLE Acer rubrum
16" PALM Sabal palmetto
20" SWAMP CHESTNUT OAK Quercus michauxii
18" SWEETGUM Liquidambar styraciflua
23" UNIDENTIFIED TREE
15" TUPELO Nyssa biflora
19" WATER OAK Quercus nigra



INTERSTATE HIGHWAY NO. 75 (STATE ROAD NO. 93)
STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT OF WAY MAP SECTION NO. 26260-2402



FLOOD INSURANCE RATE MAP STATEMENT
THE REAL PROPERTY SHOWN HEREIN LIES WITHIN THE FLOOD INSURANCE RATE MAP NUMBER 12066A-1, PANEL 008, AS SHOWN ON THE FLOOD INSURANCE RATE MAP NUMBER 12066A-1, PANEL 008, EFFECTIVE DATE 06/16/08. SAID MAP DESCRIBES ZONE (S) UNSHADED AND ZONE (X) UNSHADED. AS BEING "SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD, NO BASE FLOOD ELEVATIONS DETERMINED" AND ZONE "X" (UNSHADED) AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."



eda consultants inc.
Corporate Office: 720 S.W. 5th Ave., Suite 2600, Gainesville, Florida 32609
Project No: 2020-008
Client: TARA FOREST, LLC
Prepared by: B.G.
Check: B.G.
NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE RAISED SEAL OF A LICENSED SURVEYOR AND MAPPER. COPYRIGHT © 2022

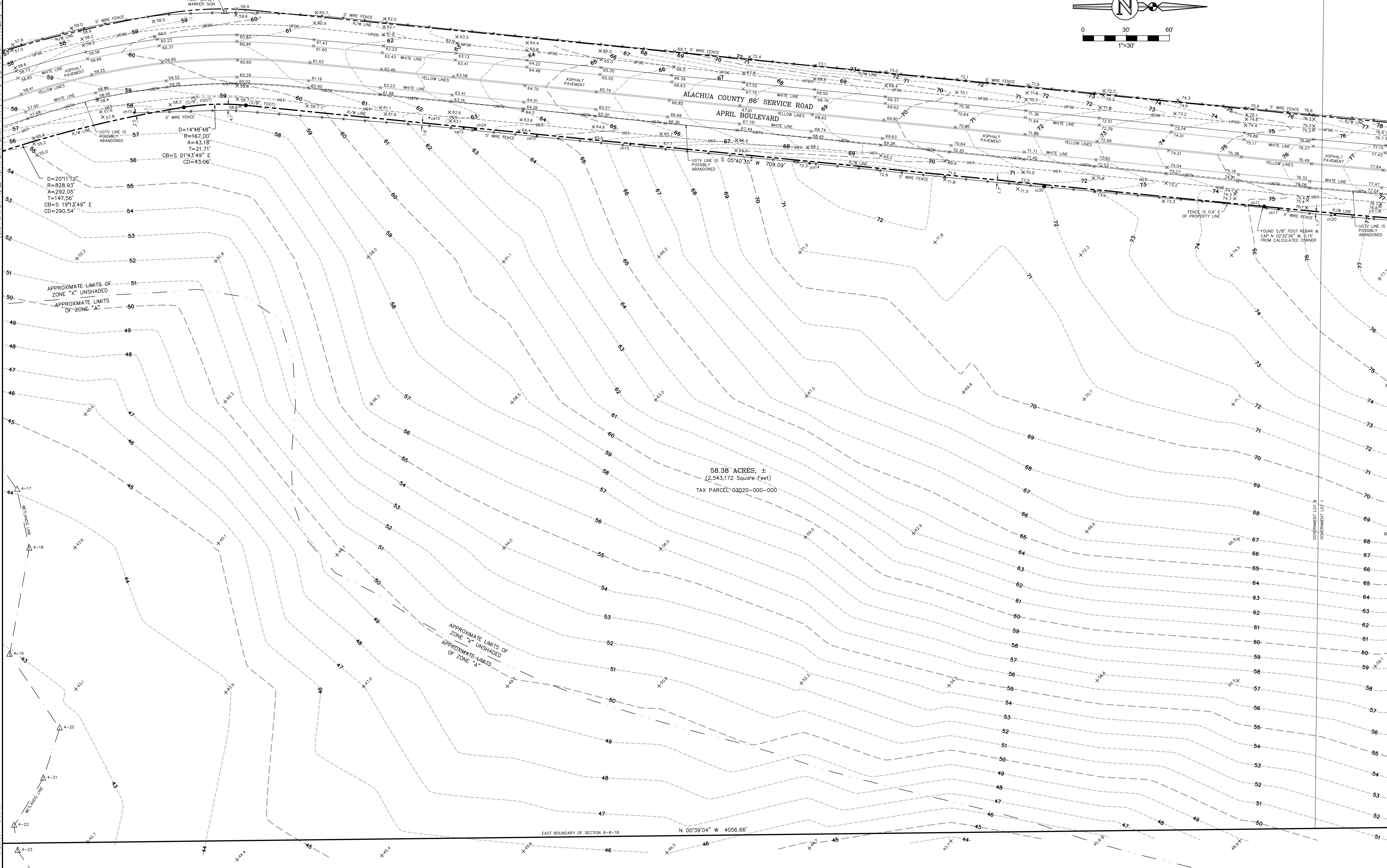
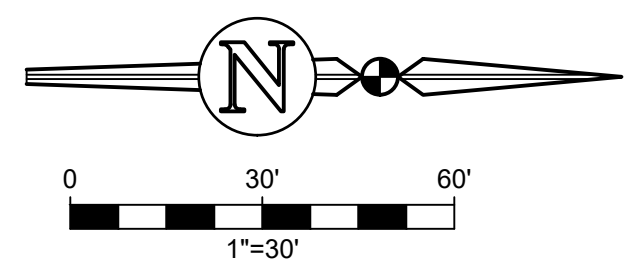
Table with columns: Date, Survey Date, Drawings Completed, Revised. Includes dates 11/18/2021 and 12/23/2022.

Sheet No.: V-004

Plotted Dec 23, 2022 at 13:20:59 - ablonie

Plotted Dec 23, 2022 - 13:20:59 - ablonie

INTERSTATE HIGHWAY NO. 75 (STATE ROAD NO. 93)
STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT OF WAY MAP SECTION NO. 26260-2402



D=20°11'12"
R=828.93'
A=292.05'
T=147.56'
CB=S 19°13'49" E
CD=290.54'

APPROXIMATE LIMITS OF
ZONE "X" UNSHADED
APPROXIMATE LIMITS
OF ZONE "A"

APPROXIMATE LIMITS OF
ZONE "X" UNSHADED
APPROXIMATE LIMITS
OF ZONE "A"

58.38 ACRES, ±
(2,543,172 Square Feet)
TAX PARCEL 03020-000-000

NOTE: WETLAND LINES AND POINTS AS SHOWN HEREON WERE PROVIDED BY VERDE ENVIRONMENTAL CO., PER EXHIBIT "SRMWD REWETTED WETLANDS AND SURFACE WATERS TARA APRIL" REVIEWED BY SUWANNEE RIVER WATER MANAGEMENT DISTRICT ON 12-06-22. SAID EXHIBIT IS UNDATED, BUT RECEIVED BY THIS OFFICE DECEMBER 9, 2022. SEE SAID EXHIBIT FOR ADDITIONAL INFORMATION. THIS SURVEYOR HAS NOT VERIFIED NOR FIELD LOCATED THESE WETLAND LINES AND POINTS AND MAKES NO GUARANTEE THAT THEY ARE CORRECT AND THAT NO OTHER WETLANDS EXIST.

TAX PARCEL 03067-001-000
O.R. 4738, PAGE 321

SEE SHEET 4 OF 11 FOR LEGEND OF SYMBOLS & ABBREVIATIONS AND TREE LEGEND

FLOOD INSURANCE RATE MAP STATEMENT
THE REAL PROPERTY SHOWN HEREON LIES WITHIN ZONE(S) (UNSHADED) AS DESIGNATED ON THE FLOOD INSURANCE RATE MAP NUMBER 12066A-1, PANEL NUMBER 06/16/06 SAID MAP DESCRIBES ZONE(S) AS BEING "SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO ANNUAL CHANCE FLOOD, NO BASE FLOOD ELEVATIONS DETERMINED AND ZONE "X" (UNSHADED) AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."



eda consultants inc.
Corporate
Robert W. Graver
A.L.
B.G.
NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. COPYRIGHT © 2022

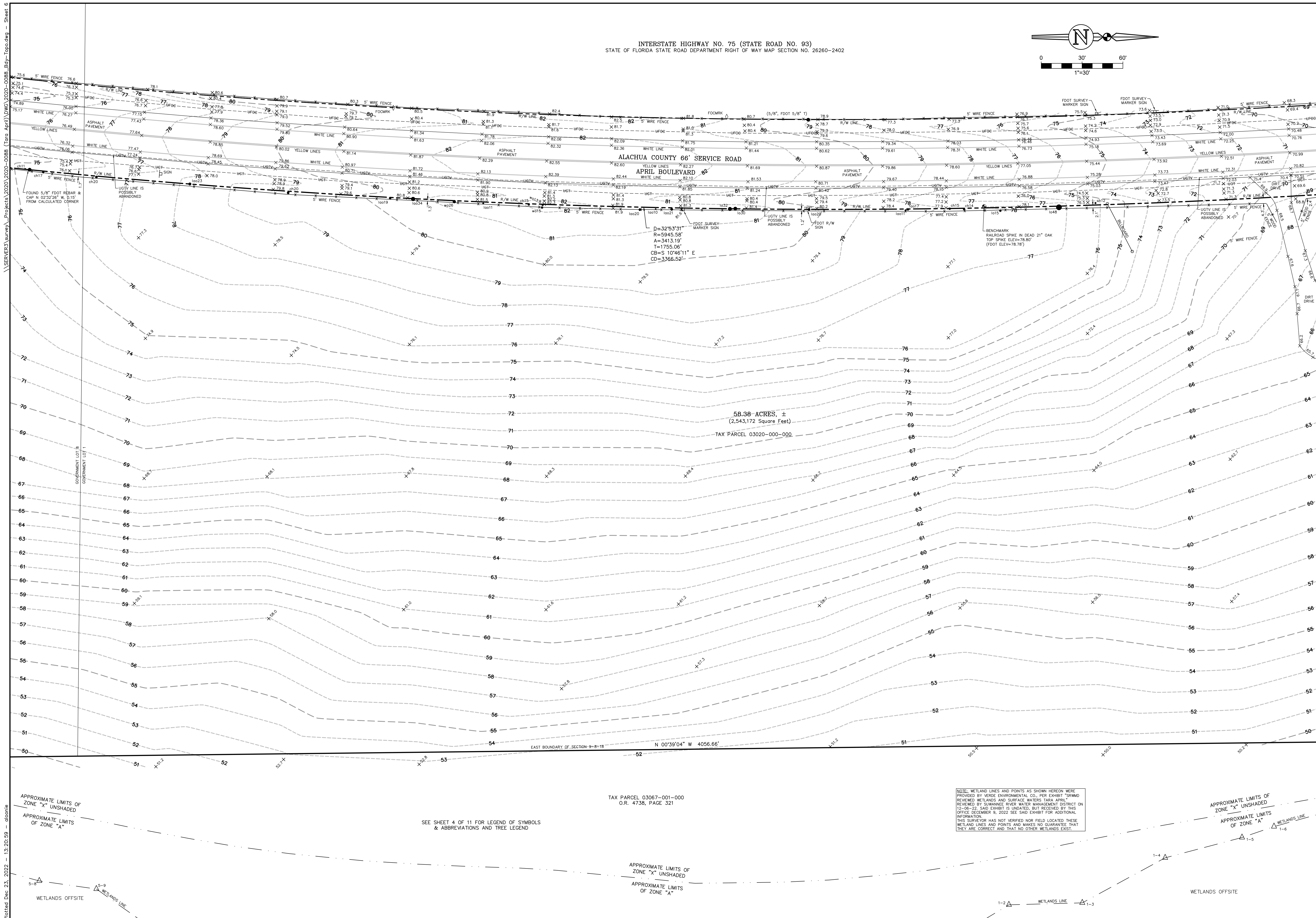
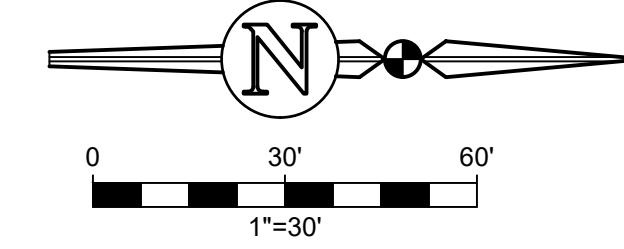
PREPARED FOR: TARA FOREST, LLC

Filebook	Page	Survey Date	Drawings Completed	Revised
1055	1-30	11/18/2021		
1055	1-30	11/18/2021		
1055	1-30	11/18/2021		
1055	1-30	11/18/2021		

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 (2021), FLORIDA STATUTES. THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 11/18/2021.

Sheet No.:
V-005

INTERSTATE HIGHWAY NO. 75 (STATE ROAD NO. 93)
STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT OF WAY MAP SECTION NO. 26260-2402



FLOOD INSURANCE RATE MAP STATEMENT
THE REAL PROPERTY SHOWN HEREON LIES WITHIN ZONES (S) UNSHADED. THIS DESIGNATION IS BASED ON THE FLOOD INSURANCE RATE MAP NUMBER 120664-A, EFFECTIVE DATE 06/16/06. SAID MAP DESCRIBES ZONE (S) AS BEING "SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO ANNUATION BY THE 1% ANNUAL CHANCE FLOOD, NO BASE FLOOD ELEVATIONS DETERMINED" AND ZONE "X" (UNSHADED) AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."



Project No. 2020-0088
Drawn: A.L.
Check: B.G.
NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE RAISED SEAL OF A LICENSED SURVEYOR AND MAPPER. COPYRIGHT © 2022

Filebook	Page	Survey Date	Drawn/Computed	Revised
1088	1-30	11/18/2021	11/18/2021	12/23/2022

PREPARED FOR: 1) TARA FOREST, LLC
2) 3) 4)

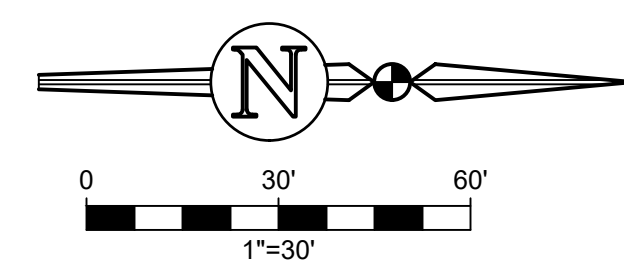
THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 (2001), FLORIDA STATUTES. THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 11/18/2021.

Sheet No.:
V-006

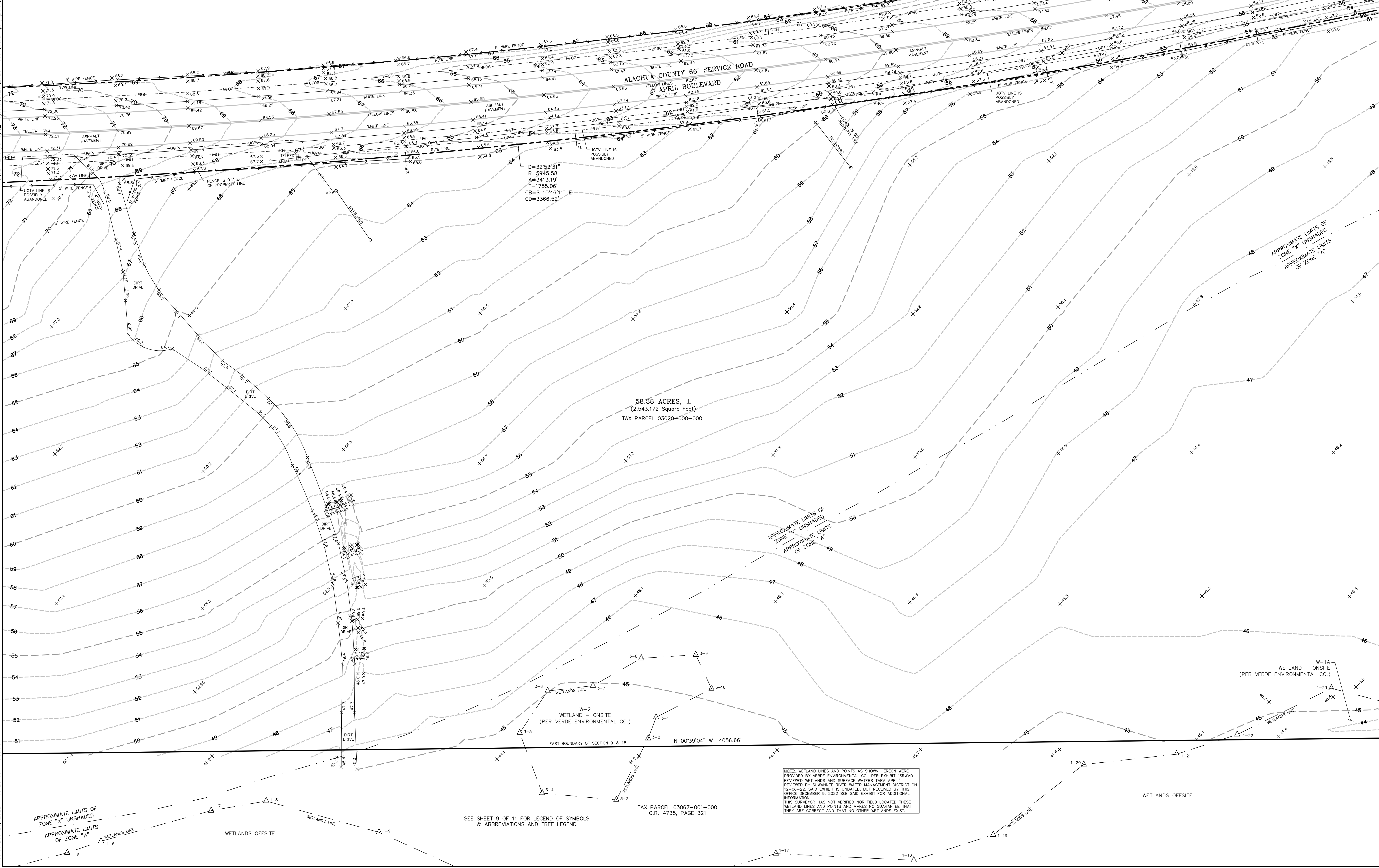
Plotted Dec 23, 2022 - 13:20:59 - ablonie

Plotted Dec 23, 2022 at 13:20:59 - ablonie

SERVER3\Survey\Projects\2020\2020-0088 (Tara April)\DWG\2020-0088_Bdry-Topo.dwg - Sheet 7



INTERSTATE HIGHWAY NO. 75 (STATE ROAD NO. 93)
STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT OF WAY MAP SECTION NO. 26260-2402



D=32°53'51"
R=5945.58'
A=3413.19'
T=1755.06'
CB=S 10°46'11" E
CD=3366.52'

58.38 ACRES, ±
(2,543,172 Square Feet)
TAX PARCEL 03020-000-000

TAX PARCEL 03067-001-000
O.R. 4738, PAGE 321

SOIL, WETLAND LINES AND POINTS AS SHOWN HEREON WERE PROVIDED BY VERDE ENVIRONMENTAL CO., PER EXHIBIT 'SRWMD' REVIEWED BY SURNAME RIVER WATERS MANAGEMENT DISTRICT ON 12-06-22. SAID EXHIBIT IS UNDATED, BUT RECEIVED BY THIS OFFICE DECEMBER 9, 2022. SEE SAID EXHIBIT FOR ADDITIONAL INFORMATION.
THIS SURVEYOR HAS NOT VERIFIED NOR FIELD LOCATED THESE WETLAND LINES AND POINTS AND MAKES NO GUARANTEE THAT THEY ARE CORRECT AND THAT NO OTHER WETLANDS EXIST.

SEE SHEET 9 OF 11 FOR LEGEND OF SYMBOLS & ABBREVIATIONS AND TREE LEGEND

No.	Date	Comment
1	11/29/2021	ADDED WETLANDS INFORMATION
2	12/22/2022	REVISED WETLANDS

FLOOD INSURANCE RATE MAP STATEMENT

THE REAL PROPERTY SHOWN HEREON LIES WITHIN THE FLOOD INSURANCE RATE MAP NUMBER 120664-I, PANEL 088, EFFECTIVE DATE 06/16/08. SAID MAP DESCRIBES ZONE (S) AS BEING "SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO ANNUATION BY THE 1% ANNUAL CHANCE FLOOD, NO BASE FLOOD ELEVATIONS DETERMINED" AND ZONE "X" (UNSHADED) AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."



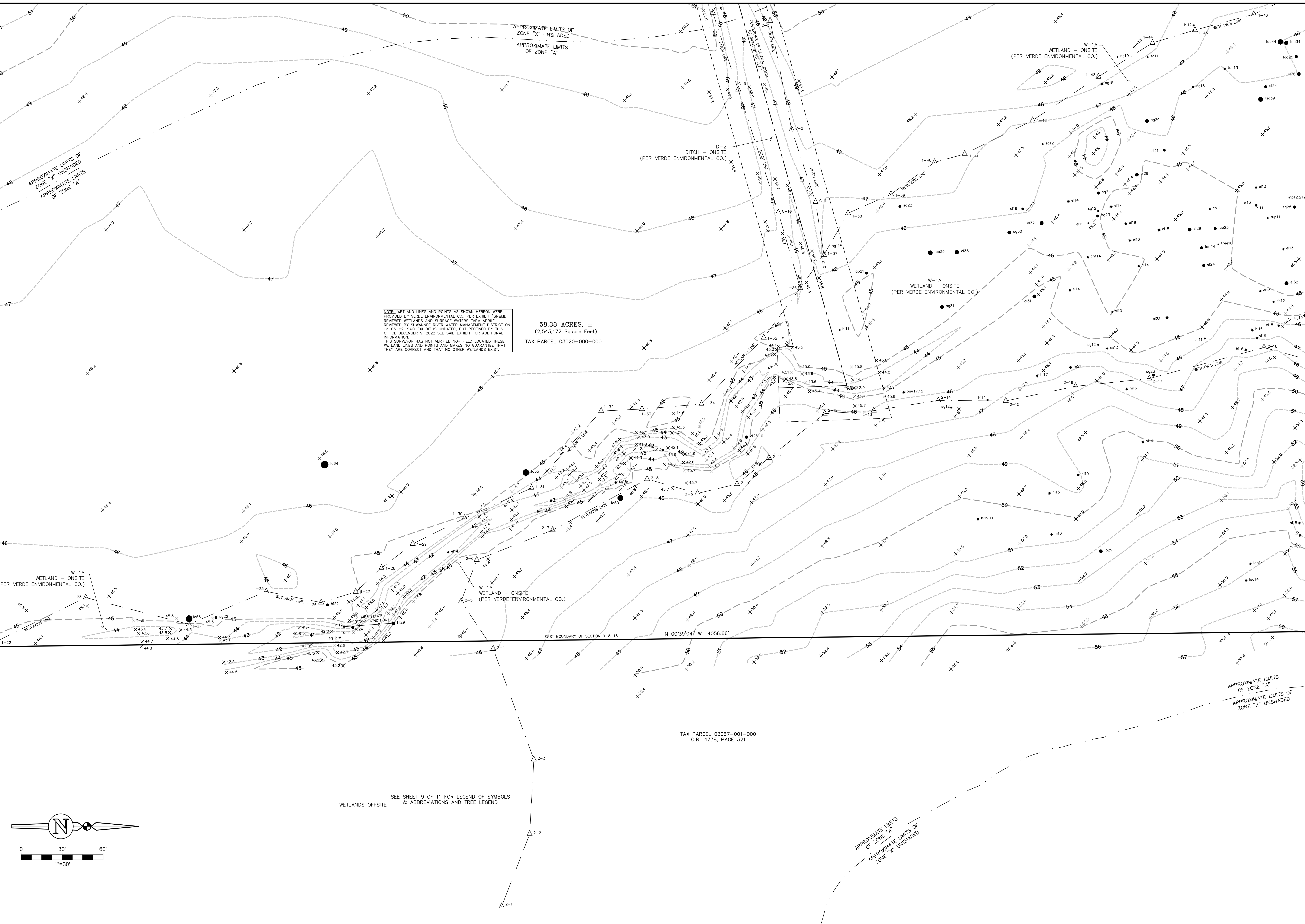
Project No.	2020-0088
Drawn	A.L.
Check	B.G.
Scale	AS SHOWN
Project Name	INTERSTATE HIGHWAY NO. 75 (STATE ROAD NO. 93) STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT OF WAY MAP SECTION NO. 26260-2402
Client	TARA FOREST, LLC
Survey Date	11/18/2021
Drawn/Completed	12/23/2022

PREPARED FOR: TARA FOREST, LLC

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA SURVEYING BOARD, PURSUANT TO SECTION 472.027 (2001), FLORIDA STATUTES.

THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 11/18/2021.

Plotted Dec 23, 2022 at 13:20:59 - aboonie



NOTE: WETLAND LINES AND POINTS AS SHOWN HEREON WERE PROVIDED BY VERDE ENVIRONMENTAL CO., PER EXHIBIT "SRMMD" REVIEWED BY SURFACE WATERS TARA APRIL 12-20-22. SAID EXHIBIT IS UNDATED, BUT RECEIVED BY THIS OFFICE DECEMBER 9, 2022. SEE SAID EXHIBIT FOR ADDITIONAL INFORMATION. THIS SURVEYOR HAS NOT VERIFIED NOR FIELD LOCATED THESE WETLAND LINES AND POINTS AND MAKES NO GUARANTEE THAT THEY ARE CORRECT AND THAT NO OTHER WETLANDS EXIST.

58.38 ACRES, ±
(2,543,172 Square Feet)
TAX PARCEL 03020-000-000

SEE SHEET 9 OF 11 FOR LEGEND OF SYMBOLS & ABBREVIATIONS AND TREE LEGEND
WETLANDS OFFSITE

TAX PARCEL 03067-001-000
O.R. 4738, PAGE 321

**SHEET 8
OF 11**

No.	Date	Comment
1	11/29/2021	ADDED WETLANDS INFORMATION
2	12/22/2022	REVISED WETLANDS

FLOOD INSURANCE RATE MAP STATEMENT
THE REAL PROPERTY SHOWN HEREON LIES WITHIN THE FLOOD INSURANCE RATE MAP NUMBER 120664-A, PANEL 08, EFFECTIVE DATE 06/16/08. SAID MAP DESCRIBES ZONE (S) AS BEING "SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, NO BASE FLOOD ELEVATIONS DETERMINED" AND ZONE "X" (UNSHADED) AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."



Project No: 2022-0088
Prepared by: edd consultants inc.
Checked by: Robert W. Grafer
Date: 12/23/2022
Scale: AS SHOWN
NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE RAISED SEAL OF A LICENSED SURVEYOR AND MAPPER, CORRESPONDING TO THIS SHEET OF 11 FOR ORIGINAL SIGNATURE AND RAISED SEAL.

Filebook	Page	Survey Date	Drawn/Computed	Revised
1088	1-30	11/18/2021	Drawn/Computed	12/23/2022

PREPARED FOR: 1) TARA FOREST, LLC

Sheet No.: **V-008**

No.	Date	Comment
1	12/23/2022	REVISED WETLANDS
2	11/29/2021	ADDED WETLANDS INFORMATION

FLOOD INSURANCE RATE MAP STATEMENT

THE REAL PROPERTY SHOWN HEREON LIES WITHIN THE FLOOD INSURANCE RATE MAP NUMBER 120664-1, PANEL 006, EFFECTIVE DATE 06/16/06. SAID MAP DESCRIBES ZONE (S) AS BEING "SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO MINUTION BY THE 1% ANNUAL CHANCE FLOOD, NO BASE FLOOD ELEVATIONS DETERMINED" AND ZONE "X" (UNSHADED) AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."

eda consultants inc.
 720 S.W. 2nd Ave., Suite 200
 GAINESVILLE, FLORIDA 32601
 www.eda.com

Project No. 2020-0088
 Survey Date 11/18/2021
 Drawn/Completed
 Prepared For: TARA FOREST, LLC

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 (201), FLORIDA STATUTES. THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 11/18/2021.

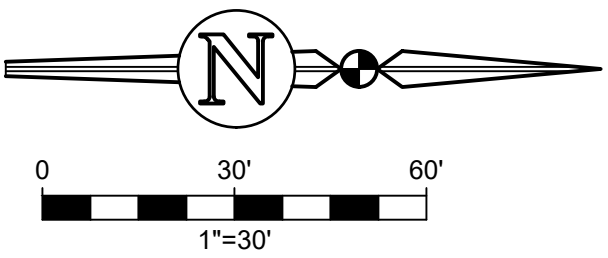
Sheet No.: **V-009**

LEGEND OF SYMBOLS & ABBREVIATIONS:

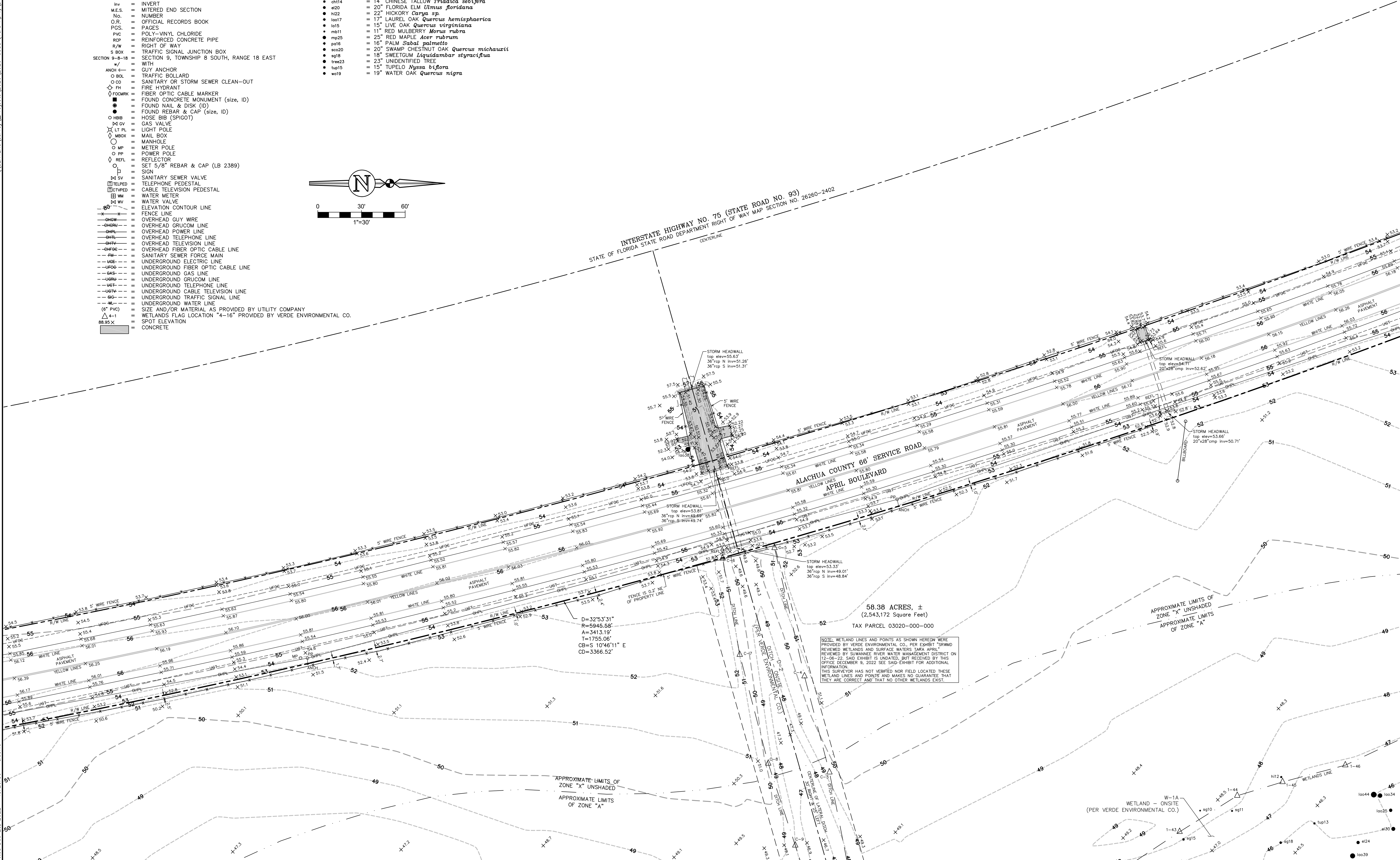
- BFRP = WATERLINE BACKFLOW PREVENTER
- cmp = CORRUGATED METAL PIPE
- conc = CONCRETE
- DWS = DETECTABLE WARNING STRIP
- D = DELTA (CENTRAL) ANGLE
- R = RADIUS
- A = ARC
- T = TANGENT
- CB = CHORD BEARING
- CD = CHORD DISTANCE
- ELEV = ELEVATION
- F.D.O.T. = FLORIDA DEPARTMENT OF TRANSPORTATION
- F.E.S. = FLARED END SECTION
- GRUB = GRUCOM JUNCTION BOX
- ID. = IDENTIFICATION
- Inv = INVERT
- M.E.S. = MITERED END SECTION
- No. = NUMBER
- O.R. = OFFICIAL RECORDS BOOK
- PGS. = PAGES
- PVC = POLY-VINYL CHLORIDE
- RCP = REINFORCED CONCRETE PIPE
- R/W = RIGHT OF WAY
- S BOX = TRAFFIC SIGNAL JUNCTION BOX
- SECTION 9-4-18 = SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST
- WITH = WITH
- ANCH = GUY ANCHOR
- BOL = TRAFFIC BOLLARD
- CO = SANITARY OR STORM SEWER CLEAN-OUT
- FH = FIRE HYDRANT
- FDCMRK = FIBER OPTIC CABLE MARKER
- FCM = FOUND CONCRETE MONUMENT (size, ID)
- FN = FOUND NAIL & DISK (ID)
- FR = FOUND REBAR & CAP (size, ID)
- HBB = HOSE BIB (SPIGOT)
- GV = GAS VALVE
- LT PL = LIGHT POLE
- MBOX = MAIL BOX
- MANH = MANHOLE
- MP = METER POLE
- PP = POWER POLE
- REFL = REFLECTOR
- SET 5/8" REBAR & CAP (LB 2389)
- SV = SANITARY SEWER VALVE
- TELPED = TELEPHONE PEDESTAL
- CABLE TV PED = CABLE TELEVISION PEDESTAL
- WM = WATER METER
- WV = WATER VALVE
- ELEVATION CONTOUR LINE
- FENCE LINE
- OHGW = OVERHEAD GUY WIRE
- OHGRU = OVERHEAD GRUCOM LINE
- OHPL = OVERHEAD POWER LINE
- OHTEL = OVERHEAD TELEPHONE LINE
- OHTV = OVERHEAD TELEVISION LINE
- OHFOC = OVERHEAD FIBER OPTIC CABLE LINE
- SFM = SANITARY SEWER FORCE MAIN
- UGSE = UNDERGROUND ELECTRIC LINE
- UGFOC = UNDERGROUND FIBER OPTIC CABLE LINE
- UGAS = UNDERGROUND GAS LINE
- UGGRU = UNDERGROUND GRUCOM LINE
- UGTEL = UNDERGROUND TELEPHONE LINE
- UGTV = UNDERGROUND CABLE TELEVISION LINE
- UGS = UNDERGROUND TRAFFIC SIGNAL LINE
- UGW = UNDERGROUND WATER LINE
- (6" PVC) = SIZE AND/OR MATERIAL AS PROVIDED BY UTILITY COMPANY
- 4-1 = WETLANDS FLAG LOCATION "4-16" PROVIDED BY VERDE ENVIRONMENTAL CO.
- 88.85 X = SPOT ELEVATION
- CONCRETE

TREE LEGEND:

- TREES WITH A DIAMETER 10" AND GREATER, EXCLUDING ALL PINE AND SUGARBERRY TREES WERE LOCATED FOR THIS SURVEY. (DIAMETER MEASURED 4.5' ABOVE GRADE)
- bb10 = 10" BLUE BEECH *Carpinus caroliniana*
 - bw13 = 13" BASSWOOD *Ficus americana*
 - cb11.16 = 11"-16" CHINABERRY *Melia azadirach*
 - cl12 = 12" SOUTHERN REDCEDAR *Juniperus silicicola*
 - ch17 = 17" BLACK CHERRY *Prunus serotina*
 - ch14 = 14" CHINESE TALLOW *Prinosida subifera*
 - el20 = 20" FLORIDA ELM *Ulmus floridana*
 - h122 = 22" HICKORY *Carya sp.*
 - lo17 = 17" LAUREL OAK *Quercus hemisphaerica*
 - lo15 = 15" LIVE OAK *Quercus virginiana*
 - mb11 = 11" RED MULBERRY *Morus rubra*
 - mp25 = 25" RED MAPLE *Acer rubrum*
 - po16 = 16" PALM *Sabal palmetto*
 - sc20 = 20" SWAMP CHESTNUT OAK *Quercus michauxii*
 - sg18 = 18" SWEETGUM *Liquidambar styraciflua*
 - tree23 = 23" UNIDENTIFIED TREE
 - tup15 = 15" TUPELO *Nyssa biflora*
 - wa19 = 19" WATER OAK *Quercus nigra*



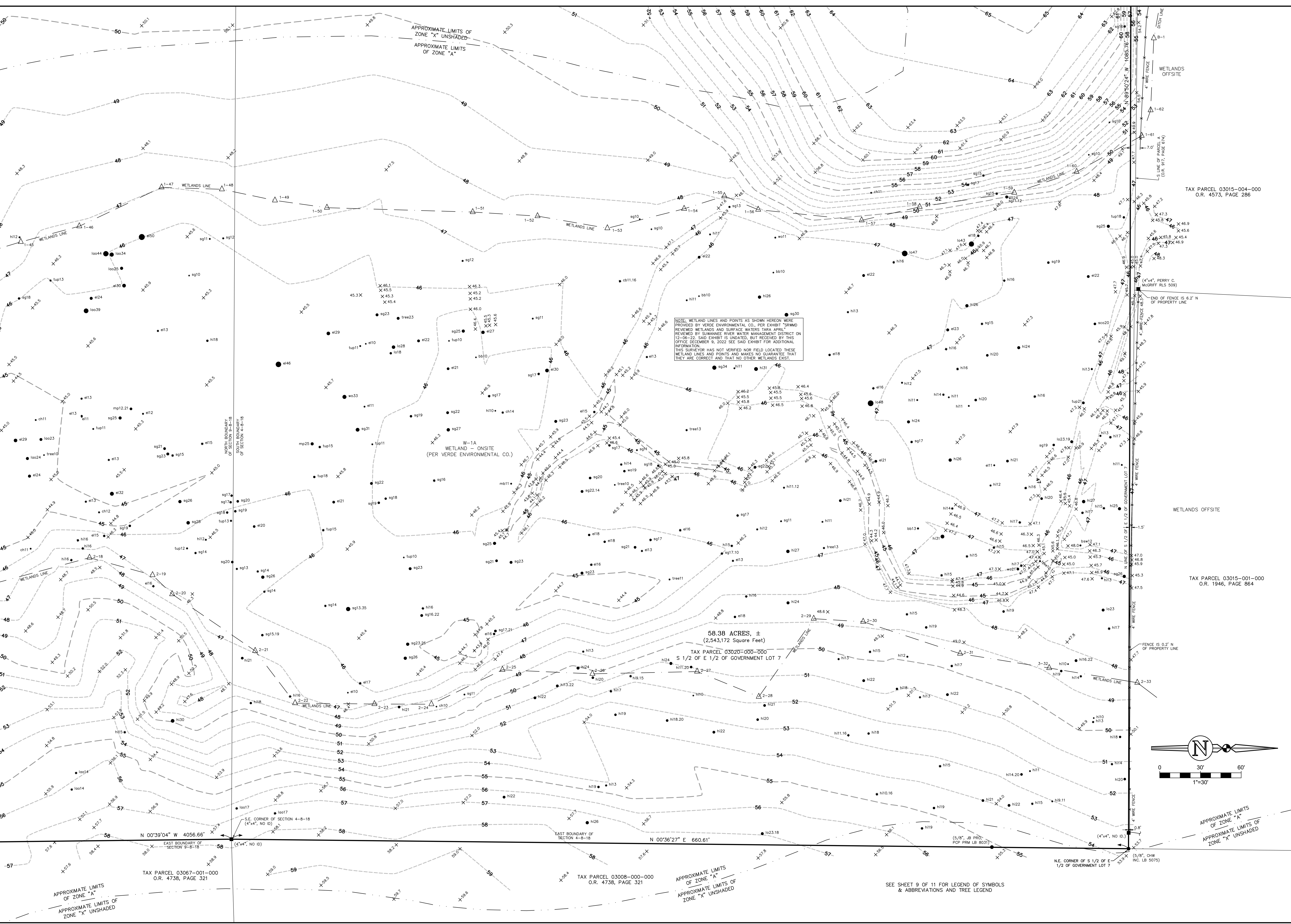
INTERSTATE HIGHWAY NO. 75 (STATE ROAD NO. 93)
 STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT OF WAY MAP SECTION NO. 26260-2402



58.38 ACRES, ±
 (2,543,172 Square Feet)
 TAX PARCEL 03020-000-000

WETLAND LINES AND POINTS AS SHOWN HEREON WERE PROVIDED BY VERDE ENVIRONMENTAL CO. PER EXHIBIT "SRMID" REVISED WETLANDS AND SURFACE WATERS (TARA APRIL 2022) SURVEY. THIS SURVEY HAS NOT VERIFIED NOR FIELD LOCATED THESE WETLAND LINES AND POINTS AND MAKES NO GUARANTEE THAT THEY ARE CORRECT AND THAT NO OTHER WETLANDS EXIST.

Plotted Dec. 23, 2022 @ 1:30:59 - ablonie



SHEET 10 OF 11

No.	Date	Comment
1	11/29/2021	ADDED WETLANDS INFORMATION
2	12/22/2022	REVISED WETLANDS

FLOOD INSURANCE RATE MAP STATEMENT

THE REAL PROPERTY SHOWN HEREON LIES WITHIN THE FLOOD INSURANCE RATE MAP NUMBER 120664-A, PANEL 008, EFFECTIVE DATE 06/16/08. SAID MAP DESCRIBES ZONE (S) AS BEING "SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO ANNUATION BY THE 1% ANNUAL CHANCE FLOOD, NO BASE FLOOD ELEVATIONS DETERMINED" AND ZONE "X" (UNSHADED) AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".



PROJECT NO: 2020-0088
 DRAWN BY: A.L.
 CHECKED BY: B.G.
 DATE: 11/18/2021

eda consultants inc.
 Corporation
 Robert W. Graeber
 SEE SHEET 1 OF 11 FOR ORIGINAL SIGNATURE AND RAISED SEAL
 NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE RAISED SEAL
 BY A FLORIDA LICENSED SURVEYOR AND MAPPER, CERT. # 25521

Page	Survey Date	Drawn/Completed	Revised
1	11/18/2021		12/23/2022
2			
3			
4			

PREPARED FOR: TARA FOREST, LLC

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 (2001), FLORIDA STATUTES. THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 11/18/2021.

Sheet No.: V-010

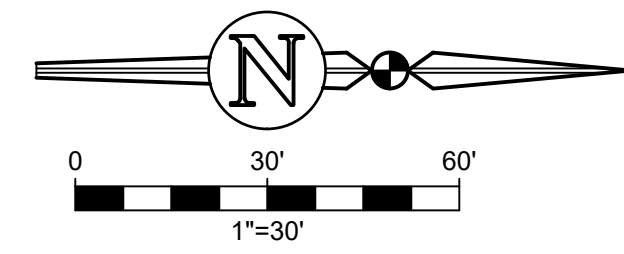
TAX PARCEL 03015-004-000
O.R. 4573, PAGE 286

TAX PARCEL 03015-001-000
O.R. 1946, PAGE 864

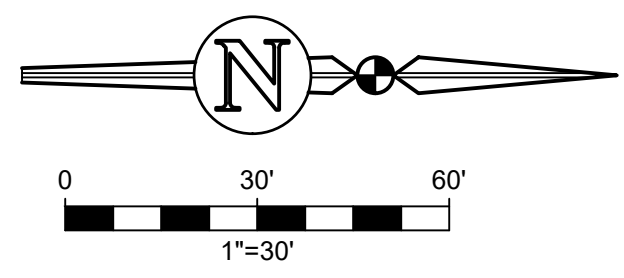
NOTE: WETLAND LINES AND POINTS AS SHOWN HEREON WERE PROVIDED BY VERDE ENVIRONMENTAL CO., PER EXHIBIT SPWM-12-06-22. SAID EXHIBIT IS UNDATED, BUT RECEIVED BY THIS OFFICE DECEMBER 9, 2022. SEE SAID EXHIBIT FOR ADDITIONAL INFORMATION. THIS SURVEYOR HAS NOT VERIFIED NOR FIELD LOCATED THESE WETLAND LINES AND POINTS AND MAKES NO GUARANTEE THAT THEY ARE CORRECT AND THAT NO OTHER WETLANDS EXIST.

W-1A
 WETLAND - ONSITE
 (PER VERDE ENVIRONMENTAL CO.)

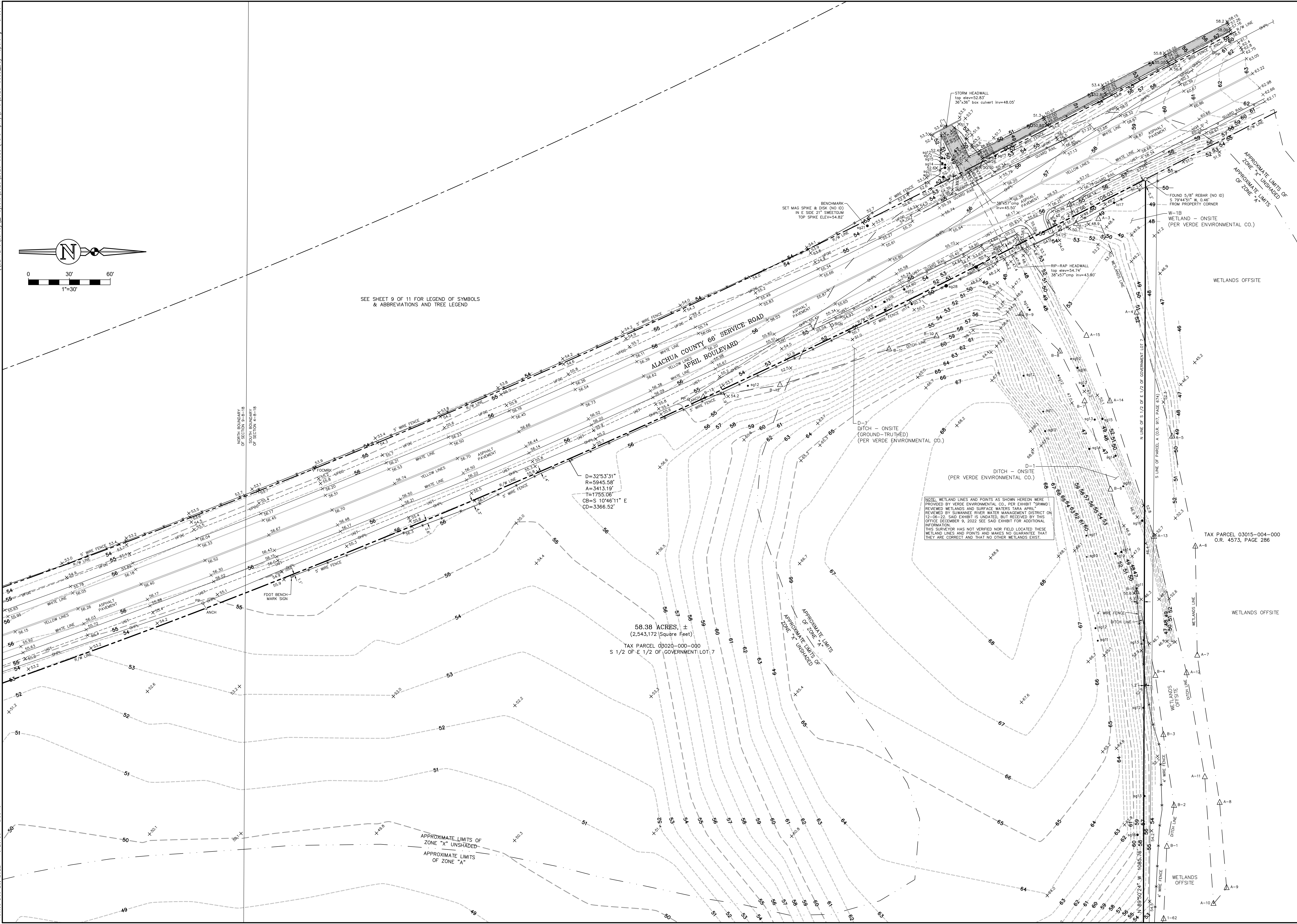
58.38 ACRES, ±
 (2,543,172 Square Feet)
 TAX PARCEL 03020-000-000
 S 1/2 OF E 1/2 OF GOVERNMENT LOT 7



SEE SHEET 9 OF 11 FOR LEGEND OF SYMBOLS & ABBREVIATIONS AND TREE LEGEND



SEE SHEET 9 OF 11 FOR LEGEND OF SYMBOLS & ABBREVIATIONS AND TREE LEGEND



58.38 ACRES, ±
(2,543,172 Square Feet)
TAX PARCEL 03020-000-000
S 1/2 OF E 1/2 OF GOVERNMENT LOT 7

NOTE: WETLAND LINES AND POINTS AS SHOWN HEREON WERE PROVIDED BY VERDE ENVIRONMENTAL CO., PER EXHIBIT "SRWD" REVISIONS WETLANDS AND SURFACE WATERS TARA APRIL 12-16-22. SAID EXHIBIT IS UNDATED, BUT RECEIVED BY THIS OFFICE DECEMBER 8, 2022. SEE EXHIBIT FOR ADDITIONAL INFORMATION. THIS SURVEYOR HAS NOT VERIFIED NOR FIELD LOCATED THESE WETLAND LINES AND POINTS AND MAKES NO GUARANTEE THAT THEY ARE CORRECT AND THAT NO OTHER WETLANDS EXIST.

No.	Date	Comment
1	11/29/2021	ADDED WETLANDS INFORMATION
2	12/22/2022	REVISED WETLANDS

FLOOD INSURANCE RATE MAP STATEMENT

THE REAL PROPERTY SHOWN HEREON LIES WITHIN THE FLOOD ZONE(S) UNSHADED AS DESIGNATED ON THE FLOOD INSURANCE RATE MAP NUMBER 120664-1, EFFECTIVE DATE 06/18/08. SAID MAP DESCRIBES ZONE(S) AS BEING "SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO ANNUAL CHANCE FLOOD, NO BASE FLOOD ELEVATIONS DETERMINED" AND ZONE "X" (UNSHADED) AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."



eda consultants inc.
Corporation
Robert W. Grafer
SEE SHEET 1 OF 11 FOR ORIGINAL SIGNATURE AND RAISED SEAL
NOT VALID WITHOUT ORIGINAL SIGNATURE AND THE RAISED SEAL OF A LICENSED SURVEYOR AND MAPPER. COPYRIGHT © 2022

Page	Survey Date	Drawings Completed	Revised
1-30	11/18/2021		
31-60	11/18/2021		
61-90	11/18/2021		
91-120	11/18/2021		

PREPARED FOR: 1) TARA FOREST, LLC

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 (2001), FLORIDA STATUTES. THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 11/18/2021.

Sheet No.: V-011

October 18, 2022

Sayed Moukhtara
Tara Forest, LLC
7717 NW 20th Lane
Gainesville, Florida 32605

Summary Report of a Geological Review and Active Ground Loss Evaluation
Tara Forest West, Tara Phoenicia, Tara April
Alachua, Alachua County, Florida
GSE Project No. 14759B

GSE Engineering & Consulting, Inc. (GSE) has performed a geological review to provide an opinion on the locations of active ground loss at the Tara Forest West, Tara Phoenicia and Tara April projects in Alachua, Florida. This review and report have been prepared at your request.

Background Information

We understand that you propose to develop these properties into residential and commercial developments. The sites are generally located at the northeast quadrant of the U.S. Highway 441 and I-75 intersection in Alachua, Florida and contains approximately 555 +/- acres. Figure 1 indicates the project location.

GSE has performed geotechnical explorations at these sites to assist with stormwater management facility and infrastructure design. Please refer to reports under GSE Project Numbers 14759, 14759A, 14891 and 15138 previously submitted.

We understand the City of Alachua retained Wood Environment & Infrastructure Solutions, Inc. (Wood) to assist with the development review process. As part of this review, Wood had concerns that active ground loss may be occurring below ground elevations of 75 feet. Wood recommended that the portion of the site lower than elevation 75 feet be analyzed further with engineering and geologic studies to identify if there is actual active ground loss occurring.

This geologic review has been performed to evaluate whether active ground loss is occurring at the site.

Regional Geology

In order to understand the mechanisms of ground loss, the regional geology of the site must be reviewed and considered. Ground loss in Alachua County typically occurs from soil erosion and sinkhole development. Ground loss from soil consolidation typically does not occur, as the majority of the soils in Alachua County are over consolidated from prior land form changes (sea level rise/recession and soil deposition) that occurred in the geologic past (millions of years ago).

Alachua County straddles two physiographic provinces: Northern Highlands and Coastal Lowlands¹. A broad karst escarpment known as the Cody Scarp separates these two provinces.

The Northern Highlands, which lie north and east of the Cody Scarp, are underlain by a thick sequence of relatively impermeable Miocene to Pleistocene sediments. Because of this thick sequence of sediments, the Northern Highlands Province contains few karst features. This upland plateau is nearly level, sloping gently to the west, north and east. Elevation ranges from about 150 to 200 feet above sea level. The plateau, which originally extended completely across the county, has many swamps. Sinkholes are not common within the plateau, but a few are found near its margin.

Thin Plio-Pleistocene sediments overlying thin and discontinuous, residual Miocene strata and Eocene limestone characterize the Lowlands. Karst features are numerous in the Lowlands. The western plains region has low relief. Elevation ranges from about 50 to 80 feet above sea level. The plain is devoid of stream channels, but it is dotted with sinks and limestone mines. While the Ocala Limestone is essentially near the surface in this region, many of the old sinks have become filled (some to a depth of 250 feet) with sand, clayey sand, and sandy clay. These soil materials come from marine submergence, soil creep and slumping, and stream transport from the Northern Highlands. This sinkhole fill tends to mask many of the karst irregularities of the Ocala surface.

The Cody Scarp, which separates the Northern Highlands from the Coastal Lowlands, contains large sinkholes, sinking streams, and other karst features. The bottoms of the karst features often penetrate to the Ocala Limestone and the depressions are usually filled with organic soils, fluvial and lacustrine sediments, and clay-rich soils. The hills within the scarp contain Miocene sediments similar to the Northern Highlands Province. Many of the large, flat-bottomed lakes and wet prairies are associated with the scarp and represent coalescent sinkholes known as poljes and uvalas. Many of these level prairies and lakes, most of which are near or below 60 feet NGVD, are associated with ground water levels.

Three major geologic formations occur at or near the surface within the county. These formations have influenced soil development. They are, in order of decreasing age, the Ocala Limestone of Eocene age, the Miocene to Pliocene Hawthorn Group, and the Plio-Pleistocene Terrace Deposits.

The Ocala Limestone underlies the entire county; exposures are common in the Coastal Lowlands in the southern and western parts of the county. Here a limestone plain is formed which is covered by a veneer of loose sand in most places. Thin and discontinuous beds of clay-rich soils may also occur in this region of the county. The Ocala Limestone consists of soft, white to cream colored, chalky, limestone that is approximately 98 percent calcium carbonate. Boulders and irregular masses of chert are common near the top. In many areas the Ocala is cavernous and fractured.

The Miocene Hawthorn Group includes at least three formations in Alachua County. These are, from bottom to top, the Penny Farms Formation, Marks Head Formation, and Coosawhatchie Formation². All three formations consist of varying proportions of interbedded clay, sand, limestone, and dolostone, all of which are phosphatic.

1 White, W.A., 1970. The Geomorphology of the Florida Peninsula. Florida Geological Survey, Bulletin 51.

2 Scott, T.M., 1988. The Lithostratigraphy of the Hawthorn Group (Miocene) of Florida. Florida Geological Survey, Bulletin No. 59.

The Hawthorn Group crops out in isolated areas around the town of Micanopy and in an irregular pattern along the Cody Scarp from Lochloosa Lake northwestward through Gainesville and into the north-Northern and northwestern part of the county. Much of the outcrop area is hill and valley terrain created by the formation of karst features at the foot of the escarpment. A thin veneer of loose sands of the older Plio-Pleistocene Terrace deposits covers the Hawthorn Group of sediments in the Cody Scarp and Northern Highlands. The Hawthorn Group lies unconformably on the solution-pitted Ocala Limestone surface.

The most recent formation is a surface mantle of fine to medium sand, silt, and clay that formed as Pliocene and Pleistocene sea levels fluctuated and periodically inundated portions of the county. Primarily, the terrace deposits overlie the Hawthorn Group. They are exposed in the Northern and eastern parts of the county.

The site is located in the rolling hills topography of Alachua County that lies within the Cody Scarp geology. Site elevations range from about 45 feet to more than 150 feet. The site is located just northeast of the Mill Creek Sink Cave. The Mill Creek Sink Cave is a well-documented sinkhole that is connected to an underground cavern system that is commonly used for cave diving. The Wood report identifies the approximate location of the cave system, which runs to the south across U.S. Highway 441 and to the east along the northern edge of U.S. Highway 441. Cave divers have documented that the cave system to the north has collapsed and is infilled with soil. The cave system is generally on the order of 100 to 200+ feet below land surface.

General Site Observations and Historic Site Use

Mr. Kenneth L. Hill, P.E. and Mr. Jason E. Gowland, P.E. with GSE have visited the site on numerous occasions to observe the site conditions. In addition, we have reviewed historical aerials of the site to observe the changes in the surface conditions of the site.

The site is currently mostly open land that is grown up in tall weeds. There are tree lines and wooded areas scattered throughout the site. Mill Creek is wooded along its banks. The majority of the site below elevation 75 feet is a valley along Mill Creek, with moderate to steep topography sloping up to the east and west from the creek.

From approximately 2004 to 2020, the site was planted in pine trees. The pine trees were harvested around 2020. Prior to 2004, the site was mostly open pasture with scattered tree lines and wooded areas dating back to 1964.

The 1964 aerial, attached as Figure 4, indicates that some of the site had been disturbed. The northern portion of the site and an area along the north side of U.S. Highway 441 appear disturbed, and possibly used as borrow areas or construction staging. This aerial is from the time period when the I-75 construction was nearing completion (there are no autos on I-75 but autos are present on U.S Highway 441). Ponds and wetland areas are easily identifiable on the aerial, along with the meandering Mill Creek. Mill Creek appears to be dry in this aerial, as this creek primarily transports stormwater runoff. A wet weather pond in the central portion of the site east of Mill Creek appears to be man made and from the land disturbance.

The 1971 aerial, attached as Figure 5, indicates the site is mostly pasture with scattered tree lines and woods. The majority of Mill Creek is located in open pasture and appears wet. Wetlands and ponds are identifiable. The disturbed areas are somewhat overgrown with pasture, but appear to have poor coverage.

The 1982 aerial, attached as Figure 6, shows that the site has remained pasture with no significant change since 1971. The poor established pasture in the northern disturbed area is more established. The site appears dry, with no water in Mill Creek and the ponds and wet weather pond areas showing less standing water. The most obvious change is the presence of a “black dot” in the northern portion of the site. The dot is believed to be a small chimney sinkhole, as this dot is at the location of a cluster of chimney sinkholes that are present on the site. These sinkholes were previously evaluated by GSE in our Project No. 14759A.

The 1994 aerial, attached as Figure 7, shows that the site is essentially in the same condition as prior years. Mill Creek appears wet. There is no vegetation along the majority of the creek. The location of the “black dot” now has two or three dots, indicating additional chimney sinkholes have developed. A 1999 aerial, not shown, indicates a fence has been constructed around the area of the “black dots” in a square shape. Remnants of this fence remain on the site today and surround the cluster of chimney sinkholes. This confirms the black dots on the aerial are chimney sinkholes which developed from about 1982 to 1999. The 2004 aerial shows the site is planted in pine trees, and remained in this condition until their harvest around 2020.

Evaluation and Discussion of Active Ground Loss

Wood has concerns with the potential of active ground loss in the lower elevations of the site. Based upon our observation of the site and review of historical data, we agree that active ground loss is occurring at the north end of the site at the location of the cluster of chimney sinkholes (see GSE Project No. 14759A). It is our opinion that active ground loss, other than normal surface erosion, is not occurring over the remainder of the site.

Wood specifically is concerned with two features they believe are swallets. The Wood report describes the locations of these features as *immediately adjacent to the western boundary of the property (in the lower 1/3 of the property boundary) and the other on the western side of Mill Creek immediately south of the first one*. The Wood Figure 5 shows the location of one swallet. The locations of both swallets described by Wood are not within the property boundaries (they are off site) and it is our opinion they have no impact on the Tara properties.

During a telephone conference with Wood, they believed that slow ground subsidence has occurred in the lower elevations along Mill Creek over the years. This opinion was based upon comparison of USGS Topographic Maps (digitizing the elevations and overlaying them). It is our opinion this conclusion cannot be made based upon the quality of the data. USGS Map Accuracy Standards³ states the accuracy of 1:24,000 USGS Topographic Maps is 5 feet vertically and 40 feet horizontally. This means that any point on the map may have an elevation that is 5 feet higher or lower than what is shown. Further, any point may be 40 feet in any direction away from where it is shown.

As a comparison of the accuracy of the USGS Topographic Maps, we overlaid the USGS topographic maps from 1963 and 1999 (Figures 2 and 3) onto the site topographic surveys. The topographic surveys were provided by eda and JBPro. These overlays show that the horizontal and vertical accuracy is reasonably within this range for the portion of the site above elevation 75 feet. Below elevation 75 feet, the horizontal accuracy is far less than 40 feet (the 50 foot contour lines are approximately 175 apart) and the vertical accuracy is generally beyond 5 feet. This is shown on Figures 2 and 3.

³ USGS Fact Sheet 171-99, November 1999

An opinion that a few feet of ground subsidence has occurred cannot be supported by data with this accuracy. Further, there are other sites nearby and that border this site that have improvements that are below elevation 75 feet, including portions of U.S Highway 441. If slow ground subsidence was actively occurring below elevation 75 feet, there would be reported damage to existing facilities. We are not aware of slow ground subsidence damage to nearby properties. We are aware of sudden ground subsidence caused by collapse type sinkholes.

GSE agrees that ground subsidence related to soil erosion is and can continue to occur at this site. This is entirely related to the quality of ground cover and rainfall intensity. Soil erosion is occurring along Mill Creek and in natural and man-made drainage swales where ground cover is poor. It is our opinion that slow ground subsidence related to karst geology is not occurring.

Sinkholes in Alachua County are typically sudden collapse type features. The typical geology of the Cody Scarp is a thin sand layer covering clay-rich soils. A pinnacled limestone formation is below the clay-rich soil at varying depths. A surficial groundwater table is typically not present or is a transient perched condition on the clays. Sinkholes develop from the sudden erosion or collapse of soil into cracks, crevices and voids in the upper portion of the limestone formation and the development of sinkholes is commonly related to high intensity rain events. These sinkholes typically vary from a few feet in diameter to 10 to 20 feet in diameter. The cluster of sinkholes at the north end of the site are typical sinkholes for the Cody Scarp geology. GSE is not aware of a slow ground subsidence type sinkhole occurring in the Cody Scarp geology of Alachua County.

Slow ground subsidence related to karst geology is common in the Central Florida region where the geology is different. The geology in Central Florida typically consists of 40+ feet of sandy soil that overlies confining clay-rich soils. Limestone is typically at depths of 100+ feet. A surficial groundwater table is typically present within 10 feet of land surface. Slow ground subsidence occurs from the raveling (erosion) of the sandy soils through breaches in the clay confining layer into voids in the limestone formation from the infiltration of the surficial water table into the Floridan Aquifer (groundwater recharge). This type of ground subsidence can take days or years to develop. This area of Alachua County does not have this type of geology (there is no persistent surficial groundwater table to slowly infiltrate and induce raveling), and therefore, does not have slow ground subsidence related to karst geology.

Summary

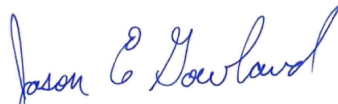
GSE has performed additional analysis and evaluations of the Tara project sites in Alachua, Florida to evaluate the potential for active ground loss. It is GSE's opinion that one isolated area at the northern portion of the site has active ground loss in the form of a cluster of chimney sinkholes that developed from approximately 1982 through 1999. These features were evaluated in GSE Project Number 14759A. It is GSE's opinion that active ground loss is not occurring in the portions of the site lower than elevation 75 feet over the remainder of the site. The two swallets identified by Wood are located off site and in our opinion have no impact on these sites. It is GSE's opinion that requiring further geological or geotechnical studies to evaluate active ground loss is an unnecessary requirement that is not warranted by the regional geology.

Closure

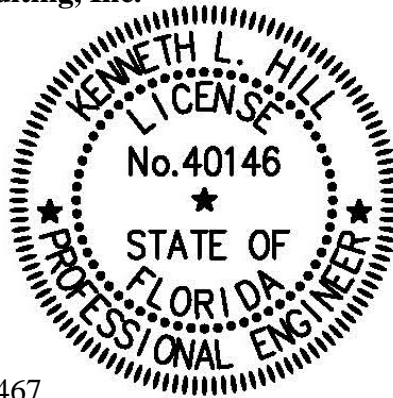
GSE appreciates this opportunity to provide these engineering services to you on this important matter. If you have any questions, or if we can provide any additional information, please contact us.

Sincerely,

GSE Engineering & Consulting, Inc.



Jason E. Gowland, P.E.
Senior Engineer
Florida Registration No. 66467



This item has been digitally signed and sealed by

on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

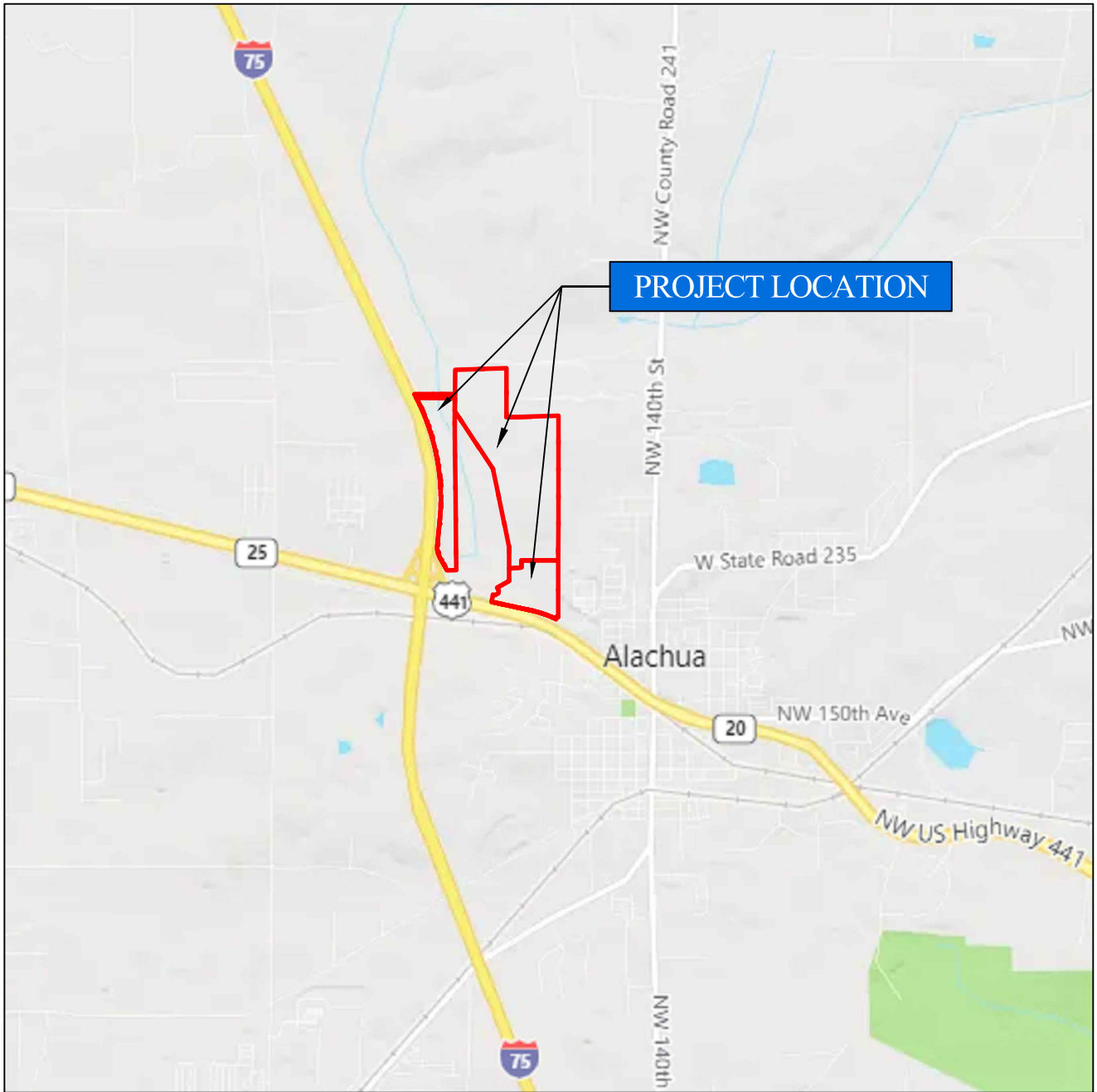
Kenneth L. Hill, P.E.
Principal Engineer
Florida Registration Number 40146

KLH/ JEG:ldj
Q:\Projects\14759B Tara Forest West - Ground Subsidence Evaluation\14759B.docx

- Attachments: Figure 1 – Site Location Map
Figure 2 – 1963 USGS Topo Map Overlay on Current Topo
Figure 3 – 1999 USGS Topo Map Overlay on Current Topo
Figure 4 – 1964 Aerial
Figure 5 – 1971 Aerial
Figure 6 – 1982 Aerial
Figure 7 – 1994 Aerial

Distribution: Addressee (1)
File (1)

ATTACHMENTS



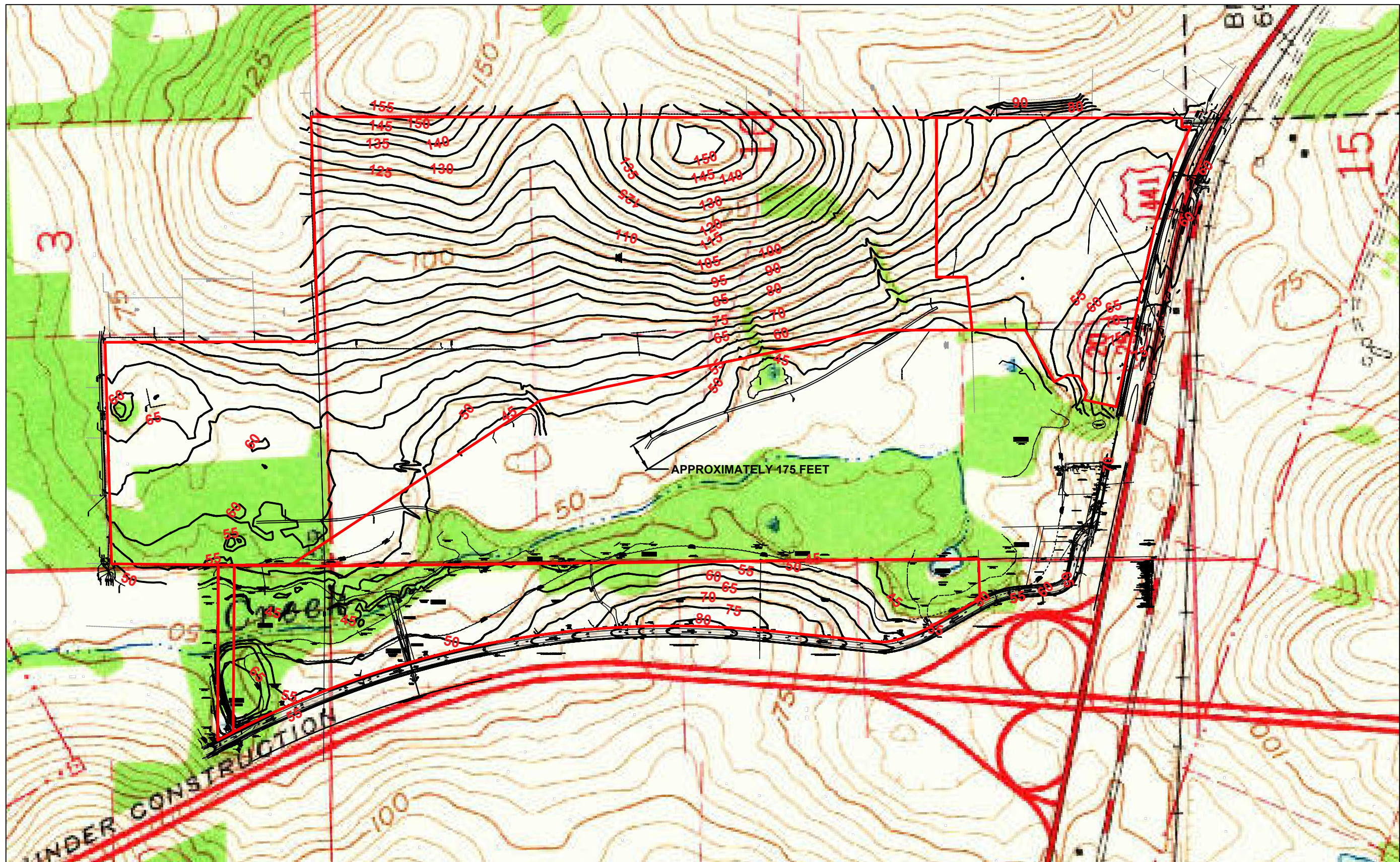
TARA FOREST WEST, TARA PHOENICIA &
 TARA APRIL
 ALACHUA, ALACHUA COUNTY, FLORIDA
 GSE PROJECT NO. 14759B

PROJECT SITE LOCATION MAP

DESIGNED BY : KLH
 CHECKED BY : JEG
 DRAWN BY : JMG



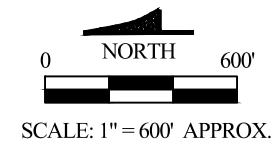
FIGURE
 1



REFERENCE: 1963 TOPO/USGS MAP

LEGEND:

SUBJECT PROPERTY



1963 USGS TOPO MAP OVERLAY ON CURRENT TOPO

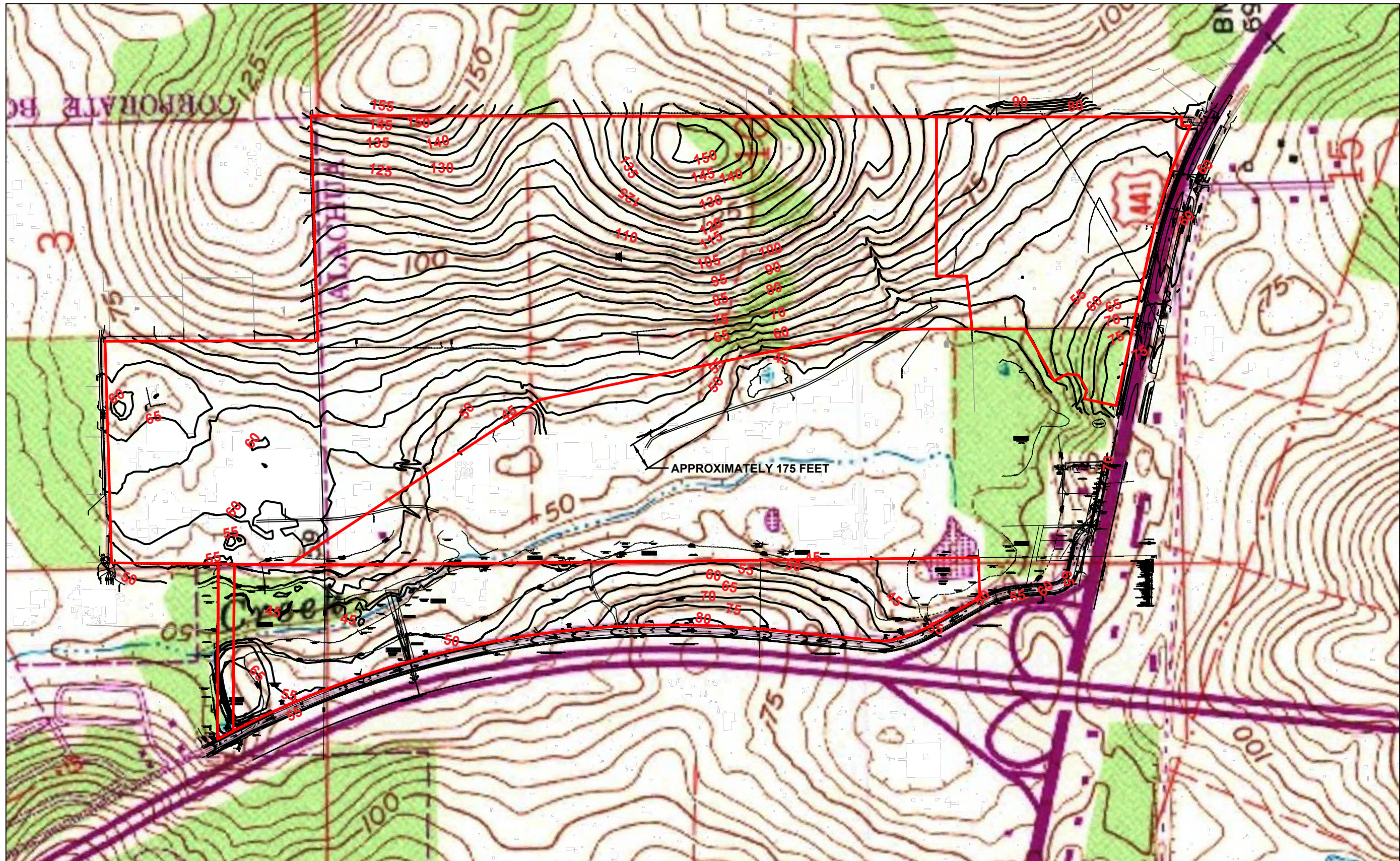
TARA FOREST WEST, TARA PHOENICIA & TARA APRIL
 ALACHUA, ALACHUA COUNTY, FLORIDA
 GSE PROJECT NO. 14759B

DESIGNED BY: KLH
 CHECKED BY: JEG
 DRAWN BY: JMG



FIGURE

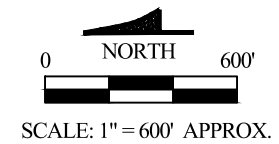
2



REFERENCE: 1998 TOPO/USGS MAP

LEGEND:

SUBJECT PROPERTY



1998 USGS TOPO MAP OVERLAY ON CURRENT TOPO

TARA FOREST WEST, TARA PHOENICIA & TARA APRIL
 ALACHUA, ALACHUA COUNTY, FLORIDA
 GSE PROJECT NO. 14759B

DESIGNED BY: KLH
 CHECKED BY: JEG
 DRAWN BY: JMG



FIGURE

3



REFERENCE: 64 CROPPED AERIAL

LEGEND:

SUBJECT PROPERTY



1964 AERIAL

TARA FOREST WEST, TARA PHOENICIA & TARA APRIL
 ALACHUA, ALACHUA COUNTY, FLORIDA
 GSE PROJECT NO. 14759B

DESIGNED BY: KLH
 CHECKED BY: JEG
 DRAWN BY: JMG



FIGURE
 4



REFERENCE: 71 CROPPED AERIAL

LEGEND:

SUBJECT PROPERTY



1971 AERIAL

TARA FOREST WEST, TARA PHOENICIA & TARA APRIL
 ALACHUA, ALACHUA COUNTY, FLORIDA
 GSE PROJECT NO. 14759B

DESIGNED BY: KLH
 CHECKED BY: JEG
 DRAWN BY: JMG



FIGURE
 5



REFERENCE: 82 CROPPED AERIAL

LEGEND:

SUBJECT PROPERTY



1982 AERIAL

TARA FOREST WEST, TARA PHOENICIA & TARA APRIL
 ALACHUA, ALACHUA COUNTY, FLORIDA
 GSE PROJECT NO. 14759B

DESIGNED BY: KLH
 CHECKED BY: JEG
 DRAWN BY: JMG



FIGURE
 6



REFERENCE: 94 CROPPED AERIAL

LEGEND:

SUBJECT PROPERTY



1994 AERIAL

TARA FOREST WEST, TARA PHOENICIA & TARA APRIL
 ALACHUA, ALACHUA COUNTY, FLORIDA
 GSE PROJECT NO. 14759B

DESIGNED BY: KLH
 CHECKED BY: JEG
 DRAWN BY: JMG



FIGURE
7



Our Alachua Water <ouralachuawater@gmail.com>

Fwd: Comment - Tara April 11/18

Sarah Strohm <sarahstrohm93@gmail.com>
To: "ouralachuawater@gmail.com" <ouralachuawater@gmail.com>

Mon, Nov 10, 2025 at 10:36 AM

----- Forwarded message -----

From: **Sarah Strohm** <sarahstrohm93@gmail.com>
Date: Mon, Nov 10, 2025, 10:35 AM
Subject: Comment - Tara April 11/18
To: <planning@cityofalachua.com>

Deny Tara April Special Exception Permit

I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer.

Did you know that the geography of North Florida is globally unique? We have the largest concentration of first magnitude springs in the world. Your approval would mean adding industrial runoff to the same aquifer that supplies the crystal clear blue water to nearby springs. That industry has played a significant role in your local economy as well as the local economies of other small North Florida towns, drawing revenue from global diving tourism, local Florida families, and football game weekends galore. Do not put that at risk.

Additionally, one of the core duties of the role you all currently hold is to serve the wellbeing of the citizens of your district. Do not put your public water supply at risk. The least you could do is not invite contamination. Do not approve this development on top of the Mill Creek Sink.

I'm from Hastings in St Johns County. I vividly remember the sink hole that swallowed a mini van in the parking lot of the Ponce de Leon Mall in my childhood. Putting retail space in this geographic area is irresponsible. Karst topography is very susceptible to sink holes. Mill Creek Sink is not only vulnerable to pollutant contamination by simply paving over it and inviting lot runoff, but you are also one catastrophic event away from this being the worst decision of your life.

Thank you in advance for making the right decision in denying the Tara April Special Exception Permit,
Sarah Strohminger



Our Alachua Water <ouralachuawater@gmail.com>

Public Comment – Tara April Special Exception Permit / Request for Affected Party Status

SARAH YOUNGER <snyounger@comcast.net>

Sun, Nov 9, 2025 at 11:07 PM

To: "planning@cityofalachua.com" <planning@cityofalachua.com>

Cc: "commissioners@cityofalachua.org" <commissioners@cityofalachua.org>

Dear Members of the Planning & Zoning Board,

My name is Sarah Younger, and I am a homeowner in High Springs, Florida, where my family relies entirely on a private well drawing from the Floridan Aquifer for our drinking water. I am writing to request affected party status regarding the Tara April Special Exception Permit, and to express my strong opposition to approval of this proposal in its current form.

According to the City's public notice, the Board will meet on November 18, 2025, "to discuss a special exception permit for stormwater infrastructure on the Tara April property."¹ This proposal cannot be viewed in isolation. The Tara April parcel is part of a trio of connected developments — Tara April, Tara West, and Tara Phoenicia — all sharing ownership, utilities, stormwater plans, and proximity to the Mill Creek Sink and Mill Creek Cave System, which directly recharge the Floridan Aquifer that supplies my home well and the regional springs system.

As detailed in a letter submitted by Attorney Therique on behalf of the City of Alachua, the Tara Phoenicia project proposes to dramatically alter the topography of the site—an estimated 9,000 truckloads of soil movement to reshape the land for development. The Tara April project similarly involves extensive grading and filling in an area characterized by thin soils, high recharge rates, and underlying karst features. These activities will not "protect the environment," as the applicant may claim; they will instead permanently disrupt the natural surface and subsurface drainage patterns that safeguard our aquifer.

Substantial regrading of this magnitude increases runoff velocity and pollutant loading while reducing natural infiltration—the opposite of what should occur in a primary groundwater recharge zone. Once contaminated, water entering the Mill Creek system can travel through conduits to Hornsby and Treehouse Springs, and eventually into the Santa Fe River, affecting water quality miles from the source.

The City has a duty under its Comprehensive Plan and Florida's Growth Management laws to evaluate cumulative environmental impacts, not just project-by-project effects. Approving the Tara April permit without considering its relationship to Tara Forest West and Tara Phoenicia would fragment oversight and fail to account for the shared consequences of these interconnected developments.

For these reasons, I respectfully urge the Board to deny or defer the Tara April Special Exception Permit and require a comprehensive, bundled environmental review of all Tara developments. Only through cumulative evaluation can the City ensure that development decisions do not jeopardize the aquifer, wells, and springs that sustain this community.

Thank you for including this letter in the official record for the November 18 hearing, and for recognizing your responsibility to protect our shared water resources for present and future generations.

Sincerely,
Sarah Younger
P.O. Box 611
High Springs, FL 32655



Our Alachua Water <ouralachuawater@gmail.com>

Comment – Tara April SEP for 11/18 P&Z

James Scott <jimbo5208@gmail.com>

Mon, Nov 10, 2025 at 10:07 AM

To: planning@cityofalachua.com

Cc: ouralachuawater@gmail.com

Dear Board Members,

The Tara April Special Exception Permit application is objectively asking that the board favor the profitability of the applicant by creating a collective liability for the citizens of Alachua County. Plain and simple.

I urge the Planning and Zoning Board to deny the Tara April SEP because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer.

Respectfully,

James Scott
Alachua County Resident for 67 years



Our Alachua Water <ouralachuawater@gmail.com>

Fwd: Comment - Tara April for 11/18 P&Z

Jess Lee <mashuplove@gmail.com>
To: ouralachuawater@gmail.com

Sun, Nov 9, 2025 at 7:38 PM

----- Forwarded message -----

From: **Jess Lee** <mashuplove@gmail.com>
Date: Sun, Nov 9, 2025 at 10:30 AM
Subject: Comment - Tara April for 11/18 P&Z
To: <planning@cityofalachua.com>

Hello,

I am writing to express my strong opposition to the proposed Special Exception Permit for the Tara April project and urge you to deny this application. My primary concern is the direct and irreversible threat this development poses to the environmentally sensitive Mill Creek Cavern and Cave System, which safeguards our community's drinking water and the underlying aquifer.

The proposed project site is in a critical area directly connected to this fragile karst landscape. Karst terrain, characterized by sinkholes, caves, and underground streams, is highly susceptible to contamination. Pollutants from construction, landscaping, septic systems, and everyday surface runoff can flow directly and rapidly into the groundwater with minimal natural filtration.

The Mill Creek Cavern System is not just a geological feature; it is a direct conduit to the aquifer that supplies drinking water to our community. Allowing intensive development in this sensitive recharge area jeopardizes the quality and safety of our most vital natural resource. A contamination event here would have devastating and long-lasting consequences for public health, the environment, and the economic well-being of our entire community.

Granting a Special Exception Permit in this location sets a dangerous precedent. It signals that protecting our critical water infrastructure is negotiable. The potential risks—including chemical runoff, sewage leakage, and increased sedimentation that could clog underground waterways—far outweigh any perceived benefits of this specific project.

Therefore, I respectfully request that the Board deny the Tara April Special Exception Permit. At a minimum, I urge you to require a comprehensive, independent hydrogeological study that fully assesses the project's impact on the cave system and our aquifer before further consideration.

Protecting our drinking water source is a fundamental responsibility. I trust that you will consider the long-term health and safety of our community and choose to preserve this irreplaceable environmental asset for future generations.

Thank you for your time and consideration of this critical matter.

Sincerely,
Jessica Schuler



Our Alachua Water <ouralachuawater@gmail.com>

Fwd: Protect Alachua's Water - Say NO to Tara!

Kimberly Maloney <kimbo529@gmail.com>
To: "ouralachuawater@gmail.com" <ouralachuawater@gmail.com>

Mon, Nov 10, 2025 at 9:43 AM

Kimberly Maloney-Clow
407-600-4696

----- Forwarded message -----

From: **Kimberly Maloney** <kimbo529@gmail.com>
Date: Fri, Nov 7, 2025 at 9:32 AM
Subject: Protect Alachua's Water - Say NO to Tara!
To: <planning@cityofalachua.com>
CC: <commissioners@cityofalachua.org>

Dear Planning Department, Mayor, and Commissioners, In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region's most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater. Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations. Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water. Please reject Tara's plans to build over the cave at Mill Creek Sink to protect our water. It's not safe. Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West. Sincerely, (Your Name)

Kimberly Maloney-Clow
407-600-4696



Our Alachua Water <ouralachuawater@gmail.com>

Comment - Tara April SEP for 11/18 P&Z

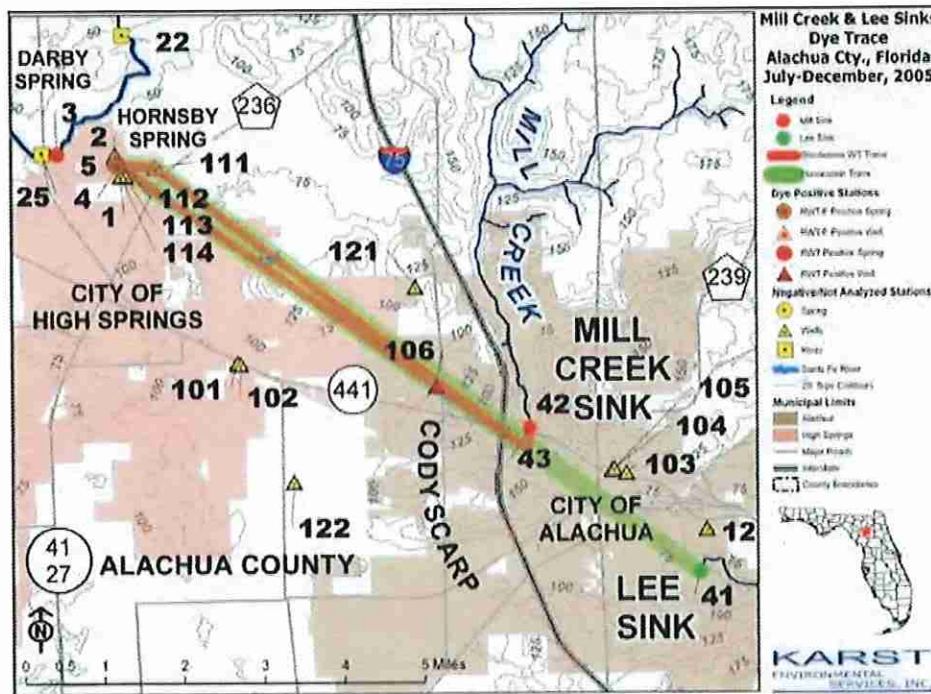
omamomma@yahoo.com <omamomma@yahoo.com>
Reply-To: "omamomma@yahoo.com" <omamomma@yahoo.com>
To: "planning@cityofalachua.com" <planning@cityofalachua.com>
Cc: "ouralachuawater@gmail.com" <ouralachuawater@gmail.com>

Sun, Nov 9, 2025 at 9:28 AM

Please deny the Tara April Special Exception Permit because:

- 1- This area is geologically vulnerable to sinkholes
- 2- Runoff from this area drains into the Mill Creek Sink
- 3- Water from Mill Creek Sink provides a direct corridor to wells in High Springs and to Hornsby Springs.

Map below is from the 2005 dye trace study showing how water entering Mill Creek Sink flows through underwater caves to Hornsby Springs inside of a week.



Thank you for being a responsible steward of our important resources.

Joanne Tremblay



Our Alachua Water <ouralachuawater@gmail.com>

Fwd: Tara Development near Mill Creek Sink - Please Deny

Our Alachua Water <floridacaves@gmail.com>
To: Our Alachua Water <ouralachuawater@gmail.com>

Mon, Nov 10, 2025 at 8:53 AM

----- Forwarded message -----

From: **Rick Lanese** <rick.lanese@oursantaferiver.org>
Date: Sun, Nov 9, 2025 at 7:54 PM
Subject: Tara Development near Mill Creek Sink - Please Deny
To: <wWelch@cityofalachua.org>, <Commissiners@cityofalachua.org>, <planning@cityofalachua.com>

Dear Mayor, Commissioners, and Planning Department.

Our Santa Fe River, Inc. was established in 2007 with a mission to advocate for the preservation of the Santa Fe River, its watershed, springs and the Florida aquifer. Our goal is to keep our water clean and healthy.

Some land is just not suitable for large scale development because of its proximity to unique geological features. The proposed Tara development is a perfect example of land that should not be permitted to have a large development.

The waters passing through Mill Creek and the Mill Creek Sink have been proven to directly impact nearby wells, springs, the Florida aquifer and in turn the Santa Fe River. Development in this area would cause irreparable harm to our water by adding harmful contaminants.

We urge you to deny the proposals and permit applications of the Tara development projects near Mill Creek and Mill Creek Sink to protect one of our region's most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Our water quality has been steadily declining for years and much of the decline is directly related to development. Good development can be accomplished while minimizing the negative impacts on our water quality. However, some areas are just too environmentally sensitive for any development.

Please reject Tara's plans to build over the cave at Mill Creek Sink to protect our water. It's not safe.

Sincerely,

--
Rick Lanese, President
Our Santa Fe River, Inc.
813-965-1983



Our Alachua Water <ouralachuawater@gmail.com>

Comment Submission for 11/10 Board Meeting

Harley O'Neill <harleytayloroneill@gmail.com>

Fri, Nov 7, 2025 at 3:32 PM

To: planning@cityofalachua.comCc: ouralachuawater@gmail.com

Hi there,

I would like to urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer. As a local for over 2 decades, and water and nature lover, I would be disappointed to see this excusal affect our already-hurting waterways. If you also love the waters, you have the chance to make an impact by preventing further disruption to the ecosystem! Please help us be the change!

Warmly, this concerned citizen,

Harley O'Neill, MA (pronouns: she/her)| Arts in Health Practitioner, Movement Coach, Choreographer www.harleytayloroneill.com| Santa Fe College Professor of Dance <https://www.sfcollge.edu/academics/cte/finearts/dance/>| Founder www.spatiallyfed.org

| In the spirit of accountability & healing, I acknowledge and honor the Timucua and all of the original Indigenous peoples of the land upon which my work stands.

Whose land are you on?



Our Alachua Water <ouralachuawater@gmail.com>

Comment Submission for 11/10 Board Meeting

Harley O'Neill <harleytayloroneill@gmail.com>

Sat, Nov 8, 2025 at 9:07 AM

To: Our Alachua Water <ouralachuawater@gmail.com>, planning@cityofalachua.com

Apologies for the typo in my subject line — this message is regarding the 11/18 meeting.

Thank you!

Harley O'Neill, MA (pronouns: she/her)

| Arts in Health Practitioner, Movement Coach, Choreographer www.harleytayloroneill.com

| Adjunct Assistant Professor of Dance <https://www.sfcollege.edu/academics/cte/finearts/dance/>

| Founder www.spatiallyfed.org

| In the spirit of accountability & healing, I acknowledge and honor the Timucua and all of the original Indigenous peoples of the land upon which my work stands.

Whose land are you on?

On Sat, Nov 8, 2025 at 9:06 AM Harley O'Neill <harleytayloroneill@gmail.com> wrote:

Oops! Thank you, I will send that note forward to them.

On Fri, Nov 7, 2025 at 9:13 PM Our Alachua Water <ouralachuawater@gmail.com> wrote:

Hi Harley - This is so beautiful, thank you for taking the time to submit. Just a quick note because the city's deadlines can be confusing - the deadline for public comment is 11/10 but it is for an 11/18 meeting (your subject line).

On Fri, Nov 7, 2025 at 3:32 PM Harley O'Neill <harleytayloroneill@gmail.com> wrote:

Hi there,

I would like to urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer. As a local for over 2 decades, and water and nature lover, I would be disappointed to see this excusal affect our already-hurting waterways. If you also love the waters, you have the chance to make an impact by preventing further disruption to the ecosystem! Please help us be the change!

Warmly, this concerned citizen,

Harley O'Neill, MA (pronouns: she/her)

| Arts in Health Practitioner, Movement Coach, Choreographer www.harleytayloroneill.com

| Santa Fe College Professor of Dance <https://www.sfcollege.edu/academics/cte/finearts/dance/>

| Founder www.spatiallyfed.org



| In the spirit of accountability & healing, I acknowledge and honor the Timucua and all of the original Indigenous peoples of the land upon which my work stands.

Whose land are you on?



Our Alachua Water <ouralachuawater@gmail.com>

Say NO to the Special Exception Permit (SEP)

Laura Line <lrln1127@gmail.com>
To: planning@cityofalachua.com
Cc: ouralachuawater@gmail.com

Sun, Nov 9, 2025 at 8:18 PM

Dear Board Members,

I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer.

I worked as an aquatic ecologist with Alachua County and Water & Air Research, Inc. I sampled the water and organisms in Mill Creek, Mill Creek Sink, and above the sink, so I am very familiar with the area, the dye studies, and the precautions that should be taken to protect this area. I sampled Hornsby Spring Run, which is connected to the Mill Creek Cave System, and which is in dire need of protection and is vulnerable to pollution as well as to water withdrawals that can leave the spring with flocculent sediment and poor water quality instead of a clean limestone bottom and clear, clean water.

Please do the right thing and deny the permit, and do what you can to prevent further damage from this development. Protect our water for the future of the citizens of the City of Alachua.

Respectfully,
Laura Line



Our Alachua Water <ouralachuawater@gmail.com>

Comment - Tara April SEP for 11/18 P&Z

Shannon Perry <shancore@gmail.com>

Fri, Nov 7, 2025 at 8:16 AM

To: planning@cityofalachua.comCc: ouralachuawater@gmail.com

To the City of Alachua Planning & Zoning Board,

I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer.

As a member of the NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and its water. Building over a cave system does not protect it.

To truly embody "The Good Life Community", we must ensure our actions don't compromise the very resources that define our community's quality of life.

Sincerely,
Shannon Perry
NSS-CDS Member

--

Shannon Perry
shancore@gmail.com

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Our Alachua Water <ouralachuawater@gmail.com>

Save the Cave at Mill Creek Sink - Email the City by Monday

Eduardo Teixeira de Macedo <eduardoteixeirademacedo@gmail.com>

Fri, Nov 7, 2025 at 9:04 AM

To: planning@cityofalachua.com

Cc: ouralachuawater@gmail.com

City of Alachua Planning & Zoning Board

I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer.

We have been diving in these caves for many years, and tourism to this region could be seriously affected if the caves are not protected.

Best regards,

Eduardo

Eduardo Macedo

Instructor Trainer Cave Evaluator

+55(61) 98596-5665



Our Alachua Water <ouralachuawater@gmail.com>

Comment - Tara April P&Z for 11/18

Carol White <bctwhite@gmail.com>

Fri, Nov 7, 2025 at 4:09 PM

To: planning@cityofalachua.com

Cc: "ouralachuawater@gmail.com" <ouralachuawater@gmail.com>

Dear Members of the Planning & Zoning Board,

My name is Brandon White, and I'm a concerned resident writing to urge you to deny the special exception permit for the Tara April development. This proposed site lies within a highly sensitive karst landscape, where underground caverns and sinkholes directly connect to the Floridan Aquifer—our community's drinking water source.

Runoff in this area can reach the aquifer with little to no natural filtration, increasing the risk of contamination and long-term harm to our waterways and springs. A sinkhole already opened nearby during previous construction, underscoring how fragile this system is.

Please stand with the people of Alachua County and protect our shared water resources. Deny this special permit and require stronger safeguards before any large-scale development proceeds in such a vulnerable recharge zone.

Thank you for your time and commitment to protecting our environment and community.

Sincerely,
Brandon White
Concerned Citizen



Our Alachua Water <ouralachuawater@gmail.com>

Comment - Tara April 11/18

Nicole Gilbo <nicole.gilbo@gmail.com>
To: planning@cityofalachua.com
Cc: ouralachuawater@gmail.com

Mon, Nov 10, 2025 at 5:37 AM

Dear Planning and Zoning Board,

I'm writing to ask you to deny the Tara April Special Exception Permit. This land sits in an environmentally sensitive area that connects directly to the Mill Creek Cavern and Cave System, which helps protect our drinking water and aquifer.

I'm a resident of Alachua County and I recently discovered an incredible wilderness of cave systems right under our feet with guidance from the Florida Speleological Society. The water that runs through these caves is so pure that Jacques Cousteau once described it as having "visibility forever". Mill Creek helps safeguard the fresh water supply for the people of Alachua, and it is a living part of North Florida's natural history. These water-filled caves are as awe-inspiring as Everest, if less visible, and they have captivated some of the greatest explorers in our lifetime. In an age where men have been to the moon, this is one of the last frontiers, but it is also a vulnerable environment that needs our protection.

If this development goes forward, it will put that system at risk. Yard chemicals, detergents, and stormwater runoff will seep through the porous limestone like a sponge, threatening the aquifer below. Heavy construction could also trigger sinkholes in this fragile terrain. I hope the Board will choose to protect the water that sustains our homes, our springs, and our future.

I also encourage anyone considering buying a home in Tara April to watch the PBS special *Sinkholes: Buried Alive*. It shows how easily houses in areas like this can be swallowed by the karst terrain when the aquifer is overburdened.

Please help us protect this remarkable and irreplaceable part of North Florida. Our water depends on it.

Sincerely,
Nicole Gilbo



Our Alachua Water <ouralachuawater@gmail.com>

Please don't approve more development here

Matheny, Albert R, III <matheny@ufl.edu>

Sun, Nov 9, 2025 at 10:10 AM

To: "planning@cityofalachua.com" <planning@cityofalachua.com>

Dear Planning and Zoning Board: We can't afford to risk any more damage to the Floridan Aquifer. Commercial development above one of its most vulnerable areas is asking for trouble for our water resources. I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer.

Albert R. Mathenymatheny@ufl.edu

2613 N.W. 24th Terrace
Gainesville, FL 32605-2820
(352) 377-5984



Our Alachua Water <ouralachuawater@gmail.com>

comment Tara April SEP for 11-18 P&Z

Setuh and Doug <bridgestohealth@windstream.net>

Sun, Nov 9, 2025 at 1:00 PM

To: planning@cityofalachua.com

Cc: ouralachuawater@gmail.com

To all who represent our health and water interests do not allow this Tara April Special Exemption Permit! This exceptionally sensitive area is one of the few remaining areas that still impacts our water aquifer and the entire area which is very vulnerable to the development that is currently expanding all over Alachua's outlying areas.

Susanne Hesse & Douglas Dyer



Our Alachua Water <ouralachuawater@gmail.com>

Fwd: Comment - Tara April for 11/18

Haley K <hnkraczek@gmail.com>
To: "ouralachuawater@gmail.com" <ouralachuawater@gmail.com>

Sun, Nov 9, 2025 at 5:30 PM

----- Forwarded message -----

From: **Haley K** <hnkraczek@gmail.com>
Date: Sat, Nov 8, 2025 at 12:01 AM
Subject: Comment - Tara April for 11/18
To: <planning@cityofalachua.com>

Hello,

I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer.

Haley Kraczek
Environmental scientist | Stormwater pollution control inspector
(772)-285-8907
Hnkraczek@gmail.com



Our Alachua Water <ouralachuawater@gmail.com>

Tera development

Lee Waggener <leewaggener@gmail.com>

Sun, Nov 9, 2025 at 8:24 PM

To: planning@cityofalachua.com

Cc: ouralachuawater@gmail.com

Please say no. Don't allow the permit to go through. They can build somewhere else in Alachua. Don't be greedy. They will destroy our water for ever. I can't believe it has gotten this far. Protect our water, wells, and springs Your decision will effect Alachua and other areas. Please. Say no.

Lee Ann Waggener

Concerned citizen.

Sent from my iPhone



Our Alachua Water <ouralachuawater@gmail.com>

Fwd: Tara Development near Mill Creek Sink!

Our Alachua Water <floridacaves@gmail.com>
To: Our Alachua Water <ouralachuawater@gmail.com>

Mon, Nov 10, 2025 at 8:53 AM

----- Forwarded message -----

From: **Rick Lanese** <RLanese@lanese-cpa.com>
Date: Sun, Nov 9, 2025 at 7:23 PM
Subject: Tara Development near Mill Creek Sink!
To: planning@cityofalachua.com <planning@cityofalachua.com>, wWelch@CityfAlachua.org
<wWelch@cityfalachua.org>
Cc: commissioners@cityofalachua.org <commissioners@cityofalachua.org>

Dear Mayor, Commissioners, and Planning Department.

I urge you to deny the proposals and permit applications of the Tara development projects near Mill Creek and Mill Creek Sink to protect one of our region's most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

I live on the Santa Fe River and allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. I ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Our water quality has been steadily declining for years and much of the decline is directly related to development. Good development can be accomplished while minimizing the negative impacts on our water quality. However, some areas are just too environmentally sensitive for any development. The proposed Tara development is an example of such an area.

Please reject Tara's plans to build over the cave at Mill Creek Sink to protect our water. It's not safe.

Sincerely,

Rick Lanese



Our Alachua Water <ouralachuawater@gmail.com>

Comment- Tara April for 11/18

1 message

Filomena Wright <filowright@icloud.com>

Mon, Nov 10, 2025 at 5:27 AM

To: planning@cityofalachua.comCc: ouralachuawater@gmail.com

Hello,

I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer.

Our aquifer is already strained and further development will have a detrimental impact to this already fragile ecosystem, as well as the quality of life for those in Florida, as our drinking water becomes constrained.

Please consider long-term effects and what is at stake and deny the special exception permit.

Filomena Wright
Sent from my iPhone



Our Alachua Water <ouralachuawater@gmail.com>

Comment - Tara April SEP for 11/18 P&Z

Grace Von Hindenfalken <grace.falken@yahoo.com>
Reply-To: Grace Von Hindenfalken <grace.falken@yahoo.com>
To: planning@cityofalachua.com
Cc: "ouralachuawater@gmail.com" <ouralachuawater@gmail.com>

Sun, Nov 9, 2025 at 9:36 PM

I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit. A special exception should not be made that would allow dangerous and harmful development in an area that is so critical to naturally filtering the water that we rely on. Approving the permit would be both ecologically unsound and poor stewardship of Alachua County resident health and safety. The decisions made by this board set precedence for current and future developers to bulldoze over Alachua and greater Floridian aquifer recharge zones. We already know that our aquifers are suffering - approval of plans that alter the landscape of particularly critical recharge zones such as Mill Creek advances the needle in the wrong direction that Planning and Zoning needs to be going for the sustainability of clean ground water in Alachua.

I implore you to consider the mark you want to leave on the ecology of Alachua. Every single one of us is a part of that ecology.

Sincerely,

Grace Von Hindenfalken



Our Alachua Water <ouralachuawater@gmail.com>

Mill Creek cavern system

Lee Palmore <lee@anduin.eldar.org>
To: ouralachuawater@gmail.com

Sun, Nov 9, 2025 at 6:40 PM

Please stop development in the area that drains into our aquifer polluting our drinking water.

Virginia Lee Palmore



Our Alachua Water <ouralachuawater@gmail.com>

Fwd: NO to Tara April

Stacey Breheny <staceyb@windstream.net>
To: ouralachuawater@gmail.com

Sun, Nov 9, 2025 at 7:05 PM

Begin forwarded message:

From: Stacey Breheny <staceyb@windstream.net>
Subject: NO to Tara April
Date: November 9, 2025 at 10:43:33 AM EST
To: planning@cityofalachua.com

To who it may concern:

Please vote no on the Tara April Special Exemption Permit because in addition to even more unwanted traffic and general stress on the congested area near the interstate, this project is too close to the Mill Creek portal to the aquifer. There should be zero additional development anywhere near this precious resource.

Thank you,

Sincerely,

Stacey Breheny
High Springs, Florida



Our Alachua Water <ouralachuawater@gmail.com>

Comment – Tara April 11/18

Noah Weller <nweller77@gmail.com>
To: planning@cityofalachua.com
Cc: ouralachuawater@gmail.com

Mon, Nov 10, 2025 at 9:08 AM

Dear Planning and Zoning Board,

I'm writing to ask you to deny the Tara April Special Exception Permit. This property sits in a sensitive area connected to the Mill Creek Cavern and Cave System, which is vital to our aquifer and drinking water.

I've seen how fragile this system is, and I'm deeply concerned that development here will pollute the groundwater and increase the risk of sinkholes. Please help protect the clean water that our community depends on.

Sincerely,
Noah Weller
Alachua County Resident



Our Alachua Water <ouralachuawater@gmail.com>

Comment - Tara April for 11/18

RYAN WORTHINGTON <ryanworthington1@aol.com>
To: planning@cityofalachua.com

Mon, Nov 10, 2025 at 9:22 AM

Please deny the Tara April Special Exception Permit, due to the proximity to the Mill Creek Cave system the development would risk water quality to the local area. The development should be built in another area that does not present the potential to harm the surrounding community and away from such an ecological sensitive geological feature.

Again, please deny the permit. Thank you.

Ryan Worthington



Our Alachua Water <ouralachuawater@gmail.com>

Comment – Tara April SEP for 11/18 P&Z

freddie johnson <fpjohns@hotmail.com>

Sun, Nov 9, 2025 at 8:18 PM

To: "planning@cityofalachua.com" <planning@cityofalachua.com>

Cc: "ouralachuawater@gmail.com" <ouralachuawater@gmail.com>

"I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer."

Please observe reference for life and make the choice that supports it.

Freddie Johnson



Our Alachua Water <ouralachuawater@gmail.com>

Comment - Tara April 11/18

Jon Kieren <jon@kierentechnical.com>
To: planning@cityofalachua.com

Mon, Nov 10, 2025 at 10:40 AM

Dear Planning and Zoning Board,

I'm writing to ask you to deny the Tara April Special Exception Permit. This property sits in a sensitive area connected to the Mill Creek Cavern and Cave System, which is vital to our aquifer and drinking water.

Jon Kieren

Owner, Kieren Technical
GUE Cave 2/Fundamentals Instructor
Phone/WhatsApp: +1 386-590-1794
www.KierenTechnical.com

Mill Creek Sink

Sami Sam <hjmacmillan1968@gmail.com>

Sat, May 31 at 3:18 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: <FloridaCaves@gmail.com>

Dear Mayor and Comissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and its water. Building over a cave system does not protect it. Vote to save Mill Creek Sink.

Reject Tara's plan to build over the cave at Mill Creek sink.

Sincerely,

Helen Malone
NSS-CDS member
Helen Malone

Save Our Cave - Say No to Tara

Lauren <lauren.lasser@gmail.com>

Sat, May 31 at 3:18 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor & Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and its water. Reject Tara's plan to build over the cave at Mill Creek Sink.

Sincerely,
Lauren Martin
NSS-CDS Member

Lauren E. Martin

Cell: 310-903-6055

lauren.lasser@gmail.com

"The ocean is awesome and for winners." -Jack Donaghy

Vote to save the cave at Mill Creek Sink

Sarah Schulz <sarahlynnschulz@hotmail.com>

Sat, May 31 at 3:18 PM

To: wwelch@cityofalachua.org <wwelch@cityofalachua.org>, sgeeenbrown@cotyofqlqchua.org
<sgeeenbrown@cotyofqlqchua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor and Commissioners,

As a member of the NSS-CDS, I urge you to conserve and protect clean water. Please vote to save the cave at Mill Creek Sink and protect our water. No sinkholes over our drink holes.

Thanks,
Sarah Schulz
NSS-CDS Member

Save Our Cave-Say No to Tara

Jason Garcia <jasgar983@gmail.com>

Sat, May 31 at 3:18 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

I am a member of the NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and its water.

Sincerely,

[Quoted text hidden]

Save our Cave

Joshua Palinkas <sparkyscout@gmail.com>
To: <wwelch@cityofalacha.org>
Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Sat, May 31 at 3:18 PM

Dear Mayor & Comissioners,

I am a member of the NSS-CDS, who are owners of the Mill Creek Sink cave. I travel from out of state to dive in the northern Florida area, and I hope you vote to protect our caves. They are a vital and beautiful resource that deserve to be preserved for generations to come.

Very Respectfully,

Josh Palinkas

Mill Creek Sink

Matt <confuted@gmail.com>

Sat, May 31 at 3:17 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Bcc: <floridacaves@gmail.com>

Dear Mayor and Commissioners,

I am strongly against allowing development of the Tara housing projects. Mill Creek Sink is an important conduit into our aquifer and drinking water. Protecting our water is paramount; another housing development is not. A yes vote on this development is a yes vote on no future for our community.

Vote no.

Matt Hansen

Save our cave - Say no to Tara

Roger Malone <rogerdwmalone@gmail.com>

Sat, May 31 at 3:17 PM

To: <wWelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Reject Tara's plan to build over the cave at Mill Creek Sink. It's not safe.

Sincerely,

Roger Malone
NSS-CDS Member

Save Mill Creek

jeff clapp <jlcnuke@gmail.com>

Sat, May 31 at 3:17 PM

To: <wWelch@cityofalachua.org>, <sGreenBrown@cityofalachua.org>, <floridacaves@gmail.com>

To all interested parties,

As a member of the NSS-CDS, I want to strongly encourage you yo not allow development to endanger our fragile cave system that provides so much to the community.

Respectfully,
[Quoted text hidden]

Save our Cave- Say no to Tara!!!!

Lauren Wolff <Lew1027@outlook.com>

Sat, May 31 at 3:17 PM

To: wWelch@cotyofalachua.org <wWelch@cotyofalachua.org>, sgreenbrown@cotyofalachua.org
<sgreenbrown@cotyofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

To the mayor and commissioners,

We have to consider Mother Nature. Vote to save Mill Creek Sink. Please vote to protect the cave and its waterway. I am an NSS-CDS member, owner of the cave at Mill Creek Sink.

Sincerely,
Lauren E. Wolff
NSS-CDS Member

Get Outlook for iOS

Save Our Cave System-Say NO to Tara

Amy Jakobsson <vcuot10@gmail.com>
To: <wwelch@cityofachua.org>, <sgreenbrown@cityofalachua.org>
Cc: <floridacaves@gmail.com>

Sat, May 31 at 3:17 PM

Dear Mayor and Commissioners

I am a member of NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and its water. NO SINK HOLES OVER OUR DRINK HOLES.

Thank you,

Amy Jakobsson
NSS-CDS Member

Save our caves, say no to Tara

E. W. <nukewaste@gmail.com>

Sat, May 31 at 3:17 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor and Commissioners,

No sinkholes over our drink holes. Vote to save the cave at Mill Creek Sink and protect our water.

Sincerely,
Erik Weber
NSS-CDS Member

Save Our Cave - Say No to Tara

Vance Cannon <vance.m.cannon@gmail.com>

Sat, May 31 at 3:17 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear Mayor & Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink. Please vote to protect our cave and its water

Building over the system does not protect it. It is dangerous for our drinking water and the cave.

No sinkholes over our drink holes.

Sincerely,
Vance Cannon
NSS-CDS Member

Save Our Cave - Say No to Tara

Justin Reams <jreams1997@gmail.com>
To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>
Bcc: <floridacaves@gmail.com>

Sat, May 31 at 3:17 PM

Dear Mayor & Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and its water.

Building over a cave system does not protect it. Vote to save Mill Creek Sink.

Reject Tara's plan to build over the cave at Mill Creek Sink. It's not safe.

Planning to build over a cave makes no sense- Vote No on Tara and protect our water.

No sinkholes over our drink holes. Vote to save the cave at Mill Creek Sink and protect our water.

Sincerely,

Justin Reams
NSS-CDS Member

Say NO to Tara, save our caves!!!

Jennifer Dillaman <barrelracer7520@yahoo.com>
To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>
Cc: <floridacaves@gmail.com>

Sat, May 31 at 3:17 PM

Dear Mayor and commissioners,

Vote to save the cave, say no to Tara. It is unsafe and stupid to even consider allowing such a project over our aquifer

Thank you
Jenny Plecher

Sent from my iPhone

Save our Cave!!

Josh Dillaman <jdillaman386551@gmail.com>
To: <wWelch@cityofalachua.org>, <sGreenBrown@cityofalachua.org>
Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Sat, May 31 at 3:17 PM

Dear commissioners and mayor,

Building over a cave system does not protect it. Please vote to save mill creek sink. Stop Tara.

Sincerely,

A very disgruntled NSS CDS member
[Quoted text hidden]

Save Our Cave - Say No to Tara!

Blair Patterson <pattersonblaird@gmail.com>

Sat, May 31 at 3:17 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor and Commissioners,

I'm a member of the NSS, owners of the cave at Mill Creek Sink.

Reject Tara's plan to build over the cave at Mill Creek Sink. Please vote to protect the cave and our water.

[Quoted text hidden]

Mill creek sink

Josh Paskey <paskejos@gmail.com>

Sat, May 31 at 3:17 PM

To: <wWelch@cityofalachua.org>, <sGreenBrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear Mayor & Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink.

Please vote to protect the cave and its water.

Building over a cave system does not protect it. Vote to save Mill Creek Sink.

Reject Tara's plan to build over the cave at Mill Creek Sink. It's not safe.

Planning to build over a cave makes no sense-Vote No on Tara and protect our water.

No sinkholes over our drink holes. Vote to save the cave at Mill Creek Sink and protect our water.

Sincerely,

Josh Paskey

NSS-CDS Member

Reject Tara Plan

Erin Westgate <rilelen@gmail.com>

Sat, May 31 at 3:17 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear Mayor & Commissioners,

I am a member of the NSS-CDS, owners of Mill Creek Sink. This natural resource and water belongs not just to us but to the people of Florida and the city of Aachua. It should not be sold off and ruined for the sake of private profit for a property developer. Tara's plan is not ecologically sound, and has circumvented policies and procedures meant to protect Floridians from this kind of corporate grab. That hurts ALL of us in Florida.

Please vote to protect Florida and Florida water. Say no to Tara.

Sincerely,
Erin Westgate
NSS-CDS Member

Save our caves

Joshua Lange <joshua.lange123@gmail.com>

Sat, May 31 at 3:16 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>, floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor & Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink.

Please vote to protect the cave and its water.

Building over a cave system does not protect it. Vote to save Mill Creek Sink.

Reject Tara's plan to build over the cave at Mill Creek Sink. It's not safe

[Quoted text hidden]

Save our cave- say No to Tara

Bill Piner <bill.piner@gmail.com>
To: <wwelch@cityofalachua.org>, <sgreen@cityofalachua.org>
Cc: <floridacaves@gmail.com>

Sat, May 31 at 3:16 PM

Dear mayor and commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink,

Please vote no to protect the cave and its water.

Building over a cave system does not protect it. Vote to save Mill creek sink.

Reject Tara's plan to build over the cave at Mill Creek Sink. It's not safe.

Planning to build over the cave makes no sense.

Sincerely,

Bill Piner
NSS-CDS MEMBER

Sent from my iPhone

Save our cave - Say No to Tara

Joshua Sisco <jmsisco2015@hotmail.com>

Sat, May 31 at 3:16 PM

To: sGreenbrown@cityofalachua.org <sGreenbrown@cityofalachua.org>, wWelch@Cityofalachua.org
<wWelch@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor & Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and its water.

Building over a cave system does not protect it. Vote to save Mill Creek Sink.

Sincerely,

Joshua Sisco

NSS-CDS Member

Save Milton Creek Sink - Say NO to Tara

Jonathan DEKHTIAR <jonathan@dekhtiar.com>

Sat, May 31 at 3:16 PM

To: <wWelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear Mayor & Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink.

Please vote to protect the cave and its water.

Building over a cave system does not protect it. Vote to save Mill Creek Sink.

Reject Tara's plan to build over the cave at Mill Creek Sink. It's not safe.

Planning to build over a cave makes no sense-Vote No on Tara and protect our water.

No sinkholes over our drink holes. Vote to save the cave at Mill Creek Sink and protect our water.

Sincerely,

Jonathan Dekhtiar

NSS-CDS Member

Save our caves say NO to Tara

Jennifer Dillaman <jdillaman92@gmail.com>

Sat, May 31 at 3:16 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear Mayor and commissioners

I am a member of the NSS, owners of the Mill creek sink. Please vote to protect the cave and its water. Say NO to Tara.

Sincerely
Jennifer Dillaman

Sent from my iPhone

Hands Off Our Caves

Emily Lekas <stripedburrfish@gmail.com>

Sat, May 31 at 3:15 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor and Commissioners,

I am a supporter of NSS CDS, avid SCUBA diver, and recent graduate with a BS in Biology.

I URGE you to consider the environmental repercussions of your proposed action of creating development over Mill Creek Sink. This is a HISTORIC landmark for the cave diving community and a gem in the crown of Florida's natural beauty.

Listen to the people. Stop the development. Protect natural Florida.

Thank you for your time,
-Emily Lekas

Save our Cave - Say NO to TARA

Lindsay Olivieri <olive.lady@gmail.com>
To: <sgreenbrown@cityofalachua.org>, <wwelch@cityofalachua.org>
Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Sat, May 31 at 3:15 PM

Vote to save mill creek!

Save Our Cave - Say No to Tara

Penelope Howe <penelopehowe@gmail.com>

Sat, May 31 at 3:13 PM

To: <wWelch@cityofalachua.org>, <sGreenBrown@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor & Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and its water.

Building over a cave system does not protect it. Vote to save Mill Creek Sink.

Reject Tara's plan to build over the cave at Mill Creek Sink. It's not safe.

Planning to build over a cave makes no sense-Vote No on Tara and protect our water.

No sinkholes over our drink holes. Vote to save the cave at Mill Creek Sink and protect our water.

Sincerely,

Penelope Howe

NSS-CDS Member

Save our Cave

Aron Zhao <aron.c.zhao@gmail.com>

Sat, May 31 at 3:19 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear Mayor and Commissioners,

I am writing to ask you to vote no to development over our unique and fragile cave system at Mill Creek Sink. Thank you.

Regards,

Aron

NSS-CDS Member

Save our Cave

Joe Harszy <jharszy@charter.net>
To: <wwelch@cityofalachua.com>
Cc: <floridacaves@gmail.com>

Sat, May 31 at 3:19 PM

Mayor,
I am a member of the NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and its water.

Sincerely,
~Joe Harszy

Florida caves

Brad Crouse <bradc@diverite.com>

Sat, May 31 at 3:19 PM

To: wwelch@cityofalachua.org <wwelch@cityofalachua.org>, sgreenbrown@cityofalachua.org
<sgreenbrown@cityofalachua.org>, floridacaves@gmail.com <floridacaves@gmail.com>

Dear mayor and commissioners,

I am a member of the NSS, stewards of the cave at Mill Creek. PLEASE vote to protect the cave and its water. Your water.

Sink holes are terrifying.

Thank you for your consideration,
Brad Crouse

Get Outlook for iOS

Save Our Cave - Say No to Tara!

Bobby Ruble <floridahunter07@yahoo.com>

Sat, May 31 at 3:19 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear Mayor & Commissioners,

I'm a member of the NSS-CDS and would like to ask, as part of the ownership of the property, that you vote to save Mill Creek Sink and deny the continued expansion of the Tara development.

Respectfully,

William Ruble
(352) 228-3754

Sent from my iPhone



Our Alachua Water <floridacaves@gmail.com>

Save the cave in Alachua

Victor Blanco <vicblan@gmail.com>

Sat, May 31 at 3:19 PM

To: <sgreenbrown@cityofalachua.org>, <wwelch@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear Commisioners,

We politely request to vote for the conservation of the cave system in Alachua which is in jeopardy due to development.

Víctor Blanco
NSS-CDS Member

Save our cave - say no to Tara

Clayton Taylor <claytont.dev@gmail.com>

Sat, May 31 at 3:19 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Bcc: <floridacaves@gmail.com>

Dear Mayor & Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and its water.

Sincerely,

Clayton Taylor
NSS-CDS Member

Save Alachua/Mill Creek Sink Cave and Say No to TARA

Rich Denmark <richdenmark@gmail.com>

Sat, May 31 at 3:19 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor and commissioner. I am a member of the NSS/CSS, a local business owner, diver, nature lover and conservationist.

15 years ago many citizens and stakeholders, including Wes Skiles, worked to stop a Walmart being built on this fragile environment.

Now we need your help to stop massive development on top of this precious resource to protect our water and keep it clean. This is not a done deal, it was born through back doors, and we need common sense votes to stop senseless development that puts profits ahead of the people.

Housing can be built in many suitable locations that don't threaten and already threaten natural resource!

No sinkholes over our drink holes!

Thank you,
[Quoted text hidden]

Mill Creek sink, say no to Tara

Trixxie <trixxiej@gmail.com>

Sat, May 31 at 3:19 PM

To: <sgreenbrown@cityofalachua.com>, <Floridacaves@gmail.com>, <wwelch@cityofalachua.com>

Dear Mayor & Commissioners,

I am a member of NSS-CDS, owners of Mill Creek Sink. Please vote to protect the cave and its water. Building over a cave system does not protect it. Vote to save Mill Creek sink. Sincerely, Veronica Fallin.

Protect our caves

idivedoyou <idivedoyou@yahoo.com>

Sat, May 31 at 3:20 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: <FloridaCaves@gmail.com>

I am a member of NSS, owners of the cave at Mill Creek Sink.

SAVE MILL CREEK SINK

Reject Tara's plan to build.

Wendy Motta
NSS-CDS Member

Sent from my Calabash IG Desktop

Save our Cave

Mike Webb <mdwebb@ymail.com>
To: <wwelch@cityofalachua.org>
Cc: <floridacaves@gmail.com>

Sat, May 31 at 3:20 PM

Dear Mayor,

Please vote to save Mill Creek Sink. As an NSS-CDS member I am an owner of the cave and land surrounding and I along with 1000 other members are concerned. The housing project near the sink would be an ecological disaster concerning the groundwater in surrounding the cave system.

Please vote against the housing development.

Best regards,
Michael Webb

Sent from Yahoo Mail for iPhone

Save Our Cave! Say "NO" to Tara!

Christine Tamburri <okeepbear@gmail.com>

Sat, May 31 at 3:20 PM

To: <sgreenbrown@cityofalachua.org>, <wwelch@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear Mayor & Commissioner:

As a member of the NSS-CDS, I urge you to say "NO" to Tara! Building over a cave system does not protect it and harms our fragile ecosystem for all future generations. The Floridian Aquifer is the lifeblood of Florida and this matter deserves your upmost attention.

Save our cave!

Sincerely,
Christine Tamburri
NSS-CDS Member

Save our cave-Say No to Tara!

Michael/M2 <michael@menduno.com>

Sat, May 31 at 3:20 PM

To: <wWelch@cityofalachua.org>, <sGreenBrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear Mayors& commissioners,

I am the member of the NSS, owner of the cave at Mill Creek sink. Please vote to protect the cave and its water. Building over a cave system does not protect it. Vote to save Mill Creek and its water!

Thank you!

Sincerely,

Michael

Viable resources Mill Creek

Robert Randy Denniston <scubabobusa@gmail.com>

Sat, May 31 at 3:20 PM

To: <wwelcch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>, <floridacaves@gmail.com>

Please vote to save mill Creek cave system. It is a incredible and unreplaceable resource. Thank you Robert Denniston

Tara development is a bad idea

Rayplace <doug@rayplace.com>

Sat, May 31 at 3:24 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear City of Alachua officials,

Plans to develop land over the fragile Mill Creek Sink karst terrain is a bad idea. It threatens a vital natural resource. Please halt it.

Sincerely,
Douglas Ray

NSS-CDS member
Sent from my cellphone



Save our cave - say no to Tara

Ryan Barnes <ryan021985@gmail.com>

Sat, May 31 at 3:23 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear mayor & commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and its water.

Sincerely,

Ryan Barnes

NSS-CDS Member



Protect our cave from Tara!

Alexa Rust <alexaerust@gmail.com>

Sat, May 31 at 3:23 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear Mayor & Commissioners,

I am a member of NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave system from development above.

Best,
Alexa Rust,
NSS-CDS member

Cave @ Mill Creek Sink

Justin Hess <jshess74@yahoo.com>

Sat, May 31 at 3:23 PM

Reply-To: Justin Hess <jshess74@yahoo.com>

To: wWelch@CityofAlachua.org <wWelch@cityofalachua.org>, sGreenBrown@CityofAlachua.org

<sGreenBrown@cityofalachua.org>

Cc: FloridaCaves@Gmail.com <FloridaCaves@gmail.com>

Dear Mayor & Commissioners,

I am a member of the NSS-CDS, owners of the cave @ Mill Creek Sink.

Please vote to protect the cave & it's water.

Please reject Tara's plan to build over the cave @ Mill Creek Sink. It's not safe.

Sincerely,

Justin S. Hess

NSS-CDS Member

Yahoo Mail: Search, Organize, Conquer

Save our Cave—Say No to Tara

<amysturkey@gmail.com>

Sat, May 31 at 3:22 PM

To: <wWelch@cityofalachua.org>, <sGreenBrown@cityofalachua.org>

Cc: <FloridaCaves@gmail.com>

I have been to Mill Creek sink and photographed it. It is a beautiful area and needs to be saved. Please vote to save Mill Creek Sink and its water. Thank you. —Amy Sturkey
Sent from my iPhone

Mills Creek

Jennifer Banner <jenbanner@hotmail.com>

Sat, May 31 at 3:22 PM

To: wwelch@cityofalachua.org <wwelch@cityofalachua.org>, sgreenbrown@cityofalachua.org
<sgreenbrown@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

15 units per acre?

Reject Tara's plan to build over the cave at Mill Creek Sink.

No sinkholes over our drink holes!

Please vote NO.

Sincerely,
Jennifer Banner
NSS-CDS member

Get Outlook for Android

Save our springs

John <jtfloridaman@gmail.com>

Sat, May 31 at 3:22 PM

To: <Sgreenbrown@cityofalachua.org>, floridacaves@gmail.com <floridacaves@gmail.com>

Greetings,

I am asking you to vote against construction above Mill Creek sick. Don't let contractors greed destroy our natural resources.

Save Our Cave - Say No to Tara

Bruce Kane <bkane1123@gmail.com>

Sat, May 31 at 3:22 PM

To: <wwhelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear Major & Commissioners,

I am a member of NSS-CDS, owners of the cave at Mill Creek Sink. Building over a cave system does not protect. Building over the cave system is not safe.

Please vote to protect - save Mill Creek Sink and protect our water!

Sincerely,

[Quoted text hidden]

No construction over cave

JORGE PEREIRA <pereira1450@gmail.com>

Sat, May 31 at 3:22 PM

To: <wWelch@cityofalachua.org>, <sGreenBrown@cityofalachua.org>

Bcc: <floridacaves@gmail.com>

Hello,

I am a member of the NSS-CDS, and I'm opposed to the the Tara's plan. Honestly it makes no sense building over a cave.

Save our cave say no to tara

Alex <scrrcs77@gmail.com>

Sat, May 31 at 3:22 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Im a member of nsscds owners of the cave at mill creek sink. Building over the cave system does not protect it.
Vote to no on tara!

Save our caves!

Carin Geiman <carin.geiman@gmail.com>

Sat, May 31 at 3:22 PM

To: <wwelch@cityofalachua.com>, <sgreenbrown@cityofalachua.org>

Dear Mayor & Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink.
Please vote to protect the cave and its water.
Building over a cave system does not protect it. Vote to save Mill Creek Sink.
Reject Tara's plan to build over the cave at Mill Creek Sink. It's not safe.
Planning to build over a cave makes no sense-Vote No on Tara and protect our water.
No sinkholes over our drink holes. Vote to save the cave at Mill Creek Sink and protect our water.

Say No to Tara

Sincerely,
Carin Geiman
NSS-CDS Member

Sent from my iPhone

Save our cave - Say no to Tara

Lacy Croft <lacycroft3@gmail.com>

Sat, May 31 at 3:21 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor and Commissioners,

A am a member of NSS, owners of the Mill Creek Sink. Please vote to protect the cave and its water.

Building over a cave system does not protect it.

Reject Tara's plan to build over the cave at Mill Creek Sink. It's not safe.

No sinkholes over our drink holes. Vote to save the cave at Mill Creek Sink and protect our water.

Thank you,

Lacy Croft,
NSS-CDS Member
[Quoted text hidden]

Save our cave - Say no to Tara

dan thepoiriers.net <dan@thepoiriers.net>

Sat, May 31 at 3:21 PM

To: wwelch@cityofalachua.org <wwelch@cityofalachua.org>, sgreenbrown@cityofalachua.org
<sgreenbrown@cityofalachua.org>

Dear Mayor and commissioners,

I am a member of the the National Speleological Society (NSS), owners of the cave at Mill Creek Sink. Our property rights are at risk by allowing Tara to build on and around our cave. This construction will cause considerable damage to the cave and put our water resources at risk.

Please vote to protect the cave and its water by rejecting Tara's plan to build over the cave at Mill Creek Sink.

Sincerely,

Dan Poirier
Member of NSS-CDS

Get Outlook for iOS

Save our cave

John Sustarich <John.Sustarich@outlook.com>

Sat, May 31 at 3:21 PM

To: wwekch@cityofalachua <wwekch@cityofalachua>, sgreenbrown@cityofalachua.org <sgreenbrown@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear mayor,

I am a member of the nss cds, owners of the cave at Mill Creek Sink. Please vote to protect the cave and its water.

[Quoted text hidden]

Save our Cave - Say No to Tara

Justine Tawel <jntawel@gmail.com>

Sat, May 31 at 3:21 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor & Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink. Please vote no to protect the cave and its water.

Sincerely,

Justine Tawel
NSS-CDS Member

Save Our Cave - say no to TARA

James Rice <4jamesrice@gmail.com>

Sat, May 31 at 3:21 PM

To: <wwelch@cityofalachua.org>, <sgreen@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear Mayor & Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink. Building over a cave system is unsafe. Please vote to protect this important resource.

Sincerely,
Dr. James F. Rice
NSS-CDS member

Save our cave

Glenn Wickham <glennwickham14@gmail.com>

Sat, May 31 at 3:20 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityifalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear mayor and commissioners

I am a member of the NSS-CDS, owners of the mill creek sink. Please vote to protect the cave and its water
[Quoted text hidden]

Save Our Cave - Say No to Tara

Luke Alcorn <lalcorn@natca.net>
To: <wWelch@cityofalachua.org>, <sgreenbroen@cityofalachua.org>
Cc: <floridacaves@gmail.com>

Tue, Jun 3 at 9:42 PM

Dear Mayor & Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink.

Please vote to protect the cave and its water.

Building over a cave system does not protect it. Vote to save Mill Creek Sink.

Reject Tara's plan to build over the cave at Mill Creek Sink. It's not safe.

Planning to build over a cave makes no sense-Vote No on Tara and protect our water.

No sinkholes over our drink holes. Vote to save the cave at Mill Creek Sink and protect our water.

Sincerely,

Luke Alcorn
NSS-CDS Member

Save our Cave - Say No to Tara

Gayle Hall <ghall0727@bellsouth.net>

Tue, Jun 17 at 4:37 PM

To: wwelch@cityofalachua.org <wwelch@cityofalachua.org>, commissioners@cityofalachua.org
<commissioners@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater. Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water. Vote NO on Tara.

Thank you for doing the best for the community in the long term. The future is in your hands.

Sincerely,

Gayle Hall

Save Our Cave – Say No to Tara!

Jason Busam <jason.busam@gmail.com>

Sat, Jun 14 at 12:05 PM

To: <wWelch@cityofalachua.org>, <Commissioners@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor & Commissioners,

I am a cave diver from Germany and would love to be able to dive in the Mill Creek Cave in the future. So I ask for helping to protect the creek and the cave system. Please vote to protect the cave and its water.

Sincerely,

Jason Busam

Please Vote for an Investigation

Sami <alachua1972@gmail.com>

Sat, Jun 7 at 10:16 AM

To: <sgreenbrown@cityofalachua.org>

Bcc: <floridacaves@gmail.com>

Dear Commissioner Shirley Green Brown,

We appreciate your efforts to get board approval for an investigation into the planners resigning. Just this past week all three planners who resigned have expressed their willingness to participate in an investigation. I believe this investigation should be in-person if possible for greater understanding of how deep the outside influence has gone into City Hall. Hopefully, the subject of an investigation will come up for vote in the June 9th meeting.

Thank you!

[Quoted text hidden]

Mill Creek Sink development

Michael Kutyna <mkutyna@gmail.com>

Tue, Jun 3 at 8:27 AM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor & Commissioners,

I am writing to request that you vote to reject the Tara development as it likely would affect the water quality of the residents of the City of Alachua as well as the caves leading to the Floridan Aquifer.

Sincerely,
Michael Kutyna
NSS-CDS Member

Save Our Cave-Say No to Tara

Pam Wooten <eanxdvr@hotmail.com>

Sun, Jun 1 at 9:52 PM

To: wWelch@cityofalachua.org <wWelch@cityofalachua.org>, sGreenBrown@cityofalachua.org
<sGreenBrown@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor and Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and its water.

No sink holes over our drink holes. Vote to save the cave at Mill Creek Sink and protect our water. Water is life and We Are Water.

Thank you for your time and vote to save our precious water resource.

Sincerely,

Pamela Wooten
NSS-CDS Member

Get Outlook for iOS

Save Our Cave - Say no to Tara

Lamar Hires <lamar@diverite.com>

Sun, Jun 1 at 8:52 AM

To: wWelch@cityofAlachua.org <wWelch@cityofalachua.org>, sGreenBrown@cityofAlachua.org
<sGreenBrown@cityofalachua.org>

Cc: FloridaCaves@gmail.com <FloridaCaves@gmail.com>

Dear Mayor and Commissioners,

I am a Lifetime member of the NSS, owners of the cave at Mill Creek Sink.

Please vote no to protect the cave, the delicate ecosystem and its water.

Sincerely,

Lamar Hires

NSS-CDS member LF 23991

Fwd: Say No to Tara - Save Our Cave

Lee Waggener <leewaggener@gmail.com>
To: <FloridaCaves@gmail.com>

Sat, May 31 at 10:09 PM

Sent from my iPhone

Begin forwarded message:

From: Lee Waggener <leewaggener@gmail.com>
Date: May 31, 2025 at 21:36:17 EDT
To: aGreenBrown@cityofalachua.org
Cc: floridacaves@gmail.cim
Subject: Say No to Tara - Save Our Cave

Dear mayor and commissioners ,
I am a long time member of the NSS/CDS, owners or the cave at Mill Creek Sink.
Building over a cave does not protect it or your water supply! It's not safe for anyone.
Please vote to save the cave at Mill Creek Sink. Vote NO on Tara and protect our water.
Sincerely,
Lee Ann Waggener
NSS/ CDS member
Sent from my iPhone

Say No To Tara - Save Our Cave

Lee Waggener <leewaggener@gmail.com>

Sat, May 31, 2025 at 9:32 PM

To: wWelch@cityofalachua.org

Cc: FloridaCaves@gmail.com

Dear mayor and commissioners ,

I am a long time member of the NSS/CDS, owners or the cave at Mill Creek Sink.

Building over a cave does not protect it or your water supply! It's not safe for anyone.

Please vote to save the cave at Mill Creek Sink. Vote NO on Tara and protect our water.

Sincerely,

Lee Ann Waggener

NSS-CDS member

Sent from my iPhone

Save our cave say no to tara

Jessica Walker <missxwalker1211@yahoo.com>

Sat, May 31 at 9:13 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Dear Mayor & Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink.

Please vote to protect the cave and its water.

Building over a cave system does not protect it. Vote to save Mill Creek Sink.

Reject Tara's plan to build over the cave at Mill Creek Sink. It's not safe.

Planning to build over a cave makes no sense-Vote No on Tara and protect our water.

No sinkholes over our drink holes. Vote to save the cave at Mill Creek Sink and protect our water.

Jessica Lange

Sent from Yahoo Mail for iPhone

Save our Cave -- Say No to Tara

Douglas Ebersole <dgebersole@gmail.com>
To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>
Cc: <floridacaves@gmail.com>

Sat, May 31 at 9:00 PM

Dear Mayor and Commissioners:

I am a member of the NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and its water.

Douglas Ebersole, MD
[Quoted text hidden]

Save our Caves

Danielle Pierone <dpierone3@gmail.com>
To: <Wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>
Bcc: <floridacaves@gmail.com>

Sat, May 31 at 7:55 PM

Dear Mayor and Commissioners

I am a member of the NSS CDS of the cave system at Mill Creek Sink!

Please vote to protect the cave and its water.
No sinkholes over our drink holes, vote to save mill creek!

All the Best,
Dani Pierone
NSS CDS Member 2025

Save Our Caves

Joshua Palinkas <sparkyscout@gmail.com>
To: <wwelch@cityofalachua.org>
Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Sat, May 31 at 7:12 PM

Dear Mayor & Comissioners,

I am a member of the NSS-CDS, who are owners of the Mill Creek Sink cave. I travel from out of state to dive in the northern Florida area, and I hope you vote to protect our caves. They are a vital and beautiful resource that deserve to be preserved for generations to come.

Very Respectfully,

Josh Palinkas

PLEASE !! Vote to save the cave at Mill Creek Sink

Matthew Myers <matthewbennettmyers@gmail.com>
To: <wwelch@cityofalachua.org>, <sgeeenbrown@cityofalachua.org>
Cc: <floridacaves@gmail.com>

Sat, May 31 at 5:24 PM

Dear Mayor and Commissioners,

As a member of the NSS-CDS, I urge you to conserve and protect clean water. Please vote to save the cave at Mill Creek Sink and protect our water. No sinkholes over our drink holes.

Thanks,
Matt Myers
NSS-CDS Member

Save cave – – say no to Tara

<amysturkey@gmail.com>

Sat, May 31 at 4:57 PM

To: <wWelch@cityofalachua.org>, <sGreenBrown@cityofalachua.org>

Cc: <FloridaCaves@gmail.com>

I have personally photographed Millcreek sink. Understand it is at risk of being built over again. This is a beautiful sink and should be protected and the land around it as well. Please vote to protect the cave and its water.

—Amy

Sent from my iPhone

Save our cave - say no to Tara

Michael Evans <kinaco@hotmail.com>

Sat, May 31, 2025 at 4:40 PM

To: "wwelch@cityofalachua.org" <wwelch@cityofalachua.org>, "sgreenbrown@cityofalachura.com" <sgreenbrown@cityofalachura.com>

Cc: "floridacaves@gmail.com" <floridacaves@gmail.com>

Dear Mayor & Commissioner

I am a member of NSS

I am rejecting Tara's plan to build over the cave at Mills Creek Sink. It is not safe.

Get Outlook for iOS

Save our Cave - Say NO to Tara

Billie Thompson <billiejthompson14@gmail.com>

Sat, May 31 at 4:39 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear Mayor & Commissioners,

Building over a cave system does not protect it. Vote to save Mill Creek Sink.

Sincerely,

Billie Thompson
NSS-CDS Member

Save our cave say no to tara

Dylan Cook <dylancook950@gmail.com>

Sat, May 31 at 4:36 PM

To: <Wwelch@cityofalachua.org>, <Sgreenbrown@cityofalachua.org>

Cc: <Floridacaves@gmail.com>

Dear mayor and commissioners,

Please vote to save alachua sink aka mill creek sink. Do not build over our cave. Reject Tara's plan to build over the cave at Mill Creek Sink.

Thank you for your time,

Dylan Cook

Subject: Save Our Cave – Say No to Tara

To: wWelch@CityofAlachua.org
sGreenBrown@CityofAlachua.org

CC: FloridaCaves@Gmail.com

Dear Mayor & Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink.
Please vote to protect the cave and its water.

Building over a cave system does not protect it. Vote to save Mill
Creek Sink.

Reject Tara's plan to build over the cave at Mill Creek Sink. It's
not safe.

Planning to build over a cave makes no sense—Vote No on Tara
and protect our water.

No sinkholes over our drink holes. Vote to save the cave at Mill
Creek Sink and protect our water.

Sincerely,



(Your Name) Ken Anderson RW
NSS-CDS Member

Save Our Cave - Say no to Tara

Garth McClune <garth.mcclune@gmail.com>
To: <wWelch@cityofalachua.org>, <sGreenbrown@cityofalachua.org>
Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Sat, May 31 at 3:17 PM

Dear Mayor and Commissioner,

I am a member of the NSS, owners of the cave at Mill Creek Sink.
Please vote to protect the cave and its water.

Sincerely,

- Garth D. McClune
NSS-CDS Member

Save Our Cave - Say No to Tara

Shannon Perry <shancore@gmail.com>

Sat, May 31 at 3:57 PM

To: <wwelvh@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor & Commissioner,

I am a member of the NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and its water. Building over a cave system does not protect it. Vote no!!

Sincerely,
Shannon Perry
NSS-CDS Member

-- Shannon Perry shancore@gmail.com

Save Out Cave - Say No to Tara

LARRY BAILEY <shema@flash.net>

Sat, May 31 at 3:42 PM

Reply-To: LARRY BAILEY <shema@flash.net>

To: wWelch@CityofAlachua.org <wWelch@cityofalachua.org>

Cc: FloridaCaves@Gmail.com <FloridaCaves@gmail.com>, sGreenBrown@CityofAlachua.org <sGreenBrown@cityofalachua.org>



Dear Mayor and Commissioners,

I am a member of the National Speleological Society, owners of the cave at Mill Creek Sink. Please vote to protect the cave.

and it's waters.

Reject Tara's plan to build over the cave at Mill Creek Sink. It's not safe.

Building over the cave will not protect the cave. To the contrary surface containments will eventually leak into the cave environment and disrupt the ecosystem.

Vote no No on Tara

Sincerely,

Larry Bailey

Nss-CDS Member

[Sent from AT&T Yahoo Mail on Android](#)

Save Alachua Sink Cave

Ethan Anderson <ethanjanderson@yahoo.com>

Sat, May 31 at 3:39 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Please vote to save the Mill Creek (Alachua) Sink from overdevelopment. Too many homes will destroy this precious resource.

A concerned NSS-CDS member.

[Quoted text hidden]

Save our cave - Say no to Tara

Joe Bosquez <jos.j.bosquez@gmail.com>

Sat, May 31 at 3:26 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Dear Mayor & Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink.

Building over a cave system does not protect it. Vote to save Mill Creek Sink.

Sincerely,

Joseph J. Bosquez

NSSCDS Member,

Owner, BOSQUEZ Tech Diving
The Scientific Diving Group

TDI Cave/Tech/CCR Instructor
IANTD Cave/Tech/CCR Instructor
Phone/WhatsApp: +1-832-620-5969

www.scientificdivinggroup.com
www.bosqueztechdiving.com

Save our Cave

Comcast <sruetz@comcast.net>

Sat, May 31, 2025 at 3:27 PM

To: wWelch@cityofalachua.org, sGreenBrown@cityofalachua.com

Cc: FloridaCaves@gmail.com

Dear Mayor & Commisioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink.

Building over the cave system does not protect it.

Sincerely

Sidney Ruetz

Sent from my iPhone

Save our cave -Say no to Tara

Steve Dalcher <dalcherllc@gmail.com>

Sat, May 31 at 3:33 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

I am a member of the NSS-CDS owners and managers of the mill creek sink . Please vote to protect our cave environment and the water it contains!

Steve Dalcher
BOD member for NSS-CDS

Sent from my iPhone

Save Mill Creek Sink

zachary Heylmun <zheylmun@gmail.com>

Sat, May 31 at 3:32 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Dear Mayor and Commissioners,

As a member of NSS with an interest in protecting the springs, it doesn't make sense to develop on top of sensitive cave systems. Please vote to protect the cave system and the water it supplies to your community.

Zach Heylmun

Save Our Cave-Say No to Tara

Amy Jakobsson <vcuot10@gmail.com>
To: <wwelch@cityofalachua.org>
Cc: <floridacaves@gmail.com>

Sat, May 31 at 3:28 PM

Dear Mayor and Commissioners

I am a member of NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and its water. NO SINK HOLES OVER OUR DRINK HOLES.

Thank you,

Amy Jakobsson
NSS-CDS Member
Sent from my iPhone

Save our cave - say no to Tara

nestor sandoval <ne.sandoval@gmail.com>

Sat, May 31 at 3:27 PM

To: <sgreenbrown@cityofalachua.org>, <wwelche@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor and Commissioners,

I am member of the NSS, owner or the cave at Milk Creek Sink.

Please vote to protect the cave and its water.

Build over a cave system does not protect it. Vote to save Mill Creek Sink.

Reject Tara's plan to built over the cave at Mill Creek Sink.it's not safe.

Planning to build over a cave makes no sense-Vote no on Tara and protect our water

No sinkholes over our drink holes. Vote to save the cave at Mill Creek Sink and protect our water.

Sincerely,

Nestor Sandoval.

NSS-CDS Member.

Nesp

Please Protect Our Water Resources

Tenzin Smith <niznet777@gmail.com>
To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>
Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Sat, May 31 at 3:27 PM

Dear Mayor and Commissioners,

I'm writing this brief email to express my concern over a proposed development near and above Mill Creek Sink. This is an incredibly fragile and unique cave with great aesthetic beauty and implications for everyone that depends on the aquifer for clean water.

As a member of the National Speleological Society, I am a part-owner of this cave and care deeply about its future. Please, vote to save Mill Creek Sink and say no to Tara.

No sinkholes over our drink holes! Protect our caves and our water!!

Sincerely,
[Quoted text hidden]

Save Our Cave-Say No to Tara

Michelle Forman <mhforman57@gmail.com>

Sat, May 31 at 3:27 PM

To: <wWelch@cityofalachua.org>, <sGreenBrown@cityofalachua.org>, <FloridaCaves@gmail.com>

Dear Mayor & Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and its water.

Sincerely,
Michelle Forman
NSS-CDS Member

Save our cave - say no to Tara

<esustarich@gmail.com>

Sat, May 31 at 3:27 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear Mayor and Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and its water.

Reject Tara's plan to build over the cave at Mill Creek Sink. It's not safe.

Sincerely,

Emily Sustarich
NSS-CDS Member

Save Our Cave — Say No to Tara

Shane Paradis <shane.paradis@gmail.com>

Sat, May 31 at 3:26 PM

To: <wWelch@cityofalachua.org>, <sGreenBrown@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor and Commissioners,

I am a member of the NSS (National Speleological Society), owners of the Mill Creek Sink cave. Please vote to protect the cave and its water ...the water we all drink and consume. The cost on our ecosystem's health is not worth the money in the pockets of development.

[Quoted text hidden]

Save our cave

trainbull <trainbull@yahoo.com>
To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>
Cc: <floridacaves@gmail.com>

Sat, May 31 at 3:26 PM

Dear Mayor & commissioners

I am a member of the NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and it's water.

Building over a cave system does not protect it. Florida is known for its many aquifers and many are yet undiscovered. We sometimes find these caves only when a sink hole opens up and swallow a house or car. This is a known system so building over it is a terrible idea.

The Florida aquifer system is also the source of our drinking water. Why risk more contamination of this system when it is easily avoidable.

Thank you for your time and vote regarding this matter.

Sincerely,

Scott Johnson
NSS-CDS lifetime member.

Save our Caves

Scott Hurley <shurley_fl@hotmail.com>

Sat, May 31 at 3:25 PM

To: wwelch@cityofalachua.org <wwelch@cityofalachua.org>, jfletcher@cityofalachua.org <jfletcher@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

City of Alachua,
Save our Cave, no drink holes over our sinkholes

Cheers,

Scott Hurley

NSS CDS member

62702

Get Outlook for Android

Save our Cave Say No to Tara

Gene Page <wepiv@hotmail.com>

Sat, May 31 at 3:25 PM

To: wwelch@cityofalachua.org <wwelch@cityofalachua.org>, sgreenbrown@cityofalachua.org
<sgreenbrown@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

I am a native Floridian and underwater photographer, cave diver and NSS-CDS member for over twenty years. Obviously this planned Tara project is going to pollute the water at our beloved Mill Creek Sink and can not be allowed — ever. Not to mention the additional negative community pollution this would bring. Please vote to save the cave and our precious needed water.

Sincerely,

William Eugene Page IV

Sent from my damn iPhone

Save our cave say no to Tara

Kyle Martin <kmmartin86@msn.com>

Sat, May 31 at 3:25 PM

To: wwelch@cityofalachua.org <wwelch@cityofalachua.org>, sgreenbrown@cotyofalachua.org
<sgreenbrown@cotyofalachua.org>

Dear Mayor & Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink.

Please vote to protect the cave and its water.

Building over a cave system does not protect it. Vote to save Mill Creek Sink.

Reject Tara's plan to build over the cave at Mill Creek Sink. It's not safe.

Planning to build over a cave makes no sense-Vote No on Tara and protect our water.

No sinkholes over our drink holes. Vote to save the cave at Mill Creek Sink and protect our water.

Sincerely,

Kyle Martin

NSS-CDS Member

Protect our cave!

Peter Ledochowitsch <peter@canaery.com>

Sat, May 31 at 3:21 PM

To: <wwelch@cityofalachua.org>, <sgeenbrown@cityofalacha.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor & Commissioners,

I am both a member of the NSS and a business owner in the City of Alachua. Please make sure to vote **against** any development over/near Alachua sink (Millcreek Sink). Say "No" to Tara's plans of endangering our aquifer.

Best,

Dr. Peter Ledochowitsch

Save mill creek sink

Dallas S. Simpson <dallas.s.simpson@gmail.com>

Sat, May 31 at 3:25 PM

To: <sgreenbrown@cityofalachua.org>, <wwelch@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear mayor and commissioners-

I am a member of the NSS, owners of the Mill Creek Sink. Vote no on Tara.

Please vote to protect the cave and its water.

-Dallas
NSS member
NSS-CDS member

Save Our Cave - Say No to Tara

Eduardo Teixeira de Macedo <eduardoteixeirademacedo@gmail.com>

Sat, May 31 at 3:24 PM

To: <Wwelch@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor & Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sin Please vote to protect the cave and its water.

Building over a cave system does not protect it. Vote to save Mill Creek Sink.

Reject Tara's plan to build over the cave at Mill Creek Sink. It's not safe.

Planning to build over a cave makes no sense-Vote No on Tara and protect our water.

No sinkholes over our drink holes. Vote to save the cave at Mill Creek Sink and protect our water.

Sincerely,

Eduardo Macedo
[Quoted text hidden]

Save our cave.

Matt Coultas <mattcoul77@gmail.com>

Sat, May 31 at 3:24 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

I am a member of the NSSCDS. Building over our or any cave is a terrible idea and make no sense to risk the water and environment. Vote NO on Tara.

Save our cave - Say no to Tara

Cindy Myers <iidarkravenll@gmail.com>

Sat, May 31 at 3:24 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear Mayor and Commissioner,

Reject Tara's plan to build over the cave at Mill Creek Sink. It's not safe.

Sincerely,

Cindy Myers
NSS-CDS Member

Sent from my iPhone

Save Our Cave - Say No to Tara

charles walker <charles.walker0984@gmail.com>
To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>
Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Sat, May 31 at 3:24 PM

Dear Mayor & Commissioners

I am a member of the NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and its water.
[Quoted text hidden]

Save Our Cave-Say No To Tara

dleechappell (null) <dleechappell@aol.com>
To: <wWelch@cityofalachua.org>, <sGreen@cityofalachua.org>
Cc: <FloridaCaves@gmail.com>

Sat, May 31 at 3:19 PM

No sinkholes over our drink holes. Vote NO on Tara to protect our water at the Mill Creek Sink system.

Sincerely,

Doug Chappell
NSS-CDS Member
Sent from my iPhone

Save or cave-Say NO to Tara

Raymond Marciano <rayatdepth@gmail.com>
To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>
Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Sat, May 31 at 3:19 PM

Dear Mayor and Commissioners,

I am a member of the National Speological Society, Owners of the cave at Mill Creek Sink. Building a housing development over a known underwater cave system is senseless: it further endangers our already stressed aquifer. This action also endangers future homeowners' investment and their personal well being. Please consider carefully how this will impact the community, the environment, and our beautiful state's natural resources.

Sincerely,
Raymond Marciano
NSS-CDS Member

Save our Cave- Say NO to Tara

Corey Witt <Corey@scubatechie.com>

Sat, May 31 at 3:19 PM

To: wwelch@cityofalachua.org <wwelch@cityofalachua.org>, sgreenbrown@cityofalachua.org
<sgreenbrown@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor and commissioners,

I'm a member of the NSS, owners of the cave at Mill Creek Sink. Please vote to protect our cave and its water. The idea of building a subdivision over this Karst area is absolutely absurd! I need your help to step up and protect this natural resource as is your responsibility. Thanks in advance for doing the right thing.

Swim Slow and breathe easy...

Regards,

Corey Witt
Head of Operations
corey@scubatechie.com
SDI/ TDI/ FRT Instructor: 39262
Cell: (803)-260-1917
Shop: (850)-391-0111

#DiveAsIf

www.scubatechie.com*****NOTE : This email has been scanned by a Barracuda Essentials Email Security Server for both viruses and spam.

Save our Cave - say no to Tara

Sean McCarthy <mccarthyequine@gmail.com>
To: <wwelch@cityofalachua.org>
Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Sat, May 31 at 3:19 PM

Dear Mayor and Commissioners,

I am a member of NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and it's water.

Thank you, Sean McCarthy
NSS-CDS Member

Save Our Cave - Say No to Tara

Peter Kibler <pgkibler@gmail.com>

Sat, May 31 at 3:18 PM

To: <wwelch@cityofalachua.com>, <sgreenbrown@cityofalachua.com>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor and Commissioners,

My name is Peter Kibler and I am a member of the NSS-CDS. The Tara development poses a significant risk to our wonderful and unique Mill Creek System. If we fail to protect it now, we won't get a second chance.

Vote no on Tara and protect our water.

[Quoted text hidden]

Mill Creek Sink

Eli Romine <eli@diverite.com>

Sat, May 31 at 3:18 PM

To: wwelch@cityofalachua.org <wwelch@cityofalachua.org>, sgreenbrown@cityofalachua.org
<sgreenbrown@cityofalachua.org>

Cc: FloridaCaves@gmail.com <FloridaCaves@gmail.com>

I'm an NSS-CDS member that is concerned about the development over a cave that we own in the City of Alachua. The Tara Forest development will damage this cave and in turn the drinking water in the city. We would appreciate any pushback to stop this development from happening.

Eli Romine

www.diverite.com[386.752.1087](tel:386.752.1087)

Equipment for Serious Divers

Save our Cave, say no to TARA

kyle cooper <kylec3085@gmail.com>

Sat, May 31 at 3:18 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor and Commissioners,

I'm a member of NSS-CDS. Please vote no to the TARA development over Mill Creek Sink.

Best Regards,
Kyle Cooper

Save Our Cave No on Tara

Bruce Amigos <Bruce@amigosdivecenter.com>

Sat, May 31 at 3:18 PM

To: wwelch@cityofalachua.org <wwelch@cityofalachua.org>, sgreenbrown@cityofalachua.org
<sgreenbrown@cityofalachua.org>

Cc: FloridaCaves@Gmail.com <FloridaCaves@gmail.com>

I strongly object to any development near or on Mill Creek Sink as a member of the NSS CDS.

Get Outlook for Android

Say No to Tara

Samantha Johnson <samantha.johnson1@yahoo.com>

Sat, May 31 at 3:18 PM

To: <wWelch@cityofalachua.org>, <sGreenBrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear Mayor & Commissioners,

I am a member of the NSS, owners of the cave at Mill Creek Sink.

Please vote to protect the cave and its water.

Building over a cave system does not protect it. Vote to save Mill Creek Sink.

Reject Tara's plan to build over the cave at Mill Creek Sink. It's not safe.

Planning to build over a cave makes no sense-Vote No on Tara and protect our water.

No sinkholes over our drink holes. Vote to save the cave at Mill Creek Sink and protect our water.

Sincerely,

Sam Johnson

NSS-CDS Member

Mill Creek Sink

Marcos Rosado <ironkid044@gmail.com>

Sat, May 31 at 3:18 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofcityalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor,

I'm a member of NSS/CDS, owners of the cave at Mill Creek Sink. Please, please, vote to protect the cave system.

V/r

[Quoted text hidden]

(no subject)

Anders Jakobsson <ajakobsson20@gmail.com>

Sat, May 31 at 3:18 PM

To: <wWelch@cityofalachua.org>, <sGreenBrown@cityofalachua.org>

Cc: floridacaves@gmail.com <floridacaves@gmail.com>

Dear Mayor &Commissioners,

I am a member of NSS, owner of the cave at Mill Creek Sink. Please vote to protect the cave and it's water.

Sincerely,

[Quoted text hidden]

Save Mill Creek Sink!

Chip Bryars <muletrainfarms@gmail.com>

Sat, May 31 at 3:18 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear Mayor and Commissioners,

I am a member of the community and am writing to express my concern regarding the plan to develop the property above the karst system known as Mill Creek Sink. Please, protect this valuable and unique feature. There's nowhere else like it in the world. Please, reject Tara's plan to build over the cave at Mill Creek Sink

Sincerely,
Chip Bryars
NSS-CDS Member

Sent from my iPhone

Save our cave - say no to Tara

Veronica Lockamy <veronicalockamy@gmail.com>

Sat, May 31 at 3:18 PM

To: <wwelch@cityofalachua.org>, <sgreenbrown@cityofalachua.org>

Cc: <floridacaves@gmail.com>

Dear Mayor & commissioners,

Please reject Tara's plan to build over the cave at Mill Creek Sink. Its not a safe area for construction, and the construction won't protect the cave system or our waters, anyhow.

Vote to save Mill Creek.

Sincerely,

Veronica Lockamy,

NSS-CDS member

Mill Creek Sink

ANDY NORRIS <Stephenanorris84@outlook.com>

Sat, May 31 at 3:18 PM

To: wwelch@cityofalachua.org <wwelch@cityofalachua.org>, sgreenbrown@cityofalachua.org

<sgreenbrown@cityofalachua.org>

Cc: Floridacaves@gmail.com <Floridacaves@gmail.com>

Dear Mayor and Commissioners,

Please reject Tara's plan to build over the cave at Mill Creek Sink. It's not safe.

Sincerely,

Andy Norris

Get Outlook for iOS

Protect our Cave -NO TO TARA DEVELOPMENT

1 message

BARBARA DWYER <montereydivingwoman@gmail.com>

Mon, Jun 23, 2025 at 9:07 PM

To: "Commissioners@cityofalachua.org" <Commissioners@cityofalachua.org>

Dear Alachua Commissioners:

As a longtime cave diver and visitor to Alachua County, I'm asking you to protect the Mill Creek Sink cave, which is one of the most pristine and fragile in the area. Constructing 1100 additional units on top of a fragile limestone infrastructure is ill advised. Most importantly, it threatens the ecosystem and Florida's drinking water. For prospective homeowners, there could be no guarantee against sinkholes and property damage.



Florida sinkhole claims five more homes. Algae chokes the basin at Peacock Springs.
[New York Times, July 14, 2017.](#) Courtesy of Florida Springs Institute (John Moran, photographer). [Underwater Speleology, Vol 51 No 2, 2024.](#)

I have been diving in the local caves since 1999. Over the years I've witnessed once-clear water turn turbid and have seen once-healthy river plants replaced with algae. These changes are mainly due to agricultural pollution, overdevelopment, and massive water extraction by Coca Cola and other businesses. Members of the Cave Diving Section-National Speleological Society (NSS-CDS) have worked to protect Mill Creek and other springs for decades. Wes Skiles, creator of [Amazing Caves: The Water's Journey](#), was my friend. Wes dedicated his life's work to protecting the springs. The kids whom you mentor have seen his films in school. Tell them that you're committed to protecting Florida's fresh water, without which nothing can live.

Please consider your area's economy. Florida's springs are its lifeblood. Yes, there is money to be made from construction—but who will want to visit when the springs turn brown and eventually dry up? Consider what has happened to White Springs, once Florida's premier attraction, which dried up in the 1990s.



The abandoned bath house at White Sulphur Springs, FL. [Atlas Obscura](#).

Please heed the words of those of us who monitor the aquifer from inside. Please do the right thing and stop the additional construction.

Respectfully,

Barbara J Dwyer
San Francisco, CA
415.420.1126

Life Member, NSS-CDS

Carson J. Crockett

From: Faith Collins <faithc10@gmail.com>
Sent: Monday, November 10, 2025 1:35 PM
To: Planning Division
Subject: Mill Sink

Hi Board members,

As a city of Alachua resident, I have major concerns about the potential impact from development on and near Mill Sink.

“I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer.”

kindly,
Faith Collins

Carson J. Crockett

From: Daniel Riordan Araujo <dannyr@gue.com>
Sent: Monday, November 10, 2025 1:07 PM
To: Planning Division
Cc: ouralachuawater@gmail.com
Subject: Tara April Special Exception Permit

Dear Planning and Zoning Board:

I would like you to consider denying the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer. Granting the permit will create irreparable damage to the environment and the resources from the community.

Thank you for your consideration in this matter,

Daniel Riordan Araujo
Global Underwater Explorers www.gue.com
GUE Instructor, Trainer and Evaluator
Training Council Chairman
WhatsApp +52 (984) 80 79 210

Carson J. Crockett

From: Jon Kieren <jon@kierentechnical.com>
Sent: Monday, November 10, 2025 10:40 AM
To: Planning Division
Subject: Comment – Tara April 11/18

Dear Planning and Zoning Board,

I'm writing to ask you to deny the Tara April Special Exception Permit. This property sits in a sensitive area connected to the Mill Creek Cavern and Cave System, which is vital to our aquifer and drinking water.

Jon Kieren

Owner, Kieren Technical
GUE Cave 2/Fundamentals Instructor
Phone/WhatsApp: +1 386-590-1794
www.KierenTechnical.com

Carson J. Crockett

From: Marcy Davis <marcyd1234@yahoo.com>
Sent: Monday, November 10, 2025 11:54 AM
To: Planning Division
Cc: ouralachuawater@gmail.com
Subject: Comment - Tara April 11/18

Good morning, City of Alachua Planning and Zoning Board,

I urge you, the Planning and Zoning Board, to deny the Tara April Special Exception Permit. This is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer. We are relying on you to help protect the underground waterways that feed the Floridan Aquifer, our source of drinking water. Pollution and runoff here can flow directly into our wells, springs, and kitchen sinks.

Please stand up for the aquifers and our water safety by saying no to this permit.

Thank you,
Marcy

Carson J. Crockett

From: SSJ SierraClub <ssjsierra@gmail.com>
Sent: Monday, November 10, 2025 11:51 AM
To: Planning Division
Cc: City Commissioners
Subject: Public Comment – Tara April Special Exception Permit

Dear Members of the Planning & Zoning Board,

On behalf of the **Sierra Club Suwannee–St. Johns Group**, representing over 2,000 members in North Central Florida, we submit this comment regarding the **Tara April Special Exception Permit** scheduled for consideration on **November 18, 2025**.

We urge the Board to **withhold approval** of this permit and instead require the **Tara April, Tara West, and Tara Phoenicia developments to be evaluated together as a single, cumulative proposal**. Doing so would allow for a transparent, comprehensive review of the environmental, hydrological, and infrastructure impacts that these interconnected projects pose to **Mill Creek, Mill Creek Sink, and the Floridan Aquifer**—our region’s sole source of drinking water.

Duty to Protect the Greater Public Interest

The City of Alachua’s Planning & Zoning Board holds a profound responsibility as the gatekeeper of public trust. Your decisions on development near the Mill Creek Cave System will have **long-term consequences for the health, safety, and welfare of the public**—not only within city limits, but across northern Alachua County.

This region’s karst landscape is unique and fragile. The Mill Creek system is directly connected through underground conduits to **Hornsby and Treehouse Springs**, which in turn flow into the **Santa Fe River**. Contaminants entering this system do not remain local; they travel through the aquifer that supplies both municipal and private wells throughout the area. Once polluted, these waters **cannot be restored** through any feasible engineering solution.

A Better Path Forward: Bundle and Evaluate

The three Tara parcels—**April, Forest West, and Phoenicia**—represent a contiguous block of planned development under related ownership, with shared stormwater systems, road networks, and eventual build-out goals. Considering these applications separately masks their true cumulative impact.

By **bundling** the projects for review, the City can:

- Ensure a **complete environmental impact analysis** consistent with the intent of comprehensive planning and the Florida Growth Management Act;
- Address stormwater, traffic, and aquifer recharge issues holistically; and

- Reduce the City’s exposure to future legal and regulatory challenges based on fragmented or incomplete findings.

This approach offers the Board a clear procedural path that prioritizes responsible governance and fulfills your duty to protect the **greater public interest**.

Our Request

We respectfully request that the Planning & Zoning Board:

1. **Defer or deny** the Tara April Special Exception Permit pending a combined review of all related Tara developments; and
2. Direct staff to prepare a **cumulative impact assessment** that includes the hydrologic connections to Mill Creek Sink and the Floridan Aquifer.

By taking this route, the City can demonstrate leadership, prudence, and respect for both scientific evidence and public concern.

Thank you for your attention and for your service to the community. The Sierra Club Suwannee–St. Johns Group stands ready to assist and provide further technical or scientific references regarding the karst hydrology and aquifer sensitivity of this region.

Sincerely,

Sierra Club Suwannee–St. Johns Group Executive Committee

Carson J. Crockett

From: Sarah Strohm <sarahstrohm93@gmail.com>
Sent: Monday, November 10, 2025 10:36 AM
To: Planning Division
Subject: Comment - Tara April 11/18

Deny Tara April Special Exception Permit

I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer.

Did you know that the geography of North Florida is globally unique? We have the largest concentration of first magnitude springs in the world. Your approval would mean adding industrial runoff to the same aquifer that supplies the crystal clear blue water to nearby springs. That industry has played a significant role in your local economy as well as the local economies of other small North Florida towns, drawing revenue from global diving tourism, local Florida families, and football game weekenders galore. Do not put that at risk.

Additionally, one of the core duties of the role you all currently hold is to serve the wellbeing of the citizens of your district. Do not put your public water supply at risk. The least you could do is not invite contamination. Do not approve this development on top of the Mill Creek Sink.

I'm from Hastings in St Johns County. I vividly remember the sink hole that swallowed a mini van in the parking lot of the Ponce de Leon Mall in my childhood. Putting retail space in this geographic area is irresponsible. Karst topography is very susceptible to sink holes. Mill Creek Sink is not only vulnerable to pollutant contamination by simply paving over it and inviting lot runoff, but you are also one catastrophic event away from this being the worst decision of your life.

Thank you in advance for making the right decision in denying the Tara April Special Exception Permit,
Sarah Strohminger

Carson J. Crockett

From: James Scott <jimbo5208@gmail.com>
Sent: Monday, November 10, 2025 10:07 AM
To: Planning Division
Cc: ouralachuawater@gmail.com
Subject: Comment – Tara April SEP for 11/18 P&Z

Dear Board Members,

The Tara April Special Exception Permit application is objectively asking that the board favor the profitability of the applicant by creating a collective liability for the citizens of Alachua County. Plain and simple.

I urge the Planning and Zoning Board to deny the Tara April SEP because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer.

Respectfully,

James Scott
Alachua County Resident for 67 years

Carson J. Crockett

From: RYAN WORTHINGTON <ryanworthington1@aol.com>
Sent: Monday, November 10, 2025 9:23 AM
To: Planning Division
Subject: Comment - Tara April for 11/18

Please deny the Tara April Special Exception Permit, due to the proximity to the Mill Creek Cave system the development would risk water quality to the local area. The development should be built in another area that does not present the potential to harm the surrounding community and away from such an ecological sensitive geological feature.

Again, please deny the permit. Thank you.

Ryan Worthington

Carson J. Crockett

From: Noah Weller <nweller77@gmail.com>
Sent: Monday, November 10, 2025 9:09 AM
To: Planning Division
Cc: ouralachuawater@gmail.com
Subject: Comment – Tara April 11/18

Dear Planning and Zoning Board,

I'm writing to ask you to deny the Tara April Special Exception Permit. This property sits in a sensitive area connected to the Mill Creek Cavern and Cave System, which is vital to our aquifer and drinking water.

I've seen how fragile this system is, and I'm deeply concerned that development here will pollute the groundwater and increase the risk of sinkholes. Please help protect the clean water that our community depends on.

Sincerely,
Noah Weller
Alachua County Resident

Carson J. Crockett

From: james brown <jpbestr@gmail.com>
Sent: Monday, November 10, 2025 9:00 AM
To: Planning Division
Subject: Protect Mill Creek Sink

I urge the City of Alachua Planning & Zoning Board to respectfully deny the Tara April Special Exception Permit because this, as an aside, (as much as the rest of rural Florida), is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water, our way of life and the Floridan Aquifer. I have been a CAVER (Citizen Against Virtually Everything Residential - acronym partially taken from 80's G'ville Sun "Voice of the People"); spent my entire time here in the backwoods of what is left of Florida, buying as much land (around me) as I can to protect my aquifer. Sincerely, JP Brown, Floridian and proud since 1969

Carson J. Crockett

From: Nicole Gilbo <nicole.gilbo@gmail.com>
Sent: Monday, November 10, 2025 5:37 AM
To: Planning Division
Cc: ouralachuawater@gmail.com
Subject: Comment - Tara April 11/18

Dear Planning and Zoning Board,

I'm writing to ask you to deny the Tara April Special Exception Permit. This land sits in an environmentally sensitive area that connects directly to the Mill Creek Cavern and Cave System, which helps protect our drinking water and aquifer.

I'm a resident of Alachua County and I recently discovered an incredible wilderness of cave systems right under our feet with guidance from the Florida Speleological Society. The water that runs through these caves is so pure that Jacques Cousteau once described it as having "visibility forever". Mill Creek helps safeguard the fresh water supply for the people of Alachua, and it is a living part of North Florida's natural history. These water-filled caves are as awe-inspiring as Everest, if less visible, and they have captivated some of the greatest explorers in our lifetime. In an age where men have been to the moon, this is one of the last frontiers, but it is also a vulnerable environment that needs our protection.

If this development goes forward, it will put that system at risk. Yard chemicals, detergents, and stormwater runoff will seep through the porous limestone like a sponge, threatening the aquifer below. Heavy construction could also trigger sinkholes in this fragile terrain. I hope the Board will choose to protect the water that sustains our homes, our springs, and our future.

I also encourage anyone considering buying a home in Tara April to watch the PBS special *Sinkholes: Buried Alive*. It shows how easily houses in areas like this can be swallowed by the karst terrain when the aquifer is overburdened.

Please help us protect this remarkable and irreplaceable part of North Florida. Our water depends on it.

Sincerely,
Nicole Gilbo

Carson J. Crockett

From: Filomena Wright <filowright@icloud.com>
Sent: Monday, November 10, 2025 5:28 AM
To: Planning Division
Cc: ouralachuawater@gmail.com
Subject: Comment- Tara April for 11/18

Hello,

I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer.

Our aquifer is already strained and further development will have a detrimental impact to this already fragile ecosystem, as well as the quality of life for those in Florida, as our drinking water becomes constrained.

Please consider long-term effects and what is at stake and deny the special exception permit.

Filomena Wright
Sent from my iPhone

Carson J. Crockett

From: SARAH YOUNGER <snyounger@comcast.net>
Sent: Sunday, November 9, 2025 11:08 PM
To: Planning Division
Cc: City Commissioners
Subject: Public Comment – Tara April Special Exception Permit / Request for Affected Party Status

Dear Members of the Planning & Zoning Board,

My name is Sarah Younger, and I am a homeowner in High Springs, Florida, where my family relies entirely on a private well drawing from the Floridan Aquifer for our drinking water. I am writing to request affected party status regarding the Tara April Special Exception Permit, and to express my strong opposition to approval of this proposal in its current form.

According to the City’s public notice, the Board will meet on November 18, 2025, “to discuss a special exception permit for stormwater infrastructure on the Tara April property.”¹ This proposal cannot be viewed in isolation. The Tara April parcel is part of a trio of connected developments — Tara April, Tara West, and Tara Phoenicia — all sharing ownership, utilities, stormwater plans, and proximity to the Mill Creek Sink and Mill Creek Cave System, which directly recharge the Floridan Aquifer that supplies my home well and the regional springs system.

As detailed in a letter submitted by Attorney Therique on behalf of the City of Alachua, the Tara Phoenicia project proposes to dramatically alter the topography of the site—an estimated 9,000 truckloads of soil movement to reshape the land for development. The Tara April project similarly involves extensive grading and filling in an area characterized by thin soils, high recharge rates, and underlying karst features. These activities will not “protect the environment,” as the applicant may claim; they will instead permanently disrupt the natural surface and subsurface drainage patterns that safeguard our aquifer.

Substantial regrading of this magnitude increases runoff velocity and pollutant loading while reducing natural infiltration—the opposite of what should occur in a primary groundwater recharge zone. Once contaminated, water entering the Mill Creek system can travel through conduits to Hornsby and Treehouse Springs, and eventually into the Santa Fe River, affecting water quality miles from the source.

The City has a duty under its Comprehensive Plan and Florida’s Growth Management laws to evaluate cumulative environmental impacts, not just project-by-project effects. Approving the Tara April permit without considering its relationship to Tara Forest West and Tara Phoenicia would fragment oversight and fail to account for the shared consequences of these interconnected developments.

For these reasons, I respectfully urge the Board to deny or defer the Tara April Special Exception Permit and require a comprehensive, bundled environmental review of all Tara developments. Only through cumulative evaluation can the City ensure that development decisions do not jeopardize the aquifer, wells, and springs that sustain this community.

Thank you for including this letter in the official record for the November 18 hearing, and for recognizing your responsibility to protect our shared water resources for present and future generations.

Sincerely,
Sarah Younger
P.O. Box 611
High Springs, FL 32655

Carson J. Crockett

From: Grace Von Hindenfalken <grace.falken@yahoo.com>
Sent: Sunday, November 9, 2025 9:37 PM
To: Planning Division
Cc: ouralachuawater@gmail.com
Subject: Comment - Tara April SEP for 11/18 P&Z

I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit. A special exception should not be made that would allow dangerous and harmful development in an area that is so critical to naturally filtering the water that we rely on. Approving the permit would be both ecologically unsound and poor stewardship of Alachua County resident health and safety. The decisions made by this board set precedence for current and future developers to bulldoze over Alachua and greater Floridian aquifer recharge zones. We already know that our aquifers are suffering - approval of plans that alter the landscape of particularly critical recharge zones such as Mill Creek advances the needle in the wrong direction that Planning and Zoning needs to be going for the sustainability of clean ground water in Alachua.

I implore you to consider the mark you want to leave on the ecology of Alachua. Every single one of us is a part of that ecology.

Sincerely,

Grace Von Hindenfalken

Carson J. Crockett

From: dzigatoo@aol.com
Sent: Sunday, November 9, 2025 9:01 PM
To: Planning Division

Tara is bad news - I've seen their work all day very Alachua County. Just do the right thing and say "NO."

Sarah Harrison

[Sent from the all new AOL app for iOS](#)

Carson J. Crockett

From: Rick Lanese <RLanese@lanese-cpa.com>
Sent: Sunday, November 9, 2025 7:24 PM
To: Planning Division; wWelch@CityofAlachua.org
Cc: City Commissioners
Subject: Tara Development near Mill Creek Sink!

Dear Mayor, Commissioners, and Planning Department.

I urge you to deny the proposals and permit applications of the Tara development projects near Mill Creek and Mill Creek Sink to protect one of our region's most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

I live on the Santa Fe River and allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. I ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Our water quality has been steadily declining for years and much of the decline is directly related to development. Good development can be accomplished while minimizing the negative impacts on our water quality. However, some areas are just too environmentally sensitive for any development. The proposed Tara development is an example of such an area.

Please reject Tara's plans to build over the cave at Mill Creek Sink to protect our water. It's not safe.

Sincerely,

Rick Lanese

Carson J. Crockett

From: Lee Waggener <leewaggener@gmail.com>
Sent: Sunday, November 9, 2025 8:24 PM
To: Planning Division
Cc: ouralachuawater@gmail.com
Subject: Tera development

Please say no. Don't allow the permit to go through. They can build somewhere else in Alachua. Don't be greedy. They will destroy our water for ever. I can't believe it has gotten this far. Protect our water, wells, and springs Your decision will effect Alachua and other areas. Please. Say no.

Lee Ann Waggener
Concerned citizen.
Sent from my iPhone

Carson J. Crockett

From: Rick Lanese <rick.lanese@oursantaferiver.org>
Sent: Sunday, November 9, 2025 8:15 AM
To: wWelch@cityofalacua.org; Commissiners@cityofalachua.org; Planning Division
Subject: Tara Development near Mill Creek Sink - Please Deny

Dear Mayor, Commissioners, and Planning Department.

Our Santa Fe River, Inc. was established in 2007 with a mission to advocate for the preservation of the Santa Fe River, its watershed, springs and the Florida aquifer. Our goal is to keep our water clean and healthy.

Some land is just not suitable for large scale development because of its proximity to unique geological features. The proposed Tara development is a perfect example of land that should not be permitted to have a large development.

The waters passing through Mill Creek and the Mill Creek Sink have been proven to directly impact nearby wells, springs, the Florida aquifer and in turn the Santa Fe River. Development in this area would cause irreparable harm to our water by adding harmful contaminants.

We urge you to deny the proposals and permit applications of the Tara development projects near Mill Creek and Mill Creek Sink to protect one of our region's most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Our water quality has been steadily declining for years and much of the decline is directly related to development. Good development can be accomplished while minimizing the negative impacts on our water quality. However, some areas are just too environmentally sensitive for any development.

Please reject Tara's plans to build over the cave at Mill Creek Sink to protect our water. It's not safe.

Sincerely,

--

Rick Lanese, President
Our Santa Fe River, Inc.
813-965-1983

Carson J. Crockett

From: Laura Line <lrln1127@gmail.com>
Sent: Sunday, November 9, 2025 8:19 PM
To: Planning Division
Cc: ouralachuawater@gmail.com
Subject: Say NO to the Special Exception Permit (SEP)

Dear Board Members,

I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer.

I worked as an aquatic ecologist with Alachua County and Water & Air Research, Inc. I sampled the water and organisms in Mill Creek, Mill Creek Sink, and above the sink, so I am very familiar with the area, the dye studies, and the precautions that should be taken to protect this area. I sampled Hornsby Spring Run, which is connected to the Mill Creek Cave System, and which is in dire need of protection and is vulnerable to pollution as well as to water withdrawals that can leave the spring with flocculent sediment and poor water quality instead of a clean limestone bottom and clear, clean water.

Please do the right thing and deny the permit, and do what you can to prevent further damage from this development. Protect our water for the future of the citizens of the City of Alachua.

Respectfully,
Laura Line

Carson J. Crockett

From: freddie johnson <fpjohns@hotmail.com>
Sent: Sunday, November 9, 2025 8:19 PM
To: Planning Division
Cc: ouralachuawater@gmail.com
Subject: Comment – Tara April SEP for 11/18 P&Z

“I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer.”

Please observe reference for life and make the choice that supports it.

Freddie Johnson

Carson J. Crockett

From: Gayle Hall <ghall0727@bellsouth.net>
Sent: Sunday, November 9, 2025 5:48 PM
To: Planning Division
Cc: Our Alachua Water
Subject: Tara April Public Comments for 11/18/2025

Dear Planners,

I'm writing to register my opposition to the planned Tara April development. As proposed, the development has the potential to impact wells, springs, and the Santa Fe River as well as Mill Creek / Alachua sink. Nothing we have seen to date ensures the safety and protection of these vital resources. Please do not allow these projects to fatally harm our precious waterways.

Sincerely,

Gayle Hall
2312 Range Crescent Ct
Fleming Island, FL 32003

Sent from my iPhone

Carson J. Crockett

From: Matheny,Albert R,III <matheny@ufl.edu>
Sent: Sunday, November 9, 2025 10:11 AM
To: Planning Division
Subject: Please don't approve more development here

Dear Planning and Zoning Board: We can't afford to risk any more damage to the Floridan Aquifer. Commercial development above one of its most vulnerable areas is asking for trouble for our water resources. I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer.

Albert R. Matheny
matheny@ufl.edu

2613 N.W. 24th Terrace
Gainesville, FL 32605-2820
(352) 377-5984

Carson J. Crockett

From: Setuh and Doug <bridgestohealth@windstream.net>
Sent: Sunday, November 9, 2025 1:00 PM
To: Planning Division
Cc: ouralachuawater@gmail.com
Subject: comment Tara April SEP for 11-18 P&Z

To all who represent our health and water interests do not allow this Tara April Special Exemption Permit! This exceptionally sensitive area is one of the few remaining areas that still impacts our water aquifer and the entire area which is very vulnerable to the development that is currently expanding all over Alachua's outlying areas.

Susanne Hesse & Douglas Dyer

Carson J. Crockett

From: Stacey Breheny <staceyb@windstream.net>
Sent: Sunday, November 9, 2025 10:44 AM
To: Planning Division
Subject: NO to Tara April

To who it may concern:

Please vote no on the Tara April Special Exemption Permit because in addition to even more unwanted traffic and general stress on the congested area near the interstate, this project is too close to the Mill Creek portal to the aquifer. There should be zero additional development anywhere near this precious resource.

Thank you,

Sincerely,

Stacey Breheny
High Springs, Florida

Carson J. Crockett

From: Jess Lee <mashuplove@gmail.com>
Sent: Sunday, November 9, 2025 10:31 AM
To: Planning Division
Subject: Comment - Tara April for 11/18 P&Z

Hello,

I am writing to express my strong opposition to the proposed Special Exception Permit for the Tara April project and urge you to deny this application. My primary concern is the direct and irreversible threat this development poses to the environmentally sensitive Mill Creek Cavern and Cave System, which safeguards our community's drinking water and the underlying aquifer.

The proposed project site is in a critical area directly connected to this fragile karst landscape. Karst terrain, characterized by sinkholes, caves, and underground streams, is highly susceptible to contamination. Pollutants from construction, landscaping, septic systems, and everyday surface runoff can flow directly and rapidly into the groundwater with minimal natural filtration.

The Mill Creek Cavern System is not just a geological feature; it is a direct conduit to the aquifer that supplies drinking water to our community. Allowing intensive development in this sensitive recharge area jeopardizes the quality and safety of our most vital natural resource. A contamination event here would have devastating and long-lasting consequences for public health, the environment, and the economic well-being of our entire community.

Granting a Special Exception Permit in this location sets a dangerous precedent. It signals that protecting our critical water infrastructure is negotiable. The potential risks—including chemical runoff, sewage leakage, and increased sedimentation that could clog underground waterways—far outweigh any perceived benefits of this specific project.

Therefore, I respectfully request that the Board deny the Tara April Special Exception Permit. At a minimum, I urge you to require a comprehensive, independent hydrogeological study that fully assesses the project's impact on the cave system and our aquifer before further consideration.

Protecting our drinking water source is a fundamental responsibility. I trust that you will consider the long-term health and safety of our community and choose to preserve this irreplaceable environmental asset for future generations.

Thank you for your time and consideration of this critical matter.

Sincerely,
Jessica Schuler

Carson J. Crockett

From: Nathan Johnson <floridamussels@gmail.com>
Sent: Sunday, November 9, 2025 9:31 AM
To: Planning Division
Subject: In opposition of Tara April Special Exception Permit

I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer. This watershed also supports several imperiled aquatic species, including Gulf Sturgeon, Suwannee Moccasinshell, and Oval Pigtoe. Gratefully, Nathan Johnson plus family of three living in NW Gainesville

Carson J. Crockett

From: Fabienne Dye <dye.fabienne@icloud.com>
Sent: Saturday, November 8, 2025 9:05 PM
To: Planning Division
Cc: City Commissioners
Subject: Protect Alachua's Water - Say NO to Tara!

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe!

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Fabienne Dye

Sent from my iPhone

Carson J. Crockett

From: Harley O'Neill <harleytayloroneill@gmail.com>
Sent: Saturday, November 8, 2025 9:08 AM
To: Our Alachua Water; Planning Division
Subject: Re: Comment Submission for 11/10 Board Meeting

Apologies for the typo in my subject line — this message is regarding the 11/18 meeting.

Thank you!

Harley O'Neill, MA (pronouns: she/her)

| Arts in Health Practitioner, Movement Coach, Choreographer www.harleytayloroneill.com

| Adjunct Assistant Professor of Dance <https://www.sfcollege.edu/academics/cte/finearts/dance/>

| Founder www.spatiallyfed.org

| In the spirit of accountability & healing, I acknowledge and honor the Timucua and all of the original Indigenous peoples of the land upon which my work stands.

Whose land are you on?

On Sat, Nov 8, 2025 at 9:06 AM Harley O'Neill <harleytayloroneill@gmail.com> wrote:
Oops! Thank you, I will send that note forward to them.

On Fri, Nov 7, 2025 at 9:13 PM Our Alachua Water <ouralachuawater@gmail.com> wrote:
Hi Harley - This is so beautiful, thank you for taking the time to submit. Just a quick note because the city's deadlines can be confusing - the deadline for public comment is 11/10 but it is for an 11/18 meeting (your subject line).

On Fri, Nov 7, 2025 at 3:32 PM Harley O'Neill <harleytayloroneill@gmail.com> wrote:
Hi there,

I would like to urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer. As a local for over 2 decades, and water and nature lover, I would be disappointed to see this excusal affect our already-hurting waterways. If you also love the waters, you have the chance to make an impact by preventing further disruption to the ecosystem! Please help us be the change!

Warmly, this concerned citizen,

Harley O'Neill, MA (pronouns: she/her)

| Arts in Health Practitioner, Movement Coach, Choreographer www.harleytayloroneill.com

| Santa Fe College Professor of Dance <https://www.sfcollege.edu/academics/cte/finearts/dance/>

| Founder www.spatiallyfed.org



| In the spirit of accountability & healing, I acknowledge and honor the Timucua and all of the original Indigenous peoples of the land upon which my work stands.

Whose land are you on?

Carson J. Crockett

From: Cathy Messersmith <catherinemessersmith@gmail.com>
Sent: Saturday, November 8, 2025 8:24 AM
To: Planning Division
Subject: Comment

All

I oppose the development of Tara April. These developments are not only very ugly, and will contribute to the traffic mess in that area. But my main concern is the AQUIFER. ... you know where our water comes from. Water is such a precious commodity .. why would you risk the potential to mess with the water below you? And since everything is connected underneath.. you will also mess with water miles away.

Please do the right thing. He can build another ugly complex in a better location.

Thank you

Cathy Messersmith

Carson J. Crockett

From: Haley K <hnkraczek@gmail.com>
Sent: Saturday, November 8, 2025 12:01 AM
To: Planning Division
Subject: Comment - Tara April for 11/18

Hello,

I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer.

Haley Kraczek
Environmental scientist | Stormwater pollution control inspector
(772)-285-8907
Hnkraczek@gmail.com

Carson J. Crockett

From: Margaret <stainedgracezine@gmail.com>
Sent: Friday, November 7, 2025 10:46 PM
To: Planning Division
Subject: Comment-- Tara April SEP for 11/18 P&Z

Hello City of Alachua Planning Committee,

I am writing in regards to the proposed commercial development by Tara April near the Mill Creek Cavern and Cave System.

I am Margaret Rose Delisle, a previous resident (and hopefully future) resident of Alachua County. I know then, that this means my relationship to Alachua is a rather inconsistent one, but if I had to call myself a citizen of Anywhere, I should say it is Alachua County.

Although I am not a citizen of Alachua City, I am concerned about the lasting ramifications of letting so much ecologically important land be developed in harmful ways.

The nature of clear cutting acres of land for commercial spaces has deep ramifications for both the ecosystem, and also the communities of the people who live in a place.

Not only will increased traffic lead to a lower quality of life and air, but the types of commerce parks as proposed leave little room for community or socialization. Life literally cannot grow there: the very practices these buildings are constructed under make it a point to cut down as much life as possible.

In the proposed location, we are risking resources that belong to everyone for a short term benefit. I want you to go to any parking lot commerce area, and stand in it in the middle of summer, and see how long you will last before you need to go inside. Then go and stand in the proposed location and see how different they are.

Mill Creek has been here longer than any one person has ever lived, so while it may feel profitable to bring in such a large commerce section now, the long term consequences impact every single generation who comes after us, long after these businesses have been left to rot.

Alachua County prides itself on having such beautiful land and resources, but allowing this type of building is destructive towards the landscape.

I want to see a world for the children that is full of life and beauty, but I worry that we are allowing today's profit to matter more than the future.

I know I speak for more than just myself when I say that it's really important to be forward thinking about the radical changes we make to the land.

Is Tara April doing this with the land or the community in mind, or is Tara April doing this because it feels like a profitable venture?

I really hope that the government of Alachua City, and the other governments presiding over this land, will see the value in stewardship and care for our lands. We deserve better, the future deserves better, and the land that has so taken care of us for the entirety of humanity deserves better.

Please deny the Tara April Special Exeption Permit.

Thank you for your time,
Margaret Rose Delisle
Proud Advocate for the Gator, the Heron, and the Damselfly

Carson J. Crockett

From: M. Hampton <seminolianqueen@gmail.com>
Sent: Friday, November 7, 2025 5:59 PM
To: Planning Division
Cc: City Commissioners
Subject: Protect Alachua's Water - Say NO to Tara!

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Steve & Mary Hampton
Residents of Manatee County, Florida

Carson J. Crockett

From: Carol White <bctwhite@gmail.com>
Sent: Friday, November 7, 2025 4:10 PM
To: Planning Division
Cc: ouralachuawater@gmail.com
Subject: Comment - Tara April P&Z for 11/18

Dear Members of the Planning & Zoning Board,

My name is Brandon White, and I'm a concerned resident writing to urge you to deny the special exception permit for the Tara April development. This proposed site lies within a highly sensitive karst landscape, where underground caverns and sinkholes directly connect to the Floridan Aquifer—our community's drinking water source.

Runoff in this area can reach the aquifer with little to no natural filtration, increasing the risk of contamination and long-term harm to our waterways and springs. A sinkhole already opened nearby during previous construction, underscoring how fragile this system is.

Please stand with the people of Alachua County and protect our shared water resources. Deny this special permit and require stronger safeguards before any large-scale development proceeds in such a vulnerable recharge zone.

Thank you for your time and commitment to protecting our environment and community.

Sincerely,
Brandon White
Concerned Citizen

Carson J. Crockett

From: Harley O'Neill <harleytayloroneill@gmail.com>
Sent: Friday, November 7, 2025 3:32 PM
To: Planning Division
Cc: ouralachuawater@gmail.com
Subject: Comment Submission for 11/10 Board Meeting

Hi there,

I would like to urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer. As a local for over 2 decades, and water and nature lover, I would be disappointed to see this excusal affect our already-hurting waterways. If you also love the waters, you have the chance to make an impact by preventing further disruption to the ecosystem! Please help us be the change!

Warmly, this concerned citizen,

Harley O'Neill, MA (pronouns: she/her)

| Arts in Health Practitioner, Movement Coach, Choreographer www.harleytayloroneill.com

| Santa Fe College Professor of Dance <https://www.sfcollge.edu/academics/cte/finearts/dance/>

| Founder www.spatiallyfed.org



| In the spirit of accountability & healing, I acknowledge and honor the Timucua and all of the original Indigenous peoples of the land upon which my work stands.

[Whose land are you on?](#)

Carson J. Crockett

From: Brad Crouse <bcrouse652@gmail.com>
Sent: Friday, November 7, 2025 10:56 AM
To: Planning Division
Subject: Exercise empathy

Hello,

It has come to my attention that you're still considering selling out to construction companies to build on top of Mill Creek Sink. Imagine you turn on your kitchen sink and you see the water is tinted brown and smells of sewage. Or an apartment complex with hundreds or even a couple thousand people that collapses in a sinkhole. It is disgusting to think about how your greed is taking precedence over your drinking water. Stop being a stereotypical politician and actually do something beneficial for your community members. The narrative you are painting continues to make current and future generations have no faith in their elected officials. It's no secret that younger generations fear that they will never own a home. Do you really want to be part of the reason your children, grandchildren, and all their friends are in a never ending cycle of living paycheck to paycheck in a small grey box for 2k a month? To sell out to corporations at the expense of the people who elected you? Is it really going to benefit you that much? For once listen to the people you're supposed to be representing. When will you choose to protect your community members and their environment instead of your wallet?

Yes, angry emails are annoying and make you want to roll your eyes and laugh. But giving puppy dog eyes and saying please has never worked. For the last time, say no to corporations trying to destroy the beautiful land you're supposed to be protecting. Exercise empathy for your community members and future generations. Say no to the destruction of Mill Creek Sink.

Carson J. Crockett

From: Bryanna Edgar <b.leigh2012@icloud.com>
Sent: Friday, November 7, 2025 10:53 AM
To: Planning Division
Cc: ouralachuawater@gmail.com
Subject: Comment- Tara April P&Z for 11/18

Hello!

My name is Bryanna Edgar and I am a river guide for the Sante Fe. My business relays on clean waterways as well as my personal income. The pollution that will result from this development will be detrimental to my livelihood as well as the many constituents who rely on this resource for drinking water.

I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer.

Thank you for your time and consideration,

Bryanna Edgar
3528164705
B.leigh2012@icloud.com

Sent from my iPhone

Carson J. Crockett

From: Pamela Blasetti <blasettipamela@gmail.com>
Sent: Friday, November 7, 2025 10:05 AM
To: Planning Division
Subject: Tara April SEP for 11/18

As a citizen, and a person who uses well water, I would like to state to you that I am against the special exemptions permit for Tara April which us being reviewed on November 18th 2025

I have several concerns about this project and this particular phase of the project. My first and foremost concern is that placing the storm water retention ponds so close to the mill sink is not the best option. It does not protect our underground water properly, and I feel this needs further geological review and should be tailored to have the most stringent conditions given the sensitivity of this area.

I do not feel that the proper level of geological studies have been done for this particular area, and I think we need to be following the highest recommendations of the Florida DEP.....not the lowest recommendations, which is what we are currently looking at.

There is quite a bit of evidence that these Tara projects have been pushed through too quickly. This needs to stop. Please protect our ground water, our unique Springs, and our communities. This is the responsibility you have agreed to. Please protect our communities and make sure the development is appropriate to our area. Right now this project seems way out of scale for what should be happening in our town and on top of the mill sink area.

Please take a pause so this can be vetted properly. Our water quality depends on it. And the citizens are depending on you.

Sincerely,
Pamela Blasetti
Alachua Resident

Carson J. Crockett

From: Kimberly Maloney <kimbo529@gmail.com>
Sent: Friday, November 7, 2025 9:32 AM
To: Planning Division
Cc: City Commissioners
Subject: Protect Alachua's Water - Say NO to Tara!

Dear Planning Department, Mayor, and Commissioners, In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater. Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations. Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water. Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe. Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West. Sincerely, (Your Name)

Kimberly Maloney-Clow
407-600-4696

Carson J. Crockett

From: Eduardo Teixeira de Macedo <eduardoteixeirademacedo@gmail.com>
Sent: Friday, November 7, 2025 9:04 AM
To: Planning Division
Cc: ouralachuawater@gmail.com
Subject: Fwd: Save the Cave at Mill Creek Sink - Email the City by Monday

City of Alachua Planning & Zoning Board

I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer.

We have been diving in these caves for many years, and tourism to this region could be seriously affected if the caves are not protected.

Best regards,

Eduardo

Eduardo Macedo

Instructor Trainer Cave Evaluator

+55(61) 98596-5665

Carson J. Crockett

From: Shannon Perry <shancore@gmail.com>
Sent: Friday, November 7, 2025 8:17 AM
To: Planning Division
Cc: ouralachuawater@gmail.com
Subject: Comment - Tara April SEP for 11/18 P&Z

To the City of Alachua Planning & Zoning Board,
I urge the Planning and Zoning Board to deny the Tara April Special Exception Permit because this is an environmentally sensitive area connected to the Mill Creek Cavern and Cave System, which safeguards our drinking water and aquifer.

As a member of the NSS, owners of the cave at Mill Creek Sink. Please vote to protect the cave and its water. Building over a cave system does not protect it.

To truly embody "The Good Life Community", we must ensure our actions don't compromise the very resources that define our community's quality of life.

Sincerely,
Shannon Perry
NSS-CDS Member

--

Shannon Perry
shancore@gmail.com

NOTICE: This e-mail and any files transmitted with it are intended solely for the use of the individual or entity to whom they are addressed and may contain information which is privileged, confidential and prohibited from disclosure or unauthorized use under applicable law. If you have received this e-mail in error please notify the sender immediately by e-mail and destroy this email, including any attachments from your system.

Carson J. Crockett

From: Chris Wilson <cwilson5000@gmail.com>
Sent: Thursday, November 6, 2025 2:34 PM
To: Planning Division
Subject: Comment - Tara April 11/18

Dear Alachua Planning and Zoning Board Members,

I am writing to oppose the development that will be presented to your board on 11/18, Tara April. This planned development is too close to sensitive environmental areas and will have detrimental effects on one of Alachua's most important ecological areas. Runoff from the development will feed into Mill Creek Sink, underwater caves, and the aquifer that we all get our water from. The planned development is too dense and too close to Mill Creek.

Thank you for understanding and protecting our community and environment.

Chris Wilson
Alachua County resident
352-672-0999

Carson J. Crockett

From: Erica Braley <ericabraley81@gmail.com>
Sent: Thursday, November 6, 2025 1:40 PM
To: Planning Division
Subject: Mill Creek Sink

I urge the zoning and planning board to deny the development Tara April, and any other development in the sensitive areas of Mill Creek Sink. As a life long Floridian, our commitment should be to the citizens of our county, not to a developer whose best interests do not serve our community. Clean drinking water is of utmost importance to the residents in and around Alachua. I live in High Springs where dye studies have confirmed the path Mill Creek Sink follows. The potential for contamination of our springs and wells due to a housing development built on environmentally sensitive lands could be detrimental. Please think of our commitment to the people that live here. We deserve our voices heard.

Thank you,
Erica Braley

Carson J. Crockett

From: Lindsay Olivieri <olive.lady@gmail.com>
Sent: Thursday, November 6, 2025 12:17 PM
To: Planning Division
Cc: City Commissioners
Subject: Protect Alachua's Water - Say NO to Tara!

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
(Your Name)

Carson J. Crockett

From: Jane Graham <jane@sunshinecitylaw.com>
Sent: Tuesday, November 4, 2025 4:26 PM
To: pboyes@holtzmanvogel.com; dat@theriaquelaw.com
Cc: Planning Division; Br_Thomas@city-ofalachua.org; Rodolfo Valladares
Subject: City of Alachua PSP22-0004 Request for Affected Party Status National Speleological Society
Attachments: nsa property appraiser.jpg

Dear Ms. Boyes,

I understand you are City of Alachua's counsel on land use matters. If you are not the right person to direct this email to, let me know who is, and I am happy to redirect it.

I represent the National Speleological Society ("NSS"), who have affected party status for a proposed agenda item on the November 18, 2025 Planning and Zoning Board, for the Tara April infrastructure plan, associated special exception permit PSE 22-0002. It is listed on the City of Alachua Development projects map as being heard in a special exception hearing on November 18, 2025. I have submitted a public records request for all documents relating to the application and await a response.

I am hereby requesting affected party status on behalf of my clients pursuant to the rights under Section 2.3 of City of Alachua's land development regulations, with a grant of additional time for legal and expert testimony and the opportunity for cross-examination and rebuttal.

NSA owns a 8.58 acre property, with parcel id 03066-002-001 which borders property owned by Tara Forest, the property and development which is the subject of the special exception to be discussed. Attached is a snapshot from the Alachua Property Appraiser's website.

Let me know if there is any additional information or specificity I can provide. I reviewed the code and regulations but did not see anything specific for affected party status submission requirements.

I look forward to working with you to make this a smooth hearing and ensure that we are on the same page as to process.

Thanks.

Sincerely,

Jane Graham, Esq.
Florida Bar Board Certified Attorney in City, County, and Local Government Law
Attorney and Founder
Sunshine City Law
16703 Early Riser Ave, Suite 272
Land O'Lakes, FL 34638
(727) 291-9526
jane@sunshinecitylaw.com
www.sunshinecitylaw.com

*NEW PASCO OFFICE LOCATION



From: [Michy Rodriguez](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Reject Tara!
Date: Thursday, August 28, 2025 10:04:27 AM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. I urge you to deny these proposals or at a minimum, drastically reduce their density to protect one of our region's most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of Florida's groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. As a concerned Floridian, I ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara's plans to build over the cave at Mill Creek Sink to protect our water. It's not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Thank you,
Michelle Rodriguez

[Yahoo Mail: Search, Organize, Conquer](#)

From: [Michy Rodriguez](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Reject Tara!
Date: Thursday, August 28, 2025 10:04:27 AM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. I urge you to deny these proposals or at a minimum, drastically reduce their density to protect one of our region's most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of Florida's groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. As a concerned Floridian, I ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara's plans to build over the cave at Mill Creek Sink to protect our water. It's not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Thank you,
Michelle Rodriguez

[Yahoo Mail: Search, Organize, Conquer](#)

From: [Alberto Silva](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Wednesday, August 27, 2025 8:38:35 AM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Alberto Silva, Landowner of NW Alachua County

Sent from my iPhone

From: [Alina Valencia](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Sunday, August 24, 2025 10:19:28 AM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
(Your Name)

Sent from my iPhone

From: [Amy Campillo](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Thursday, August 21, 2025 11:37:19 AM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Amy Campillo

From: [Bridget Beury](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Sunday, August 24, 2025 12:47:43 PM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
(Your Name)

Bridget Beury

From: [Brigham Brown](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Saturday, August 23, 2025 3:08:55 PM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
(Your Name)

Sent from my iPhone

From: [Carol Keys](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Wednesday, August 20, 2025 8:24:47 PM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Carol Keys
Sent from my iPad

From: [Carol White](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Friday, August 22, 2025 7:35:32 PM

Dear Planning Department, Mayor, and Commissioners,

I stand with those before me who helped create this email. This is wrong. Stop the development and protect our waterways!

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Carol White

From: [Christopher Calvano](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Saturday, August 23, 2025 9:52:27 AM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Chris Calvano

From: [Chris Cardo](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Monday, August 18, 2025 7:41:57 PM

Dear Planning Department, Mayor, and Commissioners,

STOP SACRIFICING FLORIDA'S NATURAL RESOURCES!!!

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Sincerely,
CHRIS CARDO

From: [Deidra Allen](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Sunday, August 24, 2025 11:26:16 AM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Deidra Allen

From: [Emily Welty](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Sunday, August 24, 2025 8:09:13 AM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Emily Welty

Sent from my iPhone

From: [Francisco Faria](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Sunday, August 24, 2025 9:59:58 AM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Francisco J. Faria

Sent from my iPhone

Carson J. Crockett

From: Gabriela Waschewsky <waschewsky@gmail.com>
Sent: Monday, September 8, 2025 2:19 PM
To: Planning Division
Cc: City Commissioners
Subject: Protect Alachua's Water - Say NO to Tara!

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Gabriela Waschewsky

Carson J. Crockett

From: Gabriela Waschewsky <waschewsky@gmail.com>
Sent: Friday, September 5, 2025 9:52 AM
To: Planning Division
Cc: City Commissioners
Subject: Protect Alachua's Water - Say NO to Tara!

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Gabriela Waschewsky

From: breemc2@yahoo.com
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Saturday, August 23, 2025 9:04:42 AM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals, or at a minimum, drastically reduce their density to protect one of our region's most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara's plans to build over the cave at Mill Creek Sink to protect our water. It's not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Gabrielle McGhee

[Yahoo Mail: Search, Organize, Conquer](#)

From: [Harley O'Neill](#)
To: [Planning Division](#)
Cc: [City Commissioners](#); harleyandwes@gmail.com
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Wednesday, August 20, 2025 4:54:51 PM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Harley & Wesley Lewis

Sent from my iPhone

From: [Alison Rich](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Sunday, August 24, 2025 8:24:23 AM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Helen Alison Rich

Sent from my iPhone

From: [Javier Prat](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Saturday, August 23, 2025 9:25:55 AM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Javier Prat

From: [Jessica Hodder](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Saturday, August 23, 2025 10:23:51 PM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Jessica Hodder

From: [Jessica Meinhofer](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Sunday, August 24, 2025 8:36:29 AM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink.

We urge you to **deny these proposals**—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources.

The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible **harm to our water quality and the long-term health of our aquifer system**.

We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it.

Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Jessica Meinhofer

Jessica Meinhofer
Website: [Walk and Paddle](#)
[Freebie Vault Access](#)
[My Activity Book](#)

From: [Kristi's Kountry Soapery](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Sunday, August 24, 2025 10:49:32 AM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Kristi Lee

Former invertebrate taxonomist for the Florida Fish & Wildlife Conservation Commission.

From: [Laura Senkow](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Saturday, August 23, 2025 10:00:43 AM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to put Florida first and deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Laura Senkow

From: coastghost55@yahoo.com
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Saturday, August 23, 2025 12:35:36 PM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals or at a minimum, drastically reduce their density to protect one of our region's most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara's plans to build over the cave at Mill Creek Sink to protect our water. It's not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Laura Thomas

From: smith.leslie5@icloud.com
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua"s Water - Say NO to Tara!
Date: Monday, August 25, 2025 8:26:12 PM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Leslie Smith

Sent from my iPhone

Sent from my iPhone

Carson J. Crockett

From: Linda Weseman <weseman.pe@gmail.com>
Sent: Friday, September 5, 2025 3:49 PM
To: Planning Division
Cc: City Commissioners
Subject: Protect Alachua's Water - Say NO to Tara!

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
(Your Name)

From: [Luke Jones](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Sunday, August 24, 2025 4:19:40 PM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Luke Jones

Sent from my iPhone

From: [Mary Ellen Flowers](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Wednesday, August 27, 2025 8:41:01 AM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Mary Ellen Flowers

From: [MaryAnn Smith](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua"s Water - Say NO to Tara!
Date: Wednesday, August 27, 2025 7:44:00 AM

Dear Planning Department, Mayor, and Commissioners, In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater. Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations. Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water. Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe. Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West. Sincerely, MaryAnn Smith

From: [Miranda S](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Saturday, August 23, 2025 10:46:41 AM

Dear Planning Department, Mayor, and Commissioners,

I'm writing to you as a UF alum and native Floridian who has greatly benefitted from the many unique and pristine natural areas Alachua County has to offer.

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region's most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara's plans to build over the cave at Mill Creek Sink to protect our water. It's not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Miranda Schwabe

From: [Nancy Scricca](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Tuesday, August 19, 2025 1:22:00 PM

Dear Planning Department, Mayor, and Commissioners,

Please learn from South Florida's errors. People live here because of the beauty and less development. There are a lot of other cities people can choose when Alachua loses this.

Citizens/residents will applaud your courage to deny this development, encourage them to build elsewhere-----not in this fragile place!!

You will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink.

Please deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region's most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

You need to reject Tara's plans to build over the cave at Mill Creek Sink to protect our water. People there will use pesticides and fertilizers on all the lawns to keep it perfect for the hoa.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,

Nancy Scricca

From: [nick king](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Saturday, August 23, 2025 12:21:40 PM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals or at a minimum, drastically reduce their density to protect one of our region's most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara's plans to build over the cave at Mill Creek Sink to protect our water. It's not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Nicholas King

[Yahoo Mail: Search, Organize, Conquer](#)

From: [nick king](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Saturday, August 23, 2025 12:14:50 PM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals or at a minimum, drastically reduce their density to protect one of our region's most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

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Please reject Tara's plans to build over the cave at Mill Creek Sink to protect our water. It's not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
(Your Name)

[Yahoo Mail: Search, Organize, Conquer](#)

From: [Ressa Unfer](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Saturday, August 23, 2025 9:38:06 AM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

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Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Ressa Unfer

From: [Robin McLeod](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Saturday, August 23, 2025 7:15:14 PM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

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Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Robin McLeod

Sent from my iPhone

From: [Sarah Younger](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Monday, August 25, 2025 12:53:50 PM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

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Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Sarah Younger

Sent from [Outlook](#)

From: [Shanti Smith - Copeland](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Saturday, August 23, 2025 10:01:03 AM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
(Your Name)

[Dr. Shanti S. Smith - Copeland](#)

From: [Robin McLeod](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Saturday, August 23, 2025 7:15:52 PM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Timothy P McLeod

Sent from my iPhone

From: [Tracy Massimillo](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water - Say NO to Tara!
Date: Thursday, August 21, 2025 11:37:50 AM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

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Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Sincerely,
Tracy Massimillo

Sent from my iPhone

From: [Blayre Nyitray](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Alachua's Water
Date: Sunday, August 24, 2025 9:40:58 AM

Dear Planning Department, Mayor, and Commissioners,

In the near future, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region's most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

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Please reject Tara's plans to build over the cave at Mill Creek Sink to protect our water. It's not safe.

Planning Department: Please add this to public comment for Tara Phoenicia, Tara April, and Tara Forest West.

Best regards,

Blayre Nyitray

From: [Brooke Watkins](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Mill Creek Sink - Say NO to Tara!
Date: Friday, August 22, 2025 10:57:23 PM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

Allowing high-density development in this area risks irreversible harm to our water quality and the long-term health of our aquifer system. We ask you to prioritize environmental protection and responsible planning for the sake of current and future generations.

Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Sincerely,
Brooke

From: [Bryanna Edgar](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Mill Creek Sink - Say NO to Tara!
Date: Sunday, August 24, 2025 4:01:14 PM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

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Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Sincerely,
(Your Name)

Sent from my iPhone

From: [Suzi Kramer](#)
To: [Planning Division](#)
Cc: [City Commissioners](#)
Subject: Protect Mill Creek Sink - Say NO to Tara!
Date: Saturday, August 23, 2025 1:49:41 PM

Dear Planning Department, Mayor, and Commissioners,

In the coming months, you will be asked to consider approval of the Tara development projects near Mill Creek and Mill Creek Sink. We urge you to deny these proposals—or at a minimum, drastically reduce their density—to protect one of our region’s most sensitive and significant natural resources. The fragile karst landscape, which includes Mill Creek Sink, plays a critical role in the recharge and filtration of our groundwater.

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Building over a cave system does not protect it. Vote to save Mill Creek Sink. Please vote to protect the cave and its water.

Please reject Tara’s plans to build over the cave at Mill Creek Sink to protect our water. It’s not safe.

Sincerely,
Susan Kramer

Sent from my iPhone

GA

RODOLFO VALLADARES
CITY MANAGER

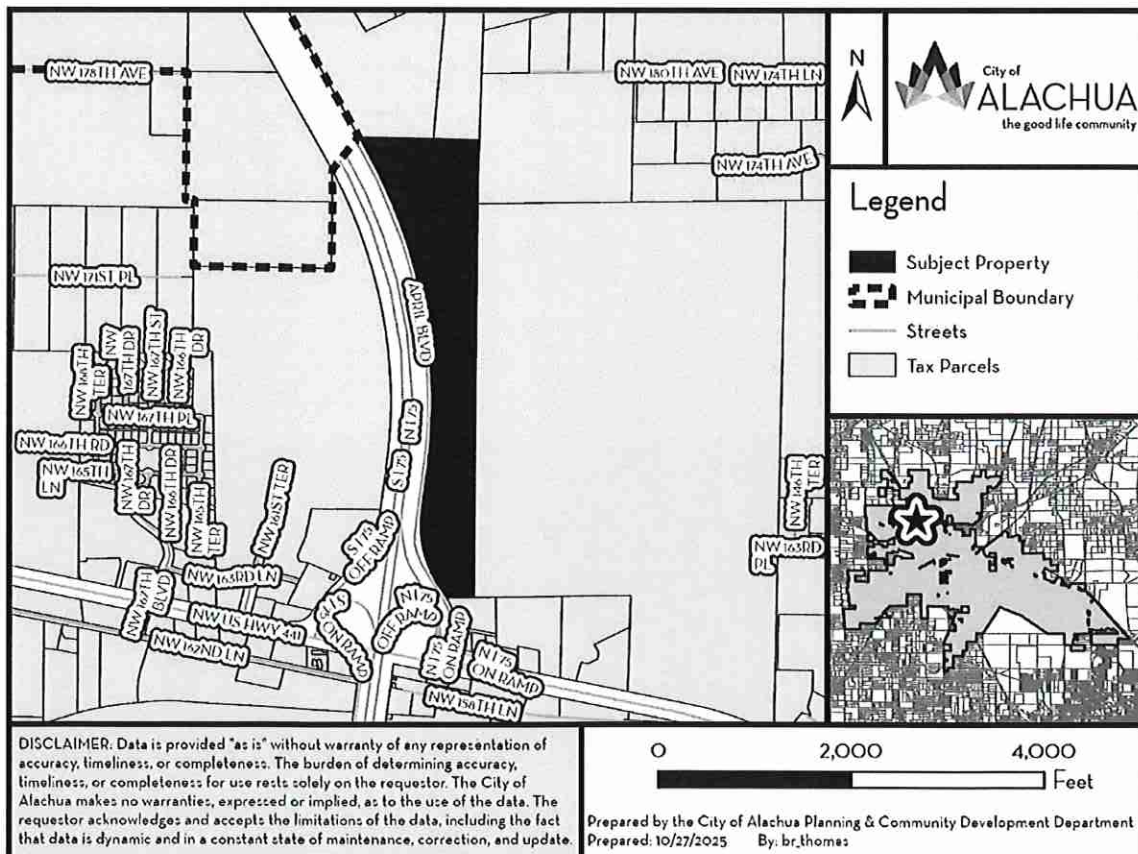
PLANNING & COMMUNITY DEVELOPMENT
BRYAN S. THOMAS, AICP

NOTICE OF PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD OF THE CITY OF ALACHUA, FLORIDA

Notice is hereby given that the Planning and Zoning Board of the City of Alachua will hold a public hearing on November 18, 2025 at 6:00 p.m. The hearing will be held in the James A. Lewis Commission Chambers in City Hall, located at 15100 NW 142nd Terrace, Alachua, Florida, to consider the following:

Application #: PSE22-0002_Tara April_Special Exception Permit

A request by Clay Sweger, AICP, LEED AP, of eda consultants, inc., applicant, on behalf of Tara Forest, LLC, property owner, for consideration of a Special Exception Permit to allow the placement of a minor utility (stormwater management facilities) in the Agricultural (A) zoning district that would support future development on adjacent lands zoned Community Commercial (CC). The subject property is generally located north of US 441 east of I-75 and April Boulevard, and west of Mill Creek; Consisting of a portion of Tax Parcel Number 03020-000-000; Future Land Use Map (FLUM) Designation: Agriculture; Zoning: Agricultural (A).



At the public hearing, all interested parties may appear and be heard with respect to the application. Copies of the application are available for public inspection at the Planning and Community Development Department, 15100 NW 142nd Terrace, Alachua, Florida, on any regular business day between the hours of 7:30 a.m. to 6:00 p.m. Written comments on the application may be sent to the following address: City of Alachua, Planning and Community Development, P.O. Box 9, Alachua, FL 32616. Notice is given pursuant to Section 286.0105, Florida Statutes, that, in order to appeal any decision made at the public hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act, any persons with a disability requiring reasonable accommodation in order to participate in this meeting should call the City Clerk at (386) 418-6100 x 1501 at least 48 hours prior to the public hearing.

03020-000-000
TARA FOREST LLC
7717 NW 20TH LN
GAINESVILLE, FL 32605

03066-006-002
CITY OF ALACHUA
PO BOX 9
ALACHUA, FL 32616-0009

03008-000-000
TARA FOREST LLC
7717 NW 20TH LN
GAINESVILLE, FL 32605

03066-006-000
MOHAN-LERRA FAMILY PARTNERSHIP
16715 NW 129TH TER
ALACHUA, FL 32615

03049-000-000
ALACHUA ONE LLC
15260 NW 147TH DR STE 100
ALACHUA, FL 32615

Michele L. Lieberman
12 SE 1st Street
Gainesville, FL 32601

Tamara Robbins
PO Box 2317
Alachua, FL 32616

Jean Calderwood
14095 NW 174th Ave
Alachua, FL 32615

Soorya Lindberg
16630 NW 173rd Terrace
Alachua, FL 32615

03015-004-000
MRVZ PARK INVESTORS LLC
PO BOX 1462
INVERNESS, FL 34451

03066-004-001
CITY OF ALACHUA
PO BOX 9
ALACHUA, FL 32616-0009

03015-001-000
MRVZ PARK INVESTORS LLC
PO BOX 1462
INVERNESS, FL 34451

03049-004-000
ALACHUA A ONE LLC
15260 NW 147TH DR STE 100
ALACHUA, FL 32615

Antoinette Endelicato
5562 NW 93rd Avenue
Gainesville, FL 32653

Lynda Coon
7216 NW 126 Avenue
Alachua, FL 32615

Lynn Horton
19005 NW 138th Avenue
Alachua, FL 32615

Constance Meyer
4720 NW 104th Lane
Gainesville, FL 32653

03066-004-000
CITY OF ALACHUA
PO BOX 9
ALACHUA, FL 32616-0009

MAILED

NOV 03 2025



03017-002-000
SPENCER ARTHUR PRESCOTT JR
TRUSTEE
4145 STATE RD 11
DELAND, FL 32724

03066-006-001
WAFFLE HOUSE INC
5986 FINANCIAL DR
NORCROSS, GA 30071

03067-001-000
TARA FOREST LLC
7717 NW 20TH LN
GAINESVILLE, FL 32605

Adam Hall, AICP
PO Box 115050
Gainesville, FL 32611

Joseph & Phyllis Strickland
14103 NW 156th Place
Alachua, FL 32615

Stephen Hofstetter
14 NE 1st Street
Gainesville, FL 32601

Day Celebration d by the Douglass School Society. special program honor veterans ended the now Douglass School in rings. The event in at 11 a.m. at Douglass Street, rings. It will be unveiling of a 'erans' memorial, eakers, and a entary lunch. For formation, please is.society@gmail. xt 352-213-9210.

16: Alachua Street Festival d by the Alachua League. Join in od and frolic at the chua Main Street on Main Street own Alachua, on Nov. 16 from 11 p.m. The festival over 200 vendors, crafts, food, activities and live bands will include ot Band, Clay The Untamed d The Gonzos on s.

22: The High New Century s Club will host and Bake Sale r on Saturday, from 10 a.m. to 3 23674 West U.S. High Springs. The will benefit First rs. More than rs will showcase handmade items ct for gifts or treasures — both nd outside the s. ry table will be th delicious pies, eads, cookies, and odies we love to the holidays. The enu will include dogs, Frito pies, nd chips. Credit l be accepted. For formation, please 318-3278 Ext. 2.

and Ms. Alumni Pageant Saturday, Nov. 29 at A.L. Mebane Middle School - Alachua
 10 a.m. - Vendor setup and parade registration
 11 a.m. - Lee's Preschool, SR 241N parade lineup
 12 noon - Parade, starting from North Main Street through downtown Alachua and returning to A.L. Mebane Middle School after parade.
 1:30 p.m. - A. L. Mebane Middle School Campus Opening Ceremony, presentation of Mr. and Ms. Alumni and Court

■ **Fridays: The High Springs New Century Woman's Club** invites the community to join "Lady Gamers" every Friday at 1 p.m. Bring your favorite games to share or join in with those provided. Location: Woman's Club Clubhouse, 23674 West U.S. Highway 27, High Springs, FL 32643. For more information: Call 386-518-3276, Ext. 3
 ■ **Fridays: High Springs Farmers Market** from 3 -7 p.m. at the Farmers Market Pavilion, 23517 N.W. 185th Road,



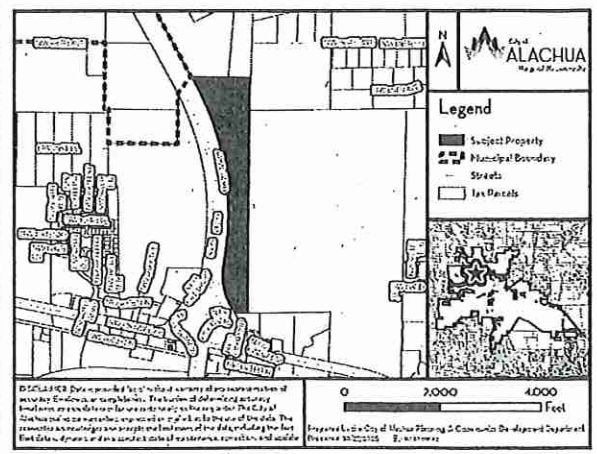
City of ALACHUA

NOTICE OF PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD OF THE CITY OF ALACHUA, FLORIDA

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Application #: PSE22-0002_Tara April_Special Exception Permit

A request by Clay Sweger, AICP, LEED AP, of EDA Consultants, Inc., applicant, on behalf of Tara Forest, LLC, property owner, for consideration of a Special Exception Permit to allow the placement of a minor utility (stormwater management facilities) in the Agricultural (A) zoning district that would support future development on adjacent lands zoned Community Commercial (CC). The subject property is generally located north of US 441 east of I-75 and April Boulevard, and west of Mill Creek; Consisting of a portion of Tax Parcel Number 03020-000-000; Future Land Use Map (FLUM) Designation: Agriculture; Zoning: Agricultural (A).



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Window Screens Repair

River Basin Screen Repair, LLC

850-973-0110

river.basin.screen@gmail.com

Window Screens
Rescreening for Screened Rooms

Advertisement for request for Quote (RFP)

The Gainesville Housing Authority (GHA) herein solicits Requests for Quote (RFP) from qualified, licensed, and responsible firms interested in providing GHA with **Caroline Manor Interior Renovations**

RFP 2026-04

Date and Time for Receiving Proposals:
 Wednesday, November 19, 2025 by 4:00 p.m. EST

Submit Proposals To:
 Gainesville Housing Authority
 Attn: Ms. Pamela E. Davis
 1900 SE 4th Street
 Gainesville, FL 32641

Specifications and instructions for proposal submission and the criteria that will be used to evaluate submissions are available at:

Gainesville Housing Authority
 1900 SE 4th Street
 Gainesville, FL 32641
 or at www.demandstar.com



AFFIDAVIT FOR POSTED LAND USE SIGN

I, MELISSA WATSON, POSTED THE LAND USE SIGN(S)
(Print Name)

ON 11/3/2025 FOR THE PSE22-0002 TARA APRIL SPECIAL EXCEPTION
(Date) (Project name & type of action)

LAND USE ACTION AS PER ARTICLE 2.2.9(D) OF THE LAND DEVELOPMENT

REGULATIONS. THIS WILL BE INCLUDED IN THE STAFF REPORT.

Melissa Watson
(Signature)

4
(Number of signs)

CITY OF ALACHUA

NOTICE OF LAND USE DEVELOPMENT ACTION

PUBLIC HEARING(S) ARE SCHEDULED TO CONSIDER THE FOLLOWING:

PROJECT NAME: _____ **APPLICATION NO.:** _____

APPLICATION TYPE: _____ **CURRENT ZONING:** _____

NATURE/SCOPE OF PROPOSAL: _____

DATE OF PUBLIC HEARING(S): _____ **AT** _____ **PM**

_____ **AT** _____ **PM**

_____ **AT** _____ **PM**

LOCATION OF PUBLIC HEARING(S):
ALACHUA CITY HALL - 15100 NW 142ND TERRACE

FOR MORE INFORMATION CONTACT:
CITY OF ALACHUA PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT

386-418-6121

planning@cityofalachua.com

ALL INTERESTED PARTIES MAY APPEAR AT THE PUBLIC HEARING(S) AND BE HEARD WITH RESPECT TO THE APPLICATION. COPIES OF THE APPLICATION, STAFF REPORT, AND RELATED MATERIALS ARE AVAILABLE FOR PUBLIC INSPECTION AT THE PLANNING & COMMUNITY DEVELOPMENT, 15100 NW 142ND TERRACE, ALACHUA, FLORIDA, ON ANY REGULAR BUSINESS DAY DURING NORMAL BUSINESS HOURS. WRITTEN COMMENTS MAY BE SENT TO: CITY OF ALACHUA, PLANNING & COMMUNITY DEVELOPMENT, P.O. BOX 9, ALACHUA FL 32616. NOTICE IS GIVEN PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, THAT, IN ORDER TO APPEAL ANY DECISION MADE AT THE PUBLIC HEARING(S), YOU WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT, FOR SUCH PURPOSE, YOU MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS BASED. IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT, ANY PERSONS WITH A DISABILITY REQUIRING REASONABLE ACCOMMODATION IN ORDER TO PARTICIPATE IN THIS MEETING SHOULD CALL THE CITY CLERK AT (386) 418-6100 x 1501 AT LEAST 48 HOURS PRIOR TO THE PUBLIC HEARING(S).

IMPORTANT INFORMATION REGARDING POSTED NOTICE SIGNS

Pursuant to Section 2.2.9(D) of the City's Land Development Regulations, posted notice signs must be placed on the land that is the subject of the application, along each street which is adjacent to or runs through the land in a manner that makes them clearly visible. Signs shall be posted at intervals of not more than 400 feet when the land subject to the application has less than 1,500 feet of road frontage. When the land subject to the application has 1,500 feet or more of road frontage, signs shall be posted at intervals of not more than 1,320 feet.

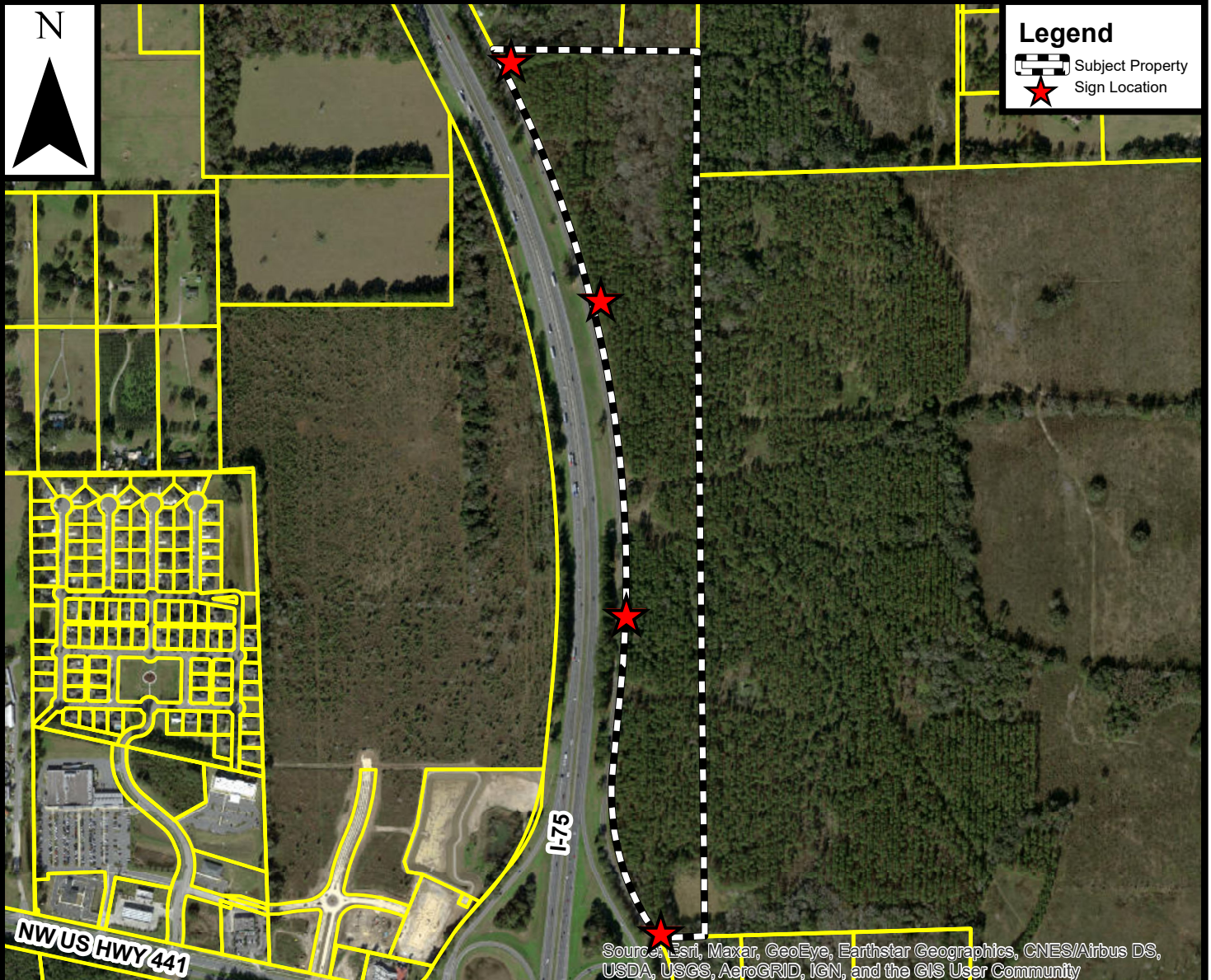
Signs shall be inspected by the City subsequent to their posting. The applicant shall be responsible for ensuring that the posted notice is maintained on the land subject to the application until the completion of the final public hearing on the application.

Signs must be removed by the applicant and returned to the City within ten days after the final decision on the application.



Tara April

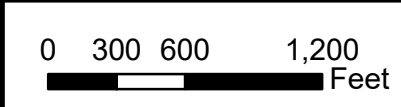
Special Exception Permit/Infrastructure Plan



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Prepared by the City of Alachua
 Planning & Community Development Department
 Prepared October 2025

DISCLAIMER: Data is provided "as is" without warranty of any representation of accuracy, timeliness, or completeness. The burden of determining accuracy, timeliness, or completeness for use rests solely on the requestor. The City makes no warranties, expressed or implied, as to the use of the data. The requestor acknowledges and accepts the limitations of the data, including the fact that the data is dynamic and in a constant state of maintenance, correction, and update.



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CITY OF ALACHUA
NOTICE OF LAND USE DEVELOPMENT ACTION
PUBLIC HEARING(S) ARE SCHEDULED TO CONSIDER THE FOLLOWING:
PROJECT NAME: Open Area Special Exception APPLICATION NO.: PSE 23-0002
APPLICATION TYPE: Special Exception CURRENT ZONING: RS-EQU/TH/EA
NATURE/SCOPE OF PROPOSAL: A Special Exception to allow for the placement of a storm water storage tank adjacent to the property
DATE OF PUBLIC HEARING(S): NOVEMBER 13 AT 6:00 PM
AT PM
AT PM
LOCATION OF PUBLIC HEARING(S):
ALACHUA CITY HALL - 15100 NW 142ND TERRACE
FOR MORE INFORMATION CONTACT:
CITY OF ALACHUA PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT
386-418-6121
planning@cityofalachua.com

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CITY OF ALACHUA
NOTICE OF LAND USE DEVELOPMENT ACTION
PUBLIC HEARING(S) ARE SCHEDULED TO CONSIDER THE FOLLOWING:
PROJECT NAME: IDEA APPL SPECIAL EXCEPTION APPLICATION NO.: PSE22-0002
APPLICATION TYPE: SPECIAL EXCEPTION CURRENT ZONING: AGRICULTURAL
NATURE/SCOPE OF PROPOSAL: A SPECIAL EXCEPTION TO ALLOW FOR THE PLACEMENT OF
A STORM WATER BASIN TO SUPPORT ADJACENT DEVELOPMENT ON PUD PARTY ZONED
COMMUNITY COMMERCIAL
DATE OF PUBLIC HEARING(S): NOVEMBER 13 AT 6:00 PM
AT PM
AT PM
LOCATION OF PUBLIC HEARING(S):
ALACHUA CITY HALL - 15100 NW 142ND TERRACE
FOR MORE INFORMATION CONTACT:
CITY OF ALACHUA PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT
386-418-6121
planning@cityofalachua.com

ALL INTERESTED PARTIES MAY APPEAR AT THE PUBLIC HEARING(S) TO BE HEARD WITH RESPECT TO THE APPLICATION, STAFF REPORT, AND RELATED MATERIALS ARE AVAILABLE FOR PUBLIC INSPECTION AT THE PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT, 15100 NW 142ND TERRACE, ALACHUA, FLORIDA. OR ANY PUBLIC HEARING OR MEETING. WRITTEN COMMENTS MAY BE MADE AT THE PUBLIC HEARING(S) OR COMMUNITY DEVELOPMENT DEPARTMENT, 15100 NW 142ND TERRACE, ALACHUA, FLORIDA. NOTICE IS GIVEN PURSUANT TO SECTION 163.018, FLORIDA STATUTES THAT IN ORDER TO APPEAL ANY DECISIONS MADE AT THE PUBLIC HEARING(S) YOU WILL NEED A RECORD OF THE PROCEEDINGS AND THAT FOR EACH PURPOSE YOU MAY NEED TO EMPLOY THE SERVICES OF A TRANSCRIBER OR TRANSLATOR. REASONABLE ACCOMMODATIONS IN ORDER TO PARTICIPATE IN THIS MEETING SHOULD BE CALLED TO THE CITY CLERK AT (386) 418-6121 AT LEAST 48 HOURS PRIOR TO THE PUBLIC HEARING(S).



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CITY OF ALACHUA
NOTICE OF LAND USE DEVELOPMENT ACTION

PUBLIC HEARING(S) ARE SCHEDULED TO CONSIDER THE FOLLOWING:

PROJECT NAME: TARA PEARL SPECIAL EXCEPTION APPLICATION NO.: PSE 23-0002
 APPLICATION TYPE: SPECIAL EXCEPTION CURRENT ZONING: AGRICULTURAL
 NATURE/SCOPE OF PROPOSAL: A SPECIAL EXCEPTION TO ALLOW FOR THE PLACEMENT OF A STOREWATER BASIN TO SUPPORT AGRICULTURAL DEVELOPMENT ON PROPERTY ZONED COMMUNITY COMMERCIAL

DATE OF PUBLIC HEARING(S): NOVEMBER 18 AT 6:00 PM
 _____ AT _____ PM
 _____ AT _____ PM

LOCATION OF PUBLIC HEARING(S):
 ALACHUA CITY HALL - 15100 NW 142ND TERRACE

FOR MORE INFORMATION CONTACT:
 CITY OF ALACHUA PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT
 386-418-6121
planning@cityofalachua.com

ALL INTERESTED PARTIES MAY APPEAR AT THE PUBLIC HEARING(S) AND BE HEARD WITH RESPECT TO THE APPLICATION/COPY OF THE PHYSICAL STUDY REPORT AND RELATED MATERIALS ARE AVAILABLE FOR PUBLIC INSPECTION BY THE PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT, 15100 NW 142ND TERRACE, ALACHUA, FLORIDA. ON ANY REGULAR BUSINESS DAY FROM 9:00 AM TO 5:00 PM. WRITTEN COMMENTS MAY BE SUBMITTED TO THE CITY OF ALACHUA PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT, 15100 NW 142ND TERRACE, ALACHUA, FLORIDA. PLEASE INCLUDE THE PROJECT NUMBER AND THE ADDRESS OF THE PROPERTY. COMMENTS SHOULD BE SUBMITTED AT LEAST 48 HOURS PRIOR TO THE PUBLIC HEARING(S). IF YOU ARE A PERSON WITH A DISABILITY AND NEED TO REQUEST ACCOMMODATIONS TO PARTICIPATE IN THIS MEETING, PLEASE CALL THE CITY CLERK AT (386) 418-6121 AT LEAST 48 HOURS PRIOR TO THE PUBLIC HEARING(S).



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CITY OF ALACHUA
NOTICE OF LAND USE DEVELOPMENT ACTION
PUBLIC HEARING(S) ARE SCHEDULED TO CONSIDER THE FOLLOWING:
PROJECT NAME: 10th St. Paved, Signal, Intersection APPLICATION NO: 156-21-0002
APPLICATION TYPE: Special Exception CURRENT ZONING: RS(1) GATED
NATURE/SCOPE OF PROPOSAL: A Special Exception to allow for the placement of a street lamp, traffic signal, and street lighting on the placement of Community Center
DATE OF PUBLIC HEARING(S): November 18 AT 6:00 PM
AT PM
AT PM
LOCATION OF PUBLIC HEARING(S):
ALACHUA CITY HALL - 15100 NW 14th TERRACE
FOR MORE INFORMATION CONTACT:
CITY OF ALACHUA PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT
386-418-6121
planning@cityofalachua.com



Bryan S. Thomas, AICP
Director of Planning & Community Development
Planning and Community Development Department

As Director Bryan oversees the operations of the Planning & Community Development and Code Enforcement Departments for the City of Alachua. Bryan strives to help the city attain its vision of providing a vibrant, growing and diverse community through the implementation of smart growth planning principals. Bryan worked in the private sector in economic development and real estate, and earned a master's degree in Urban & Regional Planning from Florida State University and a bachelor of arts degree from the University of Florida.

EDUCATION

University of Florida

Bachelor of Arts in Liberal Arts & Sciences,
Major in Economics, Minor in Philosophy
Graduated: 1989

Gainesville High School

High School Diploma
Graduated: 1981

Florida State University

Master of Urban and Regional Planning
Graduated: 1992

WORK EXPERIENCE

City of Alachua, FL | Director of Planning & Community Development | June 2025 to present

City of Lake City, FL | Principal Planner | Sept. 2024-June 2025

City of Newberry, FL, | Director of Planning & Economic Development | Jan. 2014-June 2025

North Central Florida Regional Planning Council, Gainesville, FL | Economic Development
Director | 2008-Dec. 2013

City of Jacksonville, FL, | Associate Planner | July 1992-1995

Apalachee Regional Planning Council, Tallahassee FL | Associate Planner | 1991-1993

PROFESSIONAL ORGANIZATIONS

American Planning Association | San Felasco Section, Florida Chapter
Fla. Redevelopment Association

CERTIFICATES AND OTHER SKILLS

American Institute of Certified Planners |

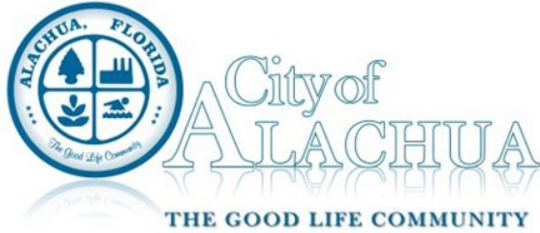
Jun 2025-Present

Fla. Society of Certified Public Managers |

Certified July 2023

Fla. Redevelopment Association |

Redevelopment Administrator (application
pending)



Commission Agenda Item

MEETING DATE: November 18, 2025

SUBJECT: Approve meeting minutes- October 14, 2025

PREPARED BY: Brenda Flieger

RECOMMENDED ACTION:

Approve meeting minutes- October 14, 2025

Summary

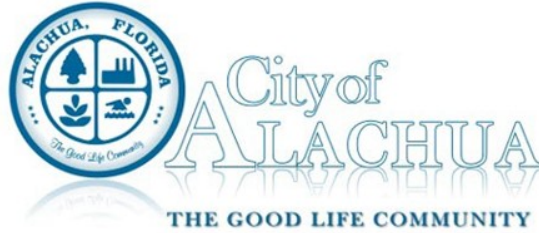
Approve meeting minutes- October 14, 2025

FINANCIAL IMPACT

ADDITIONAL FINANCIAL INFORMATION

ATTACHMENTS

1. 25.10.14.M.PZB



Regular Planning and Zoning Board Meeting Minutes
October 14, 2025 at 6:00 PM

Chair Sandy Burgess
Vice Chair Virginia Johns
Member Danielle J. Judd
Member Susan Sloan
Member William Smith
School Board Member Tina Certain

**City Manager Rodolfo
Valladares**
City Attorney Scott Walker

Meeting Location: James A. Lewis City Commission Chambers
15100 NW 142 Terrace
Alachua, FL 32615

Planning and Zoning Board Meeting

Notice given pursuant to Section 286.0105, Florida Statutes. In order to appeal any decision made at this meeting, you will need a verbatim record of the proceedings. It will be your responsibility to ensure such a record is made.

CALL TO ORDER

Sandy Burgess – Chair 6:00 p.m.

Tina Curtain, School Board Member – Absent
Susan Sloan – Member - Absent

INVOCATION

Led by Vice Chair Virginia Johns

PLEDGE TO THE FLAG

Led by Chair Burgess.

APPROVAL OF THE AGENDA

Vice Chair Johns moved to approve the agenda; seconded by Member Danielle Judd.

Motion passed by 4-0 vote.

I. OLD BUSINESS

II. NEW BUSINESS

A) APPROVE MEETING MINUTES- AUGUST 12, 2025

Member Judd moved to approve the minutes from the August 12, 2025 meeting; seconded by Member William Smith.

Motion passed by unanimous consent.

B) COMMUNITY PLANNING MONTH RECOGNITION

Carson Crockett, Principal Planner, presented.

Bryan Thomas, Director of Planning and Community Redevelopment, read the proclamation signed by Mayor Walter Welch.

C) ELECTION OF CHAIR AND VICE CHAIR

Vice Chair Johns nominated Sandy Burgess for Chair and William Smith for Vice Chair.

Nomination approved by unanimous consent.

III. BOARD COMMENTS/DISCUSSION

Chair Burgess asked Mr. Thomas if there would be a meeting in November. Mr. Thomas stated at this time, yes.

IV. CITIZENS COMMENTS

ADJOURN

Vice Chair Johns moved to adjourn; seconded by Member Smith.

Motion passed by unanimous consent.

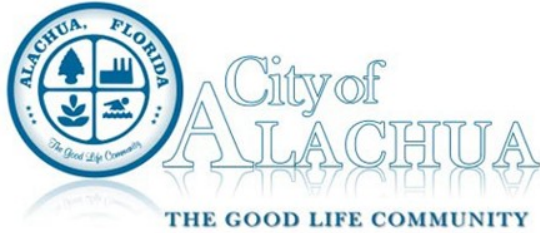
Chair Burgess adjourned the meeting. 6:17 pm.

ATTEST:

**PLANNING AND ZONING BOARD OF
THE CITY OF ALACHUA, FLORIDA:**

Presiding Officer

Staff Liaison



Board Agenda Item

MEETING DATE: November 18, 2025

SUBJECT: PSP25-0010 | San Felasco Tech City Phase 5 Site Plan - A request by Claudia Vega, P.E., of EDA Consultants, Inc., applicant and agent for The Laser Investment Group, LLC, property owner, for consideration of a Site Plan proposing the construction of three (3) nonresidential buildings totaling ±88,413 square feet, 20 attached residential units, ten (10) single family residential units, a ±3,140 square foot neighborhood recreation center, and a ±1,044 square foot amenity center on a ±13.23 acre subject property; Consisting of portions of Tax Parcel Numbers 05844-004-001 and 05855-005-000; FLUM: Corporate Park; Zoning: Corporate Park (CP). (Quasi-judicial Hearing)

PREPARED BY: Bryan Thomas

RECOMMENDED ACTION:

Staff recommends that the Planning & Zoning Board find the site plan application for The Laser Investment Group, LLC, to be consistent with the City of Alachua Comprehensive Plan and in compliance with the City of Alachua Land Development Regulations and approve the site plan.

Recommended Motion: I move that, based upon the competent substantial evidence, the presentation before this Board, and Staff's recommendation, this Board finds the site plan application for The Laser Investment Group, LLC, to be consistent with the City of Alachua Comprehensive Plan and in compliance with the City of Alachua Land Development Regulations and approves the Phase 5 site plan.

Summary

This application is a request by eda professional consultants, inc. (applicant/agent), on behalf of The Laser Investment Group LLC (property owner), for a site plan which proposes the construction of a ± 3,000 square foot amenity center/gym with associated recreational site improvements on a ± 1.9-acre parcel. The subject property is generally located Inside the San Felasco Tech City mixed-use development on NW 86th Drive. The site plan is located on a roadway with multiple points of ingress/egress to NW 86th Drive.

The site is within a master planned stormwater area and will be required to comply with all Alachua County stormwater level of service requirements. Additionally, the requirements of Suwannee River Water Management District, Florida Department of Environmental Protection, and Alachua County Environmental Protection Department will be met. The retention of

stormwater is anticipated to continue to meet or exceed the adopted level of service standard for drainage established within the City of Alachua Comprehensive Plan.

The development is proposing to connect to the existing master stormwater system for the San Felasco Tech City mixed-use development. The subject property falls within Phase 3 of the San Felasco Tech City master plan, which was approved for up to 675,152 square feet of impervious surface in 2019, and has an existing environmental resource permit (ERP 001-232301-3). The proposed Phase 5 project will add 42,159 square feet of impervious surface to the existing 404,806 currently used, leaving a remainder of 225,187 square feet of future impervious construction. Based on this information, the level of service (LOS) for stormwater facilities will not be degraded to an unacceptable level.

FINANCIAL IMPACT

None.

ADDITIONAL FINANCIAL INFORMATION

N/A.

ATTACHMENTS

- 1. Staff Report & Supporting Materials
- 2. Application Materials
- 3. Site Plan
- 4. Public Notice Materials
- 5. Resume on File - Bryan S. Thomas, AICP



City of Alachua

Planning & Community Development Department

Staff Report

Planning & Zoning Board Hearing Date:
Quasi-Judicial/Legislative Hearing

November 18, 2025
Application #: PSP25-0010

SUBJECT: A request for a site plan proposing the construction of a +/- 3,000 square foot amenity center/gym building with associated recreational site improvements

APPLICANT/AGENT: Claudia Vega, P.E., eda consultants, inc.

PROPERTY OWNER: The Laser Investment Group, LLC

LOCATION: Generally located within the San Felasco Tech City development on NW 86th Drive

PARCEL ID NUMBER: 05844-004-001 (a portion of)

FLUM DESIGNATION: Corporate Park

ZONING: Corporate Park (CP)

OVERLAY: N/A

ACREAGE: ± 1.9

PROJECT PLANNER: Bryan S. Thomas, AICP

RECOMMENDATION: Staff recommends that the Planning & Zoning Board find the site plan application for The Laser Investment Group, LLC, to be consistent with the City of Alachua Comprehensive Plan and in compliance with the City of Alachua Land Development Regulations and approve the site plan.

RECOMMENDED MOTION: *I move that, based upon the competent substantial evidence, the presentation before this Board, and Staff's recommendation, this Board finds the site plan application for The Laser Investment Group, LLC, to be consistent with the City of Alachua Comprehensive Plan and in compliance with the City of Alachua Land Development Regulations and approves the Phase 5 site plan.*

SUMMARY

This application is a request by eda professional consultants, inc. (applicant/agent), on behalf of The Laser Investment Group LLC (property owner), for a site plan which proposes the construction of a ± 3,000 square foot amenity center/gym with associated recreational site improvements on a ± 1.9-acre parcel. The subject property is generally located Inside the San Felasco Tech City mixed-use development on NW 86th Drive. The site plan is located on a roadway with multiple points of ingress/egress to NW 86th Drive.

The site is within a master planned stormwater area and will be required to comply with all Alachua County stormwater level of service requirements. Additionally, the requirements of Suwannee River Water Management District, Florida Department of Environmental Protection, and Alachua County Environmental Protection Department will be met. The retention of stormwater is anticipated to continue to meet or exceed the adopted level of service standard for drainage established within the City of Alachua Comprehensive Plan.

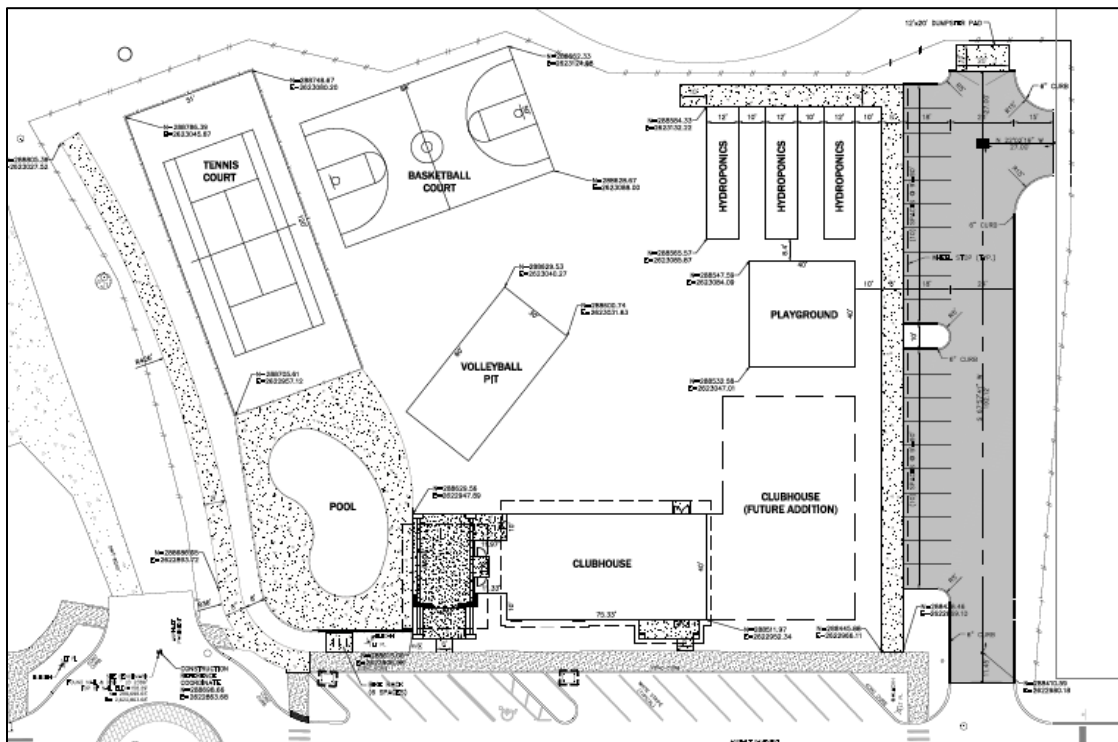


Figure 1. Proposed Site Plan Overview

The development is proposing to connect to the existing master stormwater system for the San Felasco Tech City mixed-use development. The subject property falls within Phase 3 of the San Felasco Tech City master plan, which was approved for up to 675,152 square feet of impervious surface in 2019, and has an existing environmental resource permit (ERP 001-232301-3). The proposed Phase 5 project will add 42,159 square feet of impervious surface to the existing 404,806 currently used, leaving a remainder of 225,187 square feet of future impervious construction. Based on this information, the level of service (LOS) for stormwater facilities will not be degraded to an unacceptable level.

EXISTING USES

The subject property is vacant cleared land in a Corporate Park zoned business park.

SURROUNDING USES

The existing uses, Future Land Use Map (FLUM) designations, and zoning districts of the surrounding area are identified in Table 1. Figure 2. provides an overview of the vicinity of the subject property. (NOTE: The information below is intended to provide a general overview of the area surrounding the subject property and to generally orient the reader. The information below is not intended to be all-inclusive, and may not identify all existing uses, FLUM designations, and/or zoning districts surrounding the subject property.)

Table 1. Surrounding Land Uses

Direction	Existing Use(s)	FLUM Designation(s)	Zoning District(s)
North	Vacant Mixed-use	Corporate Park	Corporate Park (CP)
South	Mixed-use Commercial	Corporate Park	Corporate Park (CP)
East	Stormwater Basin	Corporate Park	Corporate Park (CP)
West	Mixed-use Residential	Corporate Park	Corporate Park (CP)

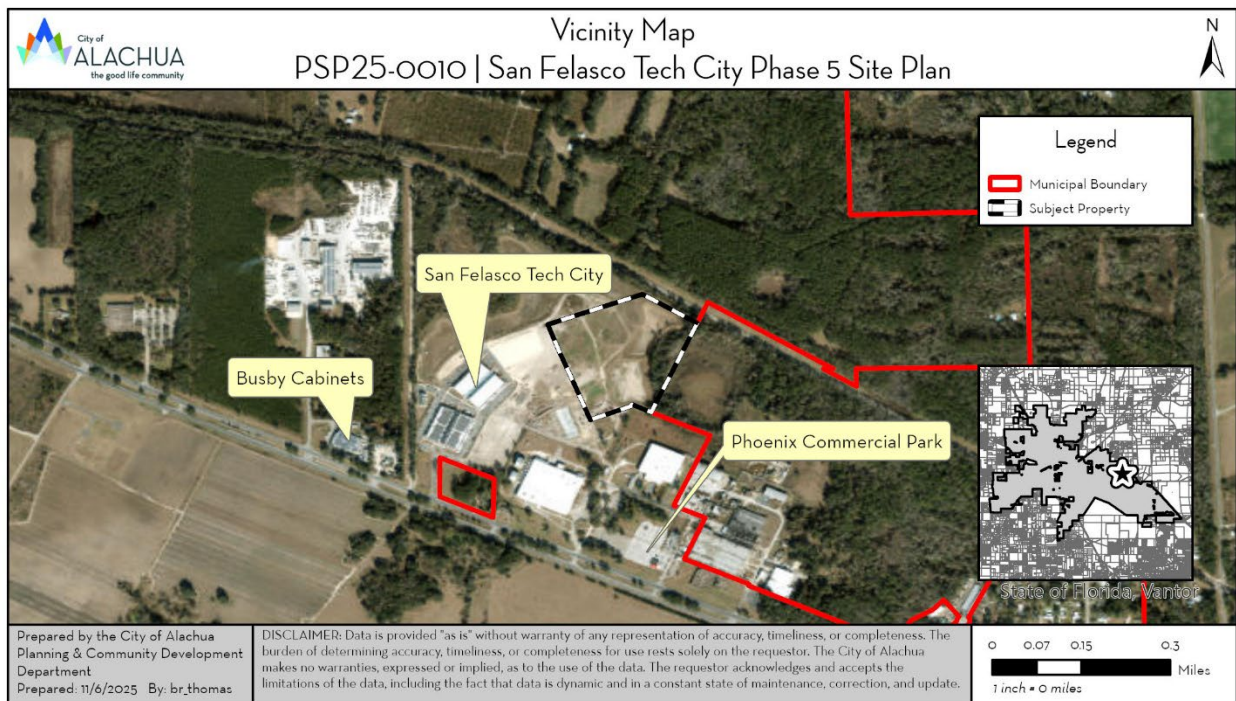


Figure 2. Vicinity Map

NEIGHBORHOOD MEETING

The purpose of a neighborhood meeting is to educate the owners of nearby land and any other interested members of the public about the project and to receive comments regarding the project. Neighborhood meetings are required for Site Plan applications.

A neighborhood meeting was held on Monday, June 23, 2025 at the Alachua Branch Library Meeting Room, 14913 NW 140th St., Alachua, FL 32615. As required by Section 2.4.4 of the City's Land Development Regulations, all property owners within 400 feet of the subject property were notified and notice of the meeting was published in a newspaper of general circulation. The applicant was available to answer questions. Materials submitted by the applicant indicate that the meeting was attended by no members of the public; therefore, it was adjourned after the 15-minute grace period.

COMPREHENSIVE PLAN CONSISTENCY ANALYSIS

The goals, objectives, and policies (GOPs) identified below are provided to establish a basis of the application's consistency with the Comprehensive Plan. There may be additional GOPs which the application is consistent with that are not identified within this report. An evaluation and findings of consistency with the identified GOPs is also provided below.

Future Land Use Element

Goal 1: Future Land Use Map 2035

The City shall maintain a Future Land Use Map in order to effectively guide development in a sustainable manner and to ensure economic prosperity and stability while maintaining a high quality of life for all of its present and future citizens, businesses, and visitors.

Objective 1.4: Corporate Park

The City shall establish Corporate Park as a mixed-use land use category. This land use category shall provide a range of research and development, technology and biotechnology industries, office, supporting retail, and limited residential uses located near major transportation corridors. The Corporate Park category is intended to:

1. provide appropriate locations for mixed use office-oriented development to promote and foster the growth of established industries within the City, including but not limited to research and development and technology and biotechnology, with provisions for a variety of residential uses; and,
2. provide a variety of employment opportunities to the citizens of Alachua and the North Central Florida Region.

Policy 1.4.a: The Corporate Park land use category may include office/business parks, biotechnology and other technologies, business incubators, a limited amount of retail sales and services, single-family and multi-family residential, live-work units, building industry uses, and accessory storage facilities (including

outdoor storage yards) either as allowed uses or with a special exception permit. Such uses shall be developed in a manner compatible with surrounding land uses, and to minimize potential nuisances or damage to the environment.

Policy 1.4.b: Development within the Corporate Park land use category should be designed in a campus-like or “corporate park” setting with generous, linked open space to maximize value and to promote visual quality and compatibility with the surrounding area. Pedestrian-friendly features, such as buildings placed near the street, sidewalks, and trails leading to nearby uses, such as retail and housing, is encouraged.

Evaluation & Findings: The subject property’s future land use category is Corporate Park. The proposed use of a 3,000 square foot building for use as a community amenity center (specifically, clubhouse/gym, pool, recreational sports courts) is an allowed use in the Corporate Park land use category. The use supports the objective of the Corporate Park future land use category by providing a range of recreational amenities to the residents and workers of the San Felasco Tech City development.

Policy 1.4.c: Non-residential Corporate Park uses shall be limited to an intensity of less than or equal to 0.50 floor area ratio (F.A.R.) for parcels 5 acres or greater, 0.75 F.A.R. for parcels less than 5 acres but greater than 1 acre, and 1.0 F.A.R. for parcels 1 acre or less.

Evaluation & Findings: The proposed site plan has a FAR of less than 0.75 and is therefore consistent with Policy 1.4.c.

Policy 1.4.e: Corporate Park uses shall be located and designed in such a manner as to prevent undesirable impacts to adjacent properties..

Evaluation & Findings: The proposed site plan has demonstrated compliance with the required buffer standards as established in Section 6.2.2 and Section 6.2.3 of the City’s Land Development Regulations.

Policy 1.4.f: The City shall develop performance standards for uses in the Corporate Park land use category in order to address the following:

1. Integration of vehicular and non-vehicular access into the site and access management features of site in terms of driveway cuts and cross access between adjacent sites, including use of frontage roads and/or shared access;

Evaluation & Findings: The proposed site plan includes sidewalks for non-vehicular access and has demonstrated compliance with the minimum required open space standards as established in Section 6.7 of the City’s Land Development Regulations, and exceeds the minimum 10% requirement.

2. Buffering from adjacent existing/potential uses and use of landscaping to create an integrated design

Evaluation & Findings: The proposed site plan has demonstrated compliance with buffering and landscaping requirements as required by the City of Alachua Land Development Regulations.

3. Open space provisions and balance of proportion between gross floor area and site size

Evaluation & Findings: The San Felasco Tech City overall development plan exceeds the requirements for open space, and the site plan for Phase 5 is less than the maximum FAR.

4. Adequacy of pervious surface area in terms of drainage requirements

Evaluation & Findings: The site has been evaluated to be consistent with the San Felasco Tech City stormwater management plan.

5. Placement of signage

Evaluation & Findings: There is no signage proposed at this time. Any future signage must be evaluated and approved separately.

6. Adequacy of site lighting and potential impacts of lighting upon the surrounding area. Lighting should be designed to minimize impacts and preserve the ambiance and quality of the nighttime sky by reducing light trespass and light pollution on adjacent properties by utilizing lighting at an appropriate intensity, direction and times to ensure light is not overused or impacting areas where it is not intended;

Evaluation & Findings: The proposed site plan has demonstrated compliance with the City of Alachua photometric requirements as specified in the Land Development Regulations.

7. Safety of on-site circulation patterns (patron, employee, and delivery vehicles), including parking layout and drive aisles, and points of conflict,

Evaluation & Findings: The propose site plan complies with interconnectivity requirements for vehicular and non-vehicular compatibility.

8. Landscaping, as it relates to the requirements of the Comprehensive Plan and Land Development Regulations.

Evaluation & Findings: The submitted landscaping plan complies with all buffering and landscaping requirements in the City of Alachua Land Development Regulations.

9. Unique site features and resources which may constrain site development, such as soils, existing vegetation and historic significance.

Evaluation & Findings: No such conditions exist on this site.

10. Performance based zoning requirements, which may serve as a substitute for or accompany land development regulations in attaining acceptable site design.

Evaluation & Findings: No additional performance based requirements apply to this site plan.

11. Commercial uses shall be limited to an intensity of less than or equal to .50 floor area ratio for parcels 10 acres or greater, .50 floor area ratio for parcels less than 10 acres but 5 acres or greater, a .75 floor area ratio for parcels less than 5 acres but greater than 1 acre, and 1.0 floor area ratio for parcels 1 acre or less.

Evaluation & Findings: The proposed site plan is below the maximum FAR allowed.

12. Complementary residential uses.

Evaluation & Findings: The proposed site plan will serve existing residential development in the San Felasco Tech City development, and does not include additional residential development.

Transportation Element

Objective 1.1: *Level of Service*

The City shall establish a safe, convenient, and efficient level of service standard for all motorized and non-motorized transportation systems.

Evaluation & Findings: Staff has prepared, and included within this report, a public facilities impact analysis. The proposed site plan is not anticipated to degrade the level of service of any affected roadway segment.

Policy 1.4.d: The City shall require pedestrian paths within subdivision and within new developments to be connected to paths outside the development.

Evaluation & Findings: The proposed site plan includes connectivity to existing sidewalks with the San Felasco Tech City development.

Policy 1.5.c: The City shall require new development and redevelopment which is compatible with an adjacent existing development(s) to interconnect with existing development (s) through one or more of the following methods:

1. Through the extension of a public or private street from the new development to the adjacent existing development or adjacent lands; and/or,
2. Through joint use of driveways and cross access agreements among adjoining properties to allow circulation between sites. Cross access between new development and existing development shall be configured

to provide safe and convenient interconnectivity between the new development and all other existing development located along the cross-access corridor.

Evaluation & Findings: The proposed site plan is located on existing internal streets in the San Felasco Tech City development.

Community Facilities Element

Policy 1.1.d: The City hereby establishes the following level of service standards for sanitary sewer facilities:

- a) *Quality:* Compliance with all applicable standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection (FDEP).
- b) *Quantity:* System-wide wastewater collection and treatment will be sufficient to provide a minimum of 250 gallons per day per equivalent residential unit (ERU) on an average annual basis. Plant expansion shall be planned in accordance with Rule 62-600.405, Florida Administrative Code, or subsequent provision.
- c) *System capacity:* If the existing demand and reserved capacity of the committed use of the City’s wastewater facility reaches 85% of the permitted capacity design, no further development orders for projects without reserved capacity will be issued until additional capacity becomes available or funds to increase facility capacity are committed in accordance with a development agreement.

Evaluation & Findings: Staff has prepared, and included within this report, a public facilities impact analysis. The proposed site plan is not anticipated to degrade the level of service of the City’s wastewater facilities.

Policy 2.1.a: The City hereby establishes the following level of service standards for solid waste disposal facilities for residential uses:

Facility Type	Level of Service Standard
Solid Waste Landfill	0.73 tons per capita per year

Evaluation & Findings: Staff has prepared, and included within this report, a public facilities impact analysis. The proposed site plan is not anticipated to degrade the level of service of the City’s solid waste facilities.

Policy 4.1.c: The City establishes the following level of service standards for potable water:

3. *Quality:* Compliance with all applicable standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection.
4. *Quantity:* System-wide potable water distribution and treatment will be sufficient to provide a minimum 275 gallons per day per equivalent residential unit (ERU) on an average annual basis.
5. *Capacity:* Plant expansion shall be planned in accordance with Florida Administrative Code. Additionally, if the existing demand and reserved capacity of the City's potable water facility reaches 85% of the permitted design capacity, no further development orders or permits for projects without reserved capacity will be issued until additional capacity becomes available or funds to increase facility capacity are committed in accordance with a development agreement.

Evaluation & Findings: Staff has prepared, and included within this report, a public facilities impact analysis. The proposed site plan is not anticipated to degrade the level of service of the City's potable water facilities.

Conservation and Open Space Element

Policy 1.3.d: The City shall require prior to development approval, an inventory of listed species for all new developments in areas identified as known habitat for listed species. The inventory shall include detailed information regarding type, quantity, location and habitat requirements for any listed species identified. De minimus threshold for properties required to complete the inventory shall be established in the City's Land Development Regulations.

Evaluation & Findings: Staff has prepared, and included within this report, an environmental conditions analysis. There are no concerns related to listed species or their habitat on the subject property. As such, a listed species inventory is not required prior to development approval.

Objective 1.10: *Wetlands*

The City shall protect and preserve wetland values and functions from adverse, human caused, physical and hydrological disturbances.

Evaluation & Findings: Staff has prepared, and included within this report, an environmental conditions analysis. There are no concerns related to wetlands on the subject property.

ENVIRONMENTAL CONDITIONS ANALYSIS

Wetlands

Wetlands are areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal conditions do support, a prevalence of vegetation typically adapted for life in saturated soil conditions. Wetlands generally include swamps, marshes, bogs, and similar areas.

Evaluation & Findings: There are delineated wetlands on the subject property; however, the portion of the parcel that comprises the Phase 5 site plan does not fall within those wetland areas.

Strategic Ecosystems

Strategic Ecosystems were identified by an ecological inventory project in a report prepared for Alachua County Department of Growth Management in 1987 and updated in 1996. The purpose of the inventory was to identify, inventory, map, describe, and evaluate the most significant natural biological communities in private ownership in Alachua County.

Evaluation & Findings: The subject property is not located within or adjacent to a strategic ecosystem; therefore, the development will have no impact upon any strategic ecosystems identified within the ecological inventory report.

Regulated Plant & Animal Species

The Florida Natural Areas Inventory (FNAI) has identified areas throughout the State of Florida which may contain good quality natural communities. This data layer is known as the Potential Natural Areas (PNA) data layer, and identifies privately owned lands that are not managed or listed for conservation purposes. These areas were delineated by FNAI scientific staff through interpretation of natural vegetation from 1988-1993 FDOT aerial photographs and from input received during Regional Ecological Workshops held for each regional planning council. These workshops were attended by experts familiar with natural areas in the region.

Potential Natural Areas were assigned ranks of Priority 1 through Priority 5 based on size, perceived quality, and type of natural community present. The areas included in Priority 5 are exceptions to the above criteria. These areas were identified through the same process of aerial photographic interpretation and regional workshops as the PNA 1 through 4 ranked sites, but do not meet the standard criteria.

Evaluation & Findings: No species identified as endangered, threatened, or of special concern are known to exist on the subject property. While the subject property has been prioritized as part of the Florida Natural Areas Inventory, since the inventory was taken, the subject parcel has been completely cleared. If a regulated plant or animal species is discovered, the development will be required to conform with the applicable policies and regulations established in the City of Alachua Comprehensive Plan and Land Development Regulations.

Soil Survey

The hydrologic soil group is an indicator of potential soil limitations. The hydrologic soil group, as defined for each specific soil, refers to a group of soils which have been categorized according to their runoff-producing characteristics. These hydrologic groups are defined by the Soil Survey of Alachua County, Florida, dated August 1985. The chief consideration with respect to runoff potential is the capacity of each soil to permit infiltration (the slope and kind of plant cover are not considered, but are separate factors in predicting runoff.) There are four hydrologic groups: A, B, C, and D. "Group A" soils have a higher infiltration rate when thoroughly wet and therefore have a lower runoff potential. "Group D" soils have a lower infiltration rate and therefore a higher runoff potential.

There are five soil types found within the subject property, shown in Table 2.

Table 2. Soil Types

Soil Type	Hydrologic Group	Drainage Class	Limitations		% of Subject Property (may not total to 100% due to rounding)
			Dwellings Without Basements	Small Commercial Buildings	
Chipley Sand; 0 - 2% Slopes	C	Somewhat Poorly/Moderately Well Drained	Moderate: Wetness	Moderate: Wetness	11.9
Tavares Sand; 0 - 5% Slopes	A	Moderately Well Drained	Slight	Slight	22.92
Bivans Sand; 2 - 5% Slopes	D	Poorly Drained	Severe: Wetness, Shrink-Swell	Severe: Wetness, Shrink-Swell	37.22
Millhopper Sand; 0 - 5% Slopes	A	Moderately Well Drained	Slight	Slight	24.33
Monteocha Sand; 0 - 2% Slopes	D	Very Poorly Drained	Severe: Ponding	Severe: Ponding	3.53

Evaluation & Findings: The soil type present on the subject property does not pose any significant limitations for development.

Flood Potential

Panel 12001C0140D of the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Series, dated June 16, 2006 indicates that the development area is in Flood Zone X (areas determined to be outside of the 500-year floodplain).

Evaluation & Findings: Since the subject property is located in Flood Zone X, there are no issues related to flood potential.

Karst-Sensitive Features

Karst sensitive areas include geologic features, such as fissures, sinkholes, underground streams, and caverns, and are generally the result of irregular limestone formations.

Evaluation & Findings: The subject property is not located within an area of high aquifer recharge as identified on the Suwannee River Water Management District’s High Aquifer Recharge Potential (HARP) map. No potential sink holes are known to exist on the site. No new stormwater management facilities are proposed.

Wellfield Protection Zones

Policy 7.2.1 of the Future Land Use Element of the City’s Comprehensive Plan establishes a 500-foot radius area around each city-owned potable water well.

Evaluation & Findings: The subject property is not located within a City of Alachua wellfield protection zone as identified on the City of Alachua Wellfield Primary Protection Zones Map of the City’s Comprehensive Plan; therefore, there are no issues related to wellfield protection.

Historic Structures/Markers and Historic Features

The State of Florida and the Alachua County Historic Resources Inventory identify historic structures in addition to the City’s Historic Overlay District, as established by Section 3.7 of the City’s Land Development Regulations.

Evaluation & Findings: The subject property is not within the City’s Historic Overlay District and the State of Florida and Alachua County Historic Resources Inventory note no historic structures or markers on the subject property.

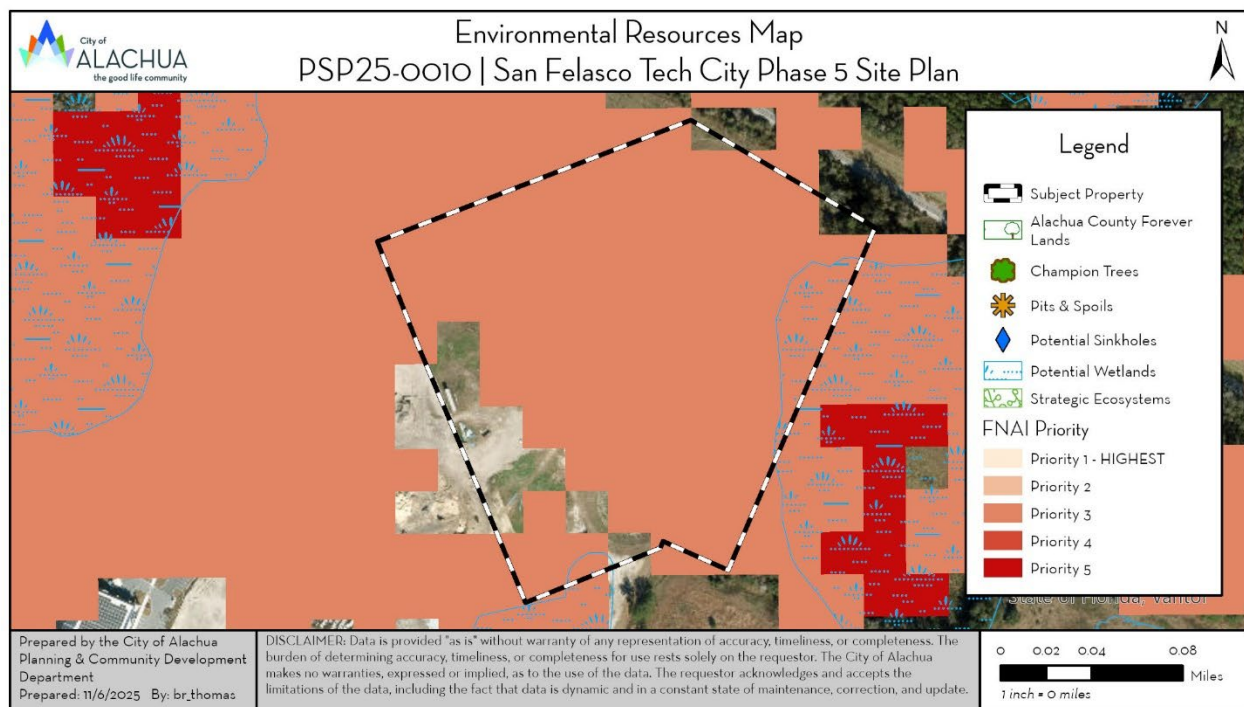


Figure 3. Environmental Resources Map

FINDINGS OF FACT: COMPLIANCE WITH LAND DEVELOPMENT REGULATIONS

Site Plan Standards

Section 2.4.9(E)(1) of the City's Land Development Regulations (LDRs) establishes the standards with which all site plans must be found compliant. The application has been reviewed for compliance with the standards of Section 2.4.9(E)(1). An evaluation of the findings of the applicant's compliance with the standards of Section 2.4.9(E)(1) is provided below.

- (1) ***Minor site plan and site plan standards.*** A minor site plan or site plan shall be approved only upon a finding the applicant demonstrates all the following requirements are met:
 - (a) ***Consistency with the Comprehensive Plan.*** The development and uses proposed by the minor site plan or site plan comply with the goals, objectives and policies of the Comprehensive Plan.

Evaluation & Findings: An evaluation of the application's consistency with the Comprehensive Plan has been included within this report. Staff has found the application to be consistent with the City of Alachua Comprehensive Plan.

- (b) ***Use allowed in zone district.*** The use is allowed in the zone district in accordance with Article 4, Use Regulations.

Evaluation & Findings: The use proposed use on the property of a recreational amenities center, is a permitted use in the Corporate Park (CP) zone district.

- (c) ***Zone district use specific standards.*** The development and uses proposed by the minor site plan or site plan comply with Section 4.3, Use specific standards.

Evaluation & Findings: There are no use specific standards for private parks, therefore this section does not apply. The horticultural containers that will be located on the site are subject to Land Development Regulation Administrator Interpretation PLDR25-0027.

- (d) ***Development and design standards.*** The development proposed by the minor site plan or site plan and its general layout and design comply with all applicable standards in Article 6, Development Standards.

Evaluation & Findings: The application has been reviewed for compliance with all relevant standards of Article 6, and finds the proposed site plan to be compliant. All staff review comments were addressed by the applicant and, therefore, there are no additional recommended conditions attached to the staff report.

- (e) ***Subdivision standards.*** In cases where a subdivision has been approved or is pending, the development proposed by the minor site plan or site plan and its general layout and design comply with all applicable standards in Article 7, Subdivision Standards.

Evaluation & Findings: No subdivision of land is proposed as part of this application; therefore, this standard is not applicable.

- (f) *Complies with all other relevant City laws, ordinances, regulations, requirements, and State and Federal laws and regulations.* The proposed development and use complies with all other relevant City laws, ordinances, regulations, requirements, and with all State and Federal laws and regulations.

Evaluation & Findings: The application complies with all other relevant City laws, ordinances, regulations, requirements, and State and Federal laws and regulations.

PUBLIC FACILITIES IMPACT ANALYSIS

Section 2.4.14 of the City’s Land Development Regulations (LDRs) establishes the standards for a Certificate of Concurrency Compliance which applies to all development orders unless exempted by Section 2.4.14(C). The application has been reviewed for impacts to roads, sanitary sewer, solid waste, stormwater management, potable water, and recreation facilities to ensure the application’s potential impacts do not negatively impact the level of service (LOS) for those public facilities.

Traffic Impact

The following impacts are expected on the roadway segments identified in Table 3-1.

Table 3-1. Affected Comprehensive Plan Roadway Segments¹

Segment Number ²	Segment Description	Lanes	Functional Classification	Area Type	LOS
4	US 441 (from CR 25A East Intersection to SR 235)	4/D	Principle Arterial	Comm	D
<p>¹ City of Alachua Comprehensive Plan, Transportation Element. ² For developments generating less than 1,000 trips, affected roadway segments are identified as all those wholly or partially located within 1/2 mile of the development’s ingress/egress, or to the nearest intersecting major street, whichever is greater [Section 2.4.14(H)(2)(a)of the LDRs].</p>					

Table 3-2. Projected Impact on Affected Comprehensive Plan Roadway Segment

Traffic System Category	Segment # 4	
	AADT	Peak Hour
Maximum Service Volume ¹	45,700	4,110
Existing Traffic ²	17,700	1,559
Reserved Trips ³	2,483	327
Available Capacity ³	25,517	2,224
Increase/Decrease in Trips Generated by Development ⁴	29	4
Residual Capacity	25,488	2,220
Residual Percentage of Permitted Design Capacity Utilized	44.2%	46.0%

¹ AADT & Peak Hour MSVs calculated using LOSPLAN 2012. County Facilities reflect a 10 percent reduction in the MSV calculated within LOSPLAN 2012 as set forth in the Generalized Tables for AADT / Peak Hour Volumes, FDOT 2018 Q/LOS Handbook.
² Florida Department of Transportation. (2025). *2024 Count Data*. Accessed via Florida Traffic Online April 2024.
³ Source: City of Alachua October 2025 Development Monitoring Report.
⁴ Trip Generation Formula: ITE Trip Generation 11th edition; Trip Distribution: Segment 4 - 100%.

Evaluation & Findings: The proposed site plan application is not anticipated to adversely impact the level of service of the affected roadway segments; therefore, the impacts are acceptable. A site plan is a final development order, and if approved, concurrency will be reserved.

Potable Water Impacts

Table 4 Potable Water Impacts

System Category	Gallons Per Day
Current Permitted Capacity ¹	2,300,000
Less Actual Potable Water Flows ¹	1,565,500
Reserved Capacity ²	338,499
Available Capacity	396,001
Increase/Decrease in Potable Water Demand from Application ³	800
Residual Capacity	395,201
Residual Percentage of Permitted Design Capacity Utilized	82.82%

¹ City of Alachua Public Services Department, April 2025
² City of Alachua October 2025 Development Monitoring Report
³ Formula: Warehouse: 100 gpd/bay (1), Office: 15 gpd/100 sq. ft. (875).

Evaluation & Findings: The proposed site plan application is not anticipated to adversely impact the level of service of the City’s potable water facilities; therefore, the impacts are acceptable. Note that Policy 4.1.c(3) of the Community Facilities Element of the City of Alachua Comprehensive Plan states if the existing demand and reserved capacity of the City’s potable water facility reaches 85% of the permitted design capacity, no further development orders or permits for projects without reserved capacity will be issued until additional capacity becomes available or funds to increase facility capacity are committed in accordance with a development agreement. Funds have been allocated in the Fiscal Year 2025 - 2029 Capital Improvements

Program to address capacity of potable water facilities; therefore, there are no issues related to exceeding the 85% design capacity. A site plan is a final development order, and if approved, concurrency will be reserved.

Sanitary Sewer Impacts

Table 5. Sanitary Sewer Impacts

System Category	Gallons Per Day
Treatment Plant Permitted Capacity ¹	1,500,000
Less Actual Treatment Plant Flows ¹	813,000
Reserved Capacity ²	314,385
Available Capacity	372,615
Increase/Decrease in Sanitary Sewer Demand from Application ³	800
Residual Capacity	321,045
Residual Percentage of Permitted Design Capacity Utilized	78.60%
¹ City of Alachua Public Services Department, April 2025 ² City of Alachua October 2025 Development Monitoring Report ³ Formula: Warehouse: 100 gpd/bay (1), Office: 15 gpd/100 sq. ft. (875).	

Evaluation & Findings: The proposed site plan application is not anticipated to adversely impact the level of service of sanitary sewer facilities; therefore, the impacts are acceptable. A site plan is a final development order, and if approved, concurrency will be reserved.

Solid Waste Impacts

Table 6. Solid Waste Impacts

System Category	Pounds Per Day	Tons Per Year
Existing Demand ¹	45,184.00	8,246.08
Reserved Capacity ²	26,736.11	4,879.34
Increase/Decrease in Demand Generated by Application ³	43.2	5.62
New River Solid Waste Facility Anticipated Capacity ⁴	30+ Years	
¹ Bureau of Economic & Business Research, University of Florida, Estimates of Population by County and City in Florida (2024); Policy 2.1.a, Community Facilities Element. Formula: 11,296 Persons x 0.73 tons per year. ² City of Alachua October 2025 Development Monitoring Report ³ Formula: Per Sincero and Sincero (1996). Environmental Engineering: A Design Approach. <i>Princeton Hall, New Jersey</i> . Formula: 12lbs/day per 1,000 square feet x 3,600 square feet ⁴ New River Solid Waste Association, April 2025.		

Evaluation & Findings: The proposed site plan application is not anticipated to adversely impact the level of service of solid waste facilities; therefore, the impacts are acceptable. A site plan is a final development order, and if approved, concurrency will be reserved.

Recreation Facilities

The proposed development is a nonresidential development; therefore, there are no impacts to recreation facilities. The development will have no impact to the Level of Service (LOS) of recreation facilities.

Public School Facilities

The proposed development is a nonresidential development; therefore, there are no impacts to public school facilities. The development will have no impact to the Level of Service (LOS) of public-school facilities.

Stormwater Management Facilities

The proposed site plan is located within part of Phase 3 of the San Felasco Tech City development, approved in 2019, and will convey stormwater to off-site stormwater management facilities as part of the San Felasco Tech City stormwater master plan. A stormwater management report was submitted by the applicant as part of the application materials and demonstrates compliance with the level of service standard for stormwater management facilities. No City maintained facilities are to be impacted by the site plan. The proposed site plan application is not anticipated to impact the level of service of public stormwater management facilities.

EXHIBIT "A "
TO
PSP25-0010
SAN FELASCO TECH CITY PHASE 5 SITE PLAN
STAFF REPORT

SUPPORTING MATERIALS
SUBMITTED BY CITY STAFF TO THE
PLANNING AND ZONING BOARD



June 30, 2025

City of Alachua
Planning and Community Development Department
PO Box 9
Alachua, FL 32616

**Re: San Felasco Tech City Phase 5
Site Plan Application**

The development plan proposes the construction of a community clubhouse with an attached pavilion, pool, tennis court, basketball court, volleyball pit, playground, and (3) hydroponics farm containers with associated paving, grading, drainage, and utility improvements. The project is located on an approximately 1.9 +/- acre portion of Alachua County Tax Parcel Number 05844-004-001 and will be Phase 5 of the previously permitted San Felasco Tech City development.

Included with this letter is all supporting information required for a development plan and civil plans showing the proposed facilities.

If you have any questions, please feel free to contact our office at any time.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Claudia Vega', is written over a faint, larger version of the same signature.

Claudia Vega, P.E.
Director of Engineering



FOR OFFICE USE ONLY	
Case #:	_____
Application Fee: \$	_____
Filing Date:	_____
Completeness Date:	_____
Review Type: P&Z or PZB & CCOM	

Site Plan Application

Reference City of Alachua Land Development Regulations (LDRs), Section 2.4.9

A. PROJECT

1. Project Name: San Felasco Tech City Phase 5 Site Plan
2. Pre-Application Conference Date: 5/15/25
3. Neighborhood Meeting Date: 6/23/25
4. Address of Subject Property: No address assigned
5. Parcel ID Number(s): portion of 05844-004-001
6. Existing Use of Property: Vacant
7. Future Land Use Map Designation: Corporate Park District (CP)
8. Zoning Designation: Corporate Park District
9. Acreage: 1.9 +/-
10. Total Existing Building Square Footage, if applicable: N/A
11. Total Existing Impervious Area (not including existing building area), if applicable: N/A
12. Total Building Square Footage Proposed: 3,956 SF
13. Total New Impervious Area Proposed (not including building area): 42,159 SF

B. APPLICANT

1. Applicant's Status Owner (title holder) Agent
2. Name of Applicant(s) or Contact Person(s): Claudia Vega, P.E. Title: Director of Engineering
 Company (if applicable): eda consultants, inc.
 Mailing address: 720 SW 2nd Ave, South Tower, Suite 300
 City: Gainesville State: FL ZIP: 32601
 Telephone: 352-373-3541 FAX: N/A e-mail: cvega@edafl.com
3. If the applicant is agent for the property owner*:
 Name of Owner (title holder): Mitch Glaeser, CEO of The Laser Investment Group LLC
 Mailing Address: 13300 TECH CITY CIRCLE
 City: Alachua State: FL ZIP: 32615

** Must provide an executed Authorized Agent Affidavit or other acceptable documentation (as deemed acceptable by the City in its sole discretion) authorizing the agent to act on behalf of the property owner.*

C. ADDITIONAL INFORMATION

1. Is there any additional contact for sale of, or options to purchase, the subject property? Yes No
 If yes, list names of all parties involved: _____
2. Has the applicant discussed possible utility/infrastructure fees with the Public Services Department?
 If no, contact the Public Services Department at 386-418-6140. Yes No

D. ATTACHMENTS

1. Site Plan. Sheet size shall be 24" X 36" with a 3" left margin and ½" top, bottom, and right margin.

Site Plan shall include:

- a. Name and location of project.
- b. Name and contact information (address, telephone, and email address) of property owner, developer (if applicable), and all professional consultants (i.e., landscape architect, photometric, electrical engineer, architect, etc.) for the project.
- c. Zoning of the subject property.
- d. Vicinity map - indicating general location of the site and major adjacent streets and all adjacent properties.
- e. Boundary and topographic survey. Survey shall be signed and sealed by the surveyor, and shall be no older than two (2) years.
- f. Complete legal description of the subject property.
- g. Statement of proposed uses.
- h. Location of the subject property in relation to adjacent properties.
- i. Date, north arrow, and graphic scale (not to exceed one (1) inch equal to 50 feet.)
- j. Area and dimensions of the subject property.
- k. Structures and major features – fully dimensioned – including setbacks from property lines and right-of-ways, distances between structures (if structures are within 25 feet of one another), floor area of each building, floor area ratio, and property lines.
- l. Location of all property lines, existing and proposed adjacent right-of-ways, sidewalks, curbs, and gutters.
- m. Distance between ingress and egress connections for the project and the ingress / egress connections for all contiguous properties and for properties on the opposite side of the road, measured from the interior radius of all ingress/egress connections.
- n. Location of all existing and proposed utilities (electric, potable water, sanitary sewer, gas, etc.) on the subject property, and on adjacent properties if located within 50 feet of the subject property, and within adjacent rights-of-way.
- o. Location of all existing and proposed fire hydrants.
- p. Location of all existing easements on the property and on adjacent properties if located within 50 feet of the subject property, and recording information for such easements.
- q. Location of all proposed easements (legal descriptions and sketches of all proposed easements shall be provided by the applicant following a review of proposed utility locations by Public Services).
- r. Location and dimensions of all existing and proposed vehicular parking spaces, dimensions of all drive aisles, and the angle of parking spaces.
- s. Location of all bicycle parking areas and specifications of bicycle racks.
- t. Location, dimensions, and vertical clearance of all off-street loading spaces, if required by Section 6.1 of the LDRs.
- u. Location and dimensions of all vehicle stacking spaces, if required by Section 6.1 of the LDRs.
- v. Vehicular parking calculations, indicating the minimum and maximum number of required spaces and the number of parking spaces provided (regular and accessible spaces) in accordance with Section 6.1 of the LDRs.
- w. Bicycle parking calculations, if required by Section 6.1 of the LDRs.
- x. Striping and signage for all traffic control devices.
- y. Landscape Plan, indicating the location, size, and design of required and proposed landscaped areas. Landscape Plans shall identify the following with sufficient detail and calculations to demonstrate compliance with Section 6.2.2 of the LDRs:
 - i. Location, identification of the species, and size of all existing trees.
 - ii. Required perimeter buffer areas.
 - iii. Parking lot perimeter landscaping.
 - iv. Parking lot interior landscaping.
 - v. Building façade landscaping.
 - vi. Calculation of landscaped areas (see Policy 2.4.a of the Comprehensive Plan Future Land Use Element).
 - vii. Calculation of open space provided (see Section 6.7 of the LDRs).
 - viii. Calculation of tree credits, if applicable. Calculations shall be as set forth in Sections 6.2.1(D)(4) and 6.2.2(D)(6) of the LDRs and shall be shown on the plan in tabular format (if tree credits are utilized, the Landscape Plan must identify in the landscape calculations where credit is applied).
 - ix. Tree protection detail in accordance with Section 6.2.1(D)(2) of the LDRs.
 - x. If tree removal is proposed, a tree survey, showing:
 - (a) Each tree proposed for removal;
 - (b) Each tree proposed for retention;
 - (c) The size and species (both common and scientific names) of all trees proposed for removal/retention;
 - (d) Location, size, and species of all new trees proposed to meet mitigation requirements. Mitigation trees must be shown on the plans and a list of all mitigation trees and calculation of required mitigation must be provided on the plan in tabular format.

- z. Location of waste receptacles and detail of waste receptacle screening, demonstrating compliance with Section 6.2.3(B) and, if within the Gateway Overlay District, with Section 3.7.2(C)(5)(c)(ii).
 - aa. Photometric Plan, demonstrating compliance with the applicable provisions of Section 6.4 of the LDRs.
 - bb. Location and size of any lakes, ponds, canals, or other waters and waterways, and required setbacks dimensioned on the plans from such waterways.
 - cc. For development consisting of a nonresidential use, except for single tenant retail sales and services uses greater than or equal to 20,000 square feet in area and except for use types within the industrial services, manufacturing and production, warehouse freight and movement, waste-related services, and wholesale sales use categories **not** located within 500 feet of the right-of-way of US Highway 441: Architectural plans demonstrating compliance with the design standards for business uses as provided in Section 6.8.2 of the LDRs. Architectural plans shall include:
 - i. Calculation of glazing of:
 - (a) the front façade;
 - (b) any facade facing a street;
 - (c) any façade facing a publicly-accessible parking area which is a part of the development and consisting of 15 percent or more of the minimum off-street parking required by Section 6.1.4(B) of the LDRs; and,
 - (d) any façade facing vacant land classified as CSV, A, RSF-1, RSF-3, RSF-4, RSF-6, RMH-5, RMH-P, RMF-8 or RMF-15, or lands containing existing residential uses.
 - ii. Calculation of the area of all façades subject to glazing.
 - iii. Detail on the architectural plans depicting façade massing or a massing alternative as defined in Section 6.8.2(A)(2)(b).
 - iv. Identification of each material utilized in each façade and the percentage of the total area of the façade for each material used.
 - dd. For development consisting of a nonresidential use where a single retail services tenant is greater than or equal to 20,000 square feet in area: Architectural plans demonstrating compliance with the design standards for single tenant retail sales and service uses greater than or equal to 20,000 square feet in area as provided in Section 6.8.3 of the LDRs. Architectural plans shall include:
 - i. Color plans depicting the color of all materials used in the façade.
 - ii. Identification of each material utilized in each façade and the percentage of the total area of the façade for each material used.
 - iii. Calculation of glazing of:
 - (a) the front façade;
 - (b) any facade facing a street;
 - (c) any façade facing a publicly-accessible parking area which is a part of the development and consisting of 15 percent or more of the minimum off-street parking required by Section 6.1.4(B) of the LDRs; and,
 - (d) any façade facing vacant land classified as CSV, A, RSF-1, RSF-3, RSF-4, RSF-6, RMH-5, RMH-P, RMF-8 or RMF-15, or lands containing existing residential uses.
 - iv. Calculation of the area of all façades subject to glazing.
 - v. If a glazing alternative as defined in Section 6.8.3(A)(2)(a)(iv) is used, calculation of area of alternative materials used or identification of other architectural features meeting the requirements of Section 6.8.3 of the LDRs.
 - vi. Detail on the architectural plans depicting façade massing or a massing alternative as defined in Section 6.8.2(A)(2)(b) of the LDRs.
 - ee. For development consisting multi-family residential uses and/or a mobile home park:
 - i. Gross acreage.
 - ii. Number of dwelling units proposed.
 - iii. Density.
 - iv. Location and percentage of total open space and recreation areas.
 - v. Floor area of each dwelling unit.
 - vi. Number of proposed parking spaces.
 - vii. Street layout, if applicable.
 - viii. Layout of mobile home stands (for mobile home parks only).
 - ix. City of Alachua Public School Student Generation Form.
2. Stormwater management plan - including the following:
 - a. Plans showing existing contours at one (1) foot intervals based on U.S. Coastal and Geodetic Datum.
 - b. Proposed finished floor elevation of all buildings.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Drainage calculations.
 3. Fire Department Access and Water Supply Plan. All fire protection plans are subject to review and approval by the Alachua County Fire Marshal and City of Alachua Public Services Department. Fire Department Access and Water Supply Plan shall include:
 - a. Plans prepared by a professional engineer licensed in the State of Florida.

- b. Fire flow calculations for each newly constructed building. Calculations shall be performed in accordance with Chapter 18, Section 18.4 of the Florida Fire Prevention Code.
 - c. Documentation from the water purveyor stating the available flow to the subject property.
4. Concurrency Impact Analysis showing the impact on public facilities, including potable water, sanitary sewer, transportation, solid waste, recreation, stormwater, and public schools (if applicable) in accordance with Section 2.4.14 of the LDRs.
 5. Analysis of Consistency with the City of Alachua Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies and describe in detail how the application complies with the noted Goal, Objective, or Policy).

For commercial/corporate park/industrial projects: In addition to submitting specific written information regarding the development's compliance with the relevant Goals, Objectives, and Policies of the City of Alachua Comprehensive Plan, a response to the design and performance standards as provided in Policy 1.3.d (for commercial projects), Policy 1.4.f (for corporate park projects), or Policy 1.5.d (for industrial projects) of the Future Land Use Element:

The following criteria shall apply when evaluating commercial/corporate park/industrial development proposals:

1. Integration of vehicular and non-vehicular access into the site and access management features of site in terms of driveway cuts and cross access between adjacent sites, including use of frontage roads and/or shared access;
 2. Buffering from adjacent existing/potential uses;
 3. Open space provisions and balance of proportion between gross floor area and site size;
 4. Adequacy of pervious surface area in terms of drainage requirements;
 5. Placement of signage;
 6. Adequacy of site lighting and intrusiveness of lighting upon the surrounding area;
 7. Safety of on-site circulation patterns (patron, employee and delivery vehicles), including parking layout and drive aisles, and points of conflict;
 8. Landscaping, as it relates to the requirements of the Comprehensive Plan and Land Development Regulations;
 9. Unique features and resources which may constrain site development, such as soils, existing vegetation and historic significance; and
 10. Performance based zoning requirements, which may serve as a substitute for or accompany land development regulations in attaining acceptable site design.
 11. Commercial/Corporate Park/Industrial uses shall be limited to an intensity of less than or equal to 0.50 floor area ratio for parcels 10 acres or greater, 0.50 floor area ratio for parcels less than 10 acres but 5 acres or greater, a 0.75 floor area ratio for parcels less than 5 acres but greater than 1 acre, and 1.0 floor area ratio to parcels 1 acre or less.
 12. Complementary residential uses (corporate park only).
6. **For Site Plans for Buildings Less than 80,000 Square Feet in Area:** One (1) set of mailing labels for all property owners within 400 feet of the subject property boundaries – even if property within 400 feet falls outside of City limits (obtain from the Alachua County Property Appraiser's web site) – and all persons/organizations registered to receive notice of development applications (current list may be obtained from the Planning & Community Development Department).
For Site Plans for Buildings Greater than or Equal to 80,000 Square Feet in Area: Two (2) sets of mailing labels for all property owners within 400 feet of the subject property boundaries – even if property within 400 feet falls outside of City limits (obtain from the Alachua County Property Appraiser's web site) – and all persons/organizations registered to receive notice of development applications (current list may be obtained from the Planning & Community Development Department).
7. Neighborhood Meeting Materials, including:
 - i. Copy of the required published notice (advertisement) – must be published a newspaper of general circulation, as defined in Article 10 of the City's LDRs;
 - ii. Copy of written notice (letter) sent to all property owners within 400 feet and to all persons/organizations registered with the City to receive notice, and a copy of the mailing labels or a list of those who received written notice; and,
 - iii. Written summary of meeting – must include (1) those in attendance; (2) a summary of the issues related to the development proposal discussed; (3) comments by those in attendance about the development proposal; and, (4) any other information deemed appropriate.
 8. Legal description: (1) on 8.5" x 11" paper; and (2) electronic file in Word format.
 9. Proof of ownership (i.e., copy of deed.)

10. Proof of payment of taxes.
11. Traffic Impact Analysis or Statement, as deemed applicable to the project by the City of Alachua in its sole discretion.
12. Environmental Assessment or Study, as deemed applicable to the project by the City of Alachua in its sole discretion.
13. Environmental Resource Permit (or Letter of Exemption) from the Suwannee River Water Management District (SRWMD) or Self-Certification for a Stormwater Management System in Uplands Serving Less than 10 Acres of Total Project Area and Less than 2 Acres of Impervious Surfaces from the Florida Department of Environmental Protection (FDEP) pursuant to Section 403.814(12), Florida Statutes (or documentation which shows a permit application/exemption/self-certification has been submitted to SRWMD or FDEP).
14. If access is from a County Road, access management permit from Alachua County Public Works (or documentation which shows a permit application has been submitted).
15. If access is from a State Road, access management permit from Florida Department of Transportation (or documentation which shows a permit application has been submitted).
16. **Fee.** Please see fee schedule for fee determination. No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any costs associated with outside professional consulting services deemed necessary by the City in its sole discretion will be billed to the applicant at the rate of the consultant. The invoice for such services shall be paid in full prior to any public hearing(s) on the application.

All applicable attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

Under penalty of perjury, I/we certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge.

Claudia Vega
 Signature of Applicant

Claudia Vega, Director of Engineering

Typed or printed name and title of applicant

 Signature of Co-applicant

N/A

Typed or printed name and title of co-applicant

STATE OF FLORIDA
 COUNTY OF ALACHUA

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 30th

day of June, 2025, by Claudia Vega who executed the same

and has _____ produced _____ as identification or is personally known to me.

Ashley Scannella
 Signature of Notary

Print Name: Ashley Scannella

Notary Public, State of Florida

My Commission Expires: 4/10/27



Ashley Scannella
 Comm.: HH 384895
 Expires: April 10, 2027
 Notary Public - State of Florida

Authorized Agent Affidavit

A. PROPERTY INFORMATION

Address of Subject Property: No address assigned
 Parcel ID Number(s): portion of 05844-004-001
 Acreage: 50.15 +/-

B. PERSON PROVIDING AGENT AUTHORIZATION

Name: Mitch Glaeser Title: CEO
 Company (if applicable): THE LASER INVESTMENT GROUP LLC
 Mailing Address: 13300 TECH CITY CIRCLE
 City: ALACHUA State: FL ZIP: 32615
 Telephone: (352) 538-0072 FAX: N/A e-mail: mitch@glaeseronline.com

C. AUTHORIZED AGENT

Name: Claudia Vega, P.E. Title: Director of Engineering
 Company (if applicable): eda consultants, inc.
 Mailing address: 720 SW 2nd Ave, South Tower, Suite 300
 City: Gainesville State: FL ZIP: 32601
 Telephone: 352-373-3541 FAX: N/A e-mail: cvega@edafll.com

D. REQUESTED ACTION:

Construction of community clubhouse with attached pavilion and pool, tennis court, basketball court, volleyball pit, playground,
(3) hydroponics farm containers with associated paving, grading, drainage, and utility improvements

I hereby certify that I am the property owner of record, or I have received authorization from the property owner of record to file an application for a development permit related to the property identified above. I authorize the agent listed above to act on my behalf for purposes of this application.

Mitch Glaeser

Signature of Applicant

Mitch Glaeser
 Typed or printed name and title of applicant

 Signature of Co-applicant

 Typed or printed name of co-applicant

State of Florida County of Alachua

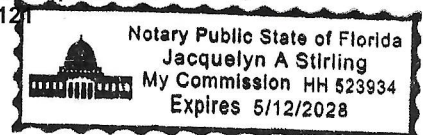
The foregoing application is acknowledged before me this 26 day of June, 2025 by Mitch Glaeser

_____, who is/are personally known to me, or who has/have produced _____ as identification.

NOTARY SEAL

Jacquelyn A Stirling
 Signature of Notary Public, State of Florida

City of Alachua ♦ Planning and Community Development Department
 PO Box 9 ♦ Alachua, FL 32616 ♦ (386) 418-6121
 Revised 9/30/2014





Worksheet for Trip Generation

Project Name :	San Felasco Tech City Phase 5
Customer / Builder Name :	Laser Investment Group, LLC
Property Address :	13900 Tech City Circle

PROPOSED

PROPOSED: COMMUNITY CLUBHOUSE
 ITE LAND USE: 495 - RECREATIONAL COMMUNITY CENTER
 SOURCE: ITE TRIP GENERATION, 11TH EDITION

3,212 SF

PERIOD	RATE	PER UNIT	TRIPS	TRIP DISTRIBUTION		PROJECT TRIPS	
				ENTER	EXIT	IN	OUT
AM	1.85	3.21	5.94	63%	37%	3.74	2.20
PM	2.53	3.21	8.13	47%	53%	3.82	4.31
ADT	28.82	3.21	92.57	50%	50%	46.28	46.28

06/30/2025



Worksheet for Needed Fire Flow

Project Name: San Felasco Tech City Phase 5
 Owner/Developer: Laser Investment Group, LLC
 Property Address: 13900 Tech City Circle, Alachua, FL 32615

NFPA Calculation

Fire Flow Area (SF)	=	3,212
Occupancy Class	=	A-3
Construction Type	=	II (000)
Sprinkler System	=	Yes
Required Fire Flow Per NFPA	=	1,500 gpm
Flow Duration (hours)	=	2
Sprinkler Reduction, per 18.4.5.2.1	=	75%
Reduction per 18.4.5.2.1		1,125 gpm
Needed Fire Flow	=	375 gpm
(Resulting Fire Flow shall not be less than 1,000 gpm)		

REQUIRED Needed Fire Flow	1,000	gpm
----------------------------------	--------------	------------

06/30/2025

ISO Needed Fire Flow (NFF) Worksheet

(Page references are to the appropriate sections in the ISO Guide for Determination of Needed Fire Flow)

Petition Number:		Date:	6/27/2025
Project:	San Felasco Tech City Phase 5	Engineer:	QH
Location:	13900 Tech City Circle Alachua, FL	Checked By:	CSV

Subject Building

Construction Class (p. 4): Noncombustible Construction ▼ **construction coefficient (F) (p. 2):** 0.8

Area of largest floor in the building (if modifications are made for division walls (p. 8), the division walls must be shown on the site plan.): 3212 sq.ft.

Total area of all other floors (if modifications are made for division walls (p. 8), the division walls must be shown on the site plan.): 0 sq. ft.

Effective Area (A_i) (p. 9) : 3,212 sq. ft. (Show calculations below)

Single story building

Needed Fire Flow attributed to construction (C_i) (per formula (p. 2)): 816.1129334

(Round to the nearest 250 gpm. See p. 10 for maximum and minimum values of C_i)

Type of Occupancy: Noncombustible (C-1) ▼ **Occupancy Factor (O_i) (p. 11):** 0.75

Exposures (p. 16)

Front: construction of facing wall of exposure building (p. 4): ▼

Distance (ft.) to the exposure building: ▼	Length of exposure wall: ▼
Number of stories of exposure wall: ▼	Length x number of stories: 0
Opening Protection in exposure wall: ▼	
Factor for exposure (X _i) from Table 330.A (p. 17): 0	

Back: construction of facing wall of exposure building (p. 4): ▼

Distance (ft.) to the exposure building: ▼	Length of exposure wall: ▼
Number of stories of exposure wall: ▼	Length x number of stories: 0
Opening Protection in exposure wall: ▼	
Factor for exposure (X _i) from Table 330.A (p. 17): 0	

Left: construction of facing wall of exposure building (p. 4): ▼

Distance (ft.) to the exposure building: ▼	Length of exposure wall: ▼
Number of stories of exposure wall: ▼	Length x number of stories: 0
Opening Protection in exposure wall: ▼	
Factor for exposure (X _i) from Table 330.A (p. 17): 0	

Right: construction of facing wall of exposure building (p. 4): ▼

Distance (ft.) to the exposure building: ▼	Length of exposure wall: ▼
Number of stories of exposure wall: ▼	Length x number of stories: 0
Opening Protection in exposure wall: ▼	
Factor for exposure (X _i) from Table 330.A (p. 17): 0	

Communications (p. 18)

Passageway Opening Protection:		▼
Construction class of communication (Table 330.B) :		▼
Is communication open or enclosed?		▼
Length of communication (in feet):		▼
Factor for Communications (P _i) from Table 330.B on p.19):	0	

Calculation of Needed Fire Flow (p. 1)

$NFF = (C_i)(O_i)[1.0 + (X + P)_i]$ (substitute values as determined above. For exposures and communications use the single side with the highest charge.)

$$NFF = 750 \times 0.75 \times [1 + (0 + 0)]$$

$$NFF = 562.5 \text{ gpm}$$

$$NFF = 500 \text{ gpm (rounded to nearest 250 gpm per ISO requirements)}$$

Note: ISO evaluates hydrant distribution by examining the number and type of hydrants within 1,000 feet of each representative building. They also look at the distance from each such hydrant to the subject building, measured as apparatus can lay hose.

Hydrants with at least one large pumper outlet may receive credit for up to 1,000 gpm. Hydrants with at least two hose outlets, but no pumper outlet, may receive credit for up to 750 gpm. And hydrants with only one hose outlet may receive credit for up to 500 gpm.

Hydrants within 300 feet of the subject building may receive credit for up to 1,000 gpm (but not more than the credit that would apply based on the number and type of outlets). Hydrants from 301 feet to 600 feet from the subject building may receive credit for up to 670 gpm (but not more than the credit that would apply based on the number and type of outlets). And hydrants from 601 feet to 1,000 feet from the subject building receive credit for 250 gpm. Under certain circumstances, when all fire department pumpers carry sufficient large-diameter hose, ISO may allow maximum credit for hydrants up to 1,000 feet from the subject building.

More than one fire hydrant may be required for proper distribution of water per ISO requirements.



Worksheet for Commercial Water Meter Sizing

Project Name : San Felasco Tech City Phase 5
Customer / Builder Name : Laser Investment Group, LLC
Property Address : 13900 Tech City Circle

Type	Requirement Per GRU/64E-6 (GPD)	Quantity	Units	Total (GPD)
Clubhouse - Per bathroom	200.00	4	each	800
TOTAL DEMAND				800
Peaking Factor				2.5
Operating Period (hrs)				16
Peak Demand				2 gpm
TOTAL DEMAND				2 gpm
NEEDED WATER METER SIZE			5/8" Water Meter	

06/30/2025

DRAINAGE MEMORANDUM
for
San Felasco Tech City Phase 5



Engineer of Record:
Claudia Vega, PE
Cert. No. 51532

Project Designer:
Quentin Humeau, PE

Submitted to:
Suwannee River Water
Management District
City of Alachua

Submitted:
June 26, 2025



DRAINAGE MEMORANDUM

Prepared for

San Felasco Tech City Phase 5

This item has been digitally signed and sealed by
Claudia Vega, PE on the date adjacent to the seal.

Printed copies of this document are not considered
signed and sealed and the signature must be verified
on any electronic copies.

Professional Engineer of Record:

06/30/2025

Claudia Vega, PE
Cert. No. 51532

TABLE OF CONTENTS

Contents

Drainage Memorandum

Attachments

Attachment A San Felasco Tech City Master Drainage Map



Stormwater Memorandum

TO: Suwannee River WMD **DATE:** 6/26/2025
FROM: Claudia Vega, PE
SUBJECT: San Felasco Tech City Phase 5 Stormwater Compliance

The existing master stormwater system is currently permitted as Phase 3 of the San Felasco Tech City development, under Permit Number ERP-001-232301-3, approved on 12/05/2019. Phase 4 of the development was permitted under ERP-001-232301-4 on 07/20/2022. The proposed Phase 5 development consists of the construction of a community clubhouse with an attached pavilion and pool, tennis court, basketball court, volleyball pit, playground, and (3) hydroponic farms.

The entirety of Phase 5 is proposed within Drainage Area 3 (See Attachment A). Drainage Area 3 was designed to accommodate a total impervious area of 675,152 SF. Phase 3 proposed 245,593 SF of impervious in Drainage Area 3, and Phase 4 added another 159,213 SF, totaling 404,806 SF and leaving another 270,346 SF of potential future impervious to be added.

This project proposes the addition of 42,159 SF of impervious, bringing the Drainage Area 3 total to 446,965 SF of impervious, and leaving another 228,187 SF of potential future impervious to be added.

Drainage Area	Impervious Area (SF)					Allowed	Remaining
	Phase 3	Phase 4	Total existing	Proposed Phase 5	Total Proposed		
3	245,593	159,213	404,806	42,159	446,965	675,152	228,187

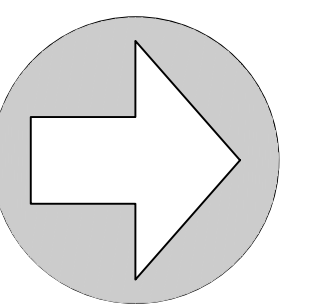
Attachment A

San Felasco Tech City Master Drainage Map



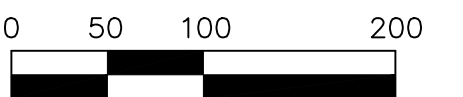
engineers • surveyors • planners

EB 2389
 2404 N.W. 43rd ST. GAINESVILLE, FLORIDA 32606-6602
 TEL. (352) 373-3541 FAX. (352) 373-7249
 www.edatl.com mail@edatl.com



NORTH

SCALE: 1" = 100'



GRAPHIC SCALE

No.	Date	Comment

Professional Engineer of Record:

Engineer Certificate No.

Project No: 19-046

Project phase: CONCEPTUAL

Project title:
 SAN FELASCO TECH CITY
 CITY OF ALACHUA,
 FLORIDA

Sheet title:
 MASTER CONCEPT PLAN

Designed: SJR

Sheet No.:

Drawn: MAB/TAR

POST

Checked: TAR

Date: 10/07/19



Countywide Stormwater Code Affidavit of Compliance.

Instructions: Complete and submit this form for all activities that involve the construction of a stormwater management system. Please submit this form, along with the other required documents as listed in Sec. 77.28 of the Alachua County Code.

Part 1. Applicant Information

Applicant or Owner Name: Claudia Vega, P.E.

Phone Number: 352-373-3541

Company Name: eda consultants inc.

Email Address: cvega@edafl.com

Company Address: 720 SW 2nd Ave, South Tower, Suite 300, Gainesville, FL 32601

Registered Professional Name: Claudia Vega, P.E.

Phone Number: 352-373-3541

Company Name: eda consultants inc.

Email Address: cvega@edafl.com

Company Address: 720 SW 2nd Ave, South Tower, Suite 300, Gainesville, FL 32601

Part 2. Project Location Information

Project Name: San Felasco Tech City Phase 5

Tax Parcel: portion of 05844-004-001

Project Location (Unincorporated Alachua County or Municipality): City of Alachua

Note: For projects located in Municipalities submittal of this form is a self-certification of compliance. An acknowledgement of receipt will be sent once all required documents are provided. This acknowledgement is not a review of the submitted materials. Projects in Unincorporated Alachua County will be reviewed pursuant to Sec. 77.27 of the Alachua County Code.

Part 3. Stormwater Discharge Information

Watershed Name:

Waterbody ID Number (WBID#):

Stormwater Discharge Locations Please Check all That Apply
<input type="checkbox"/> Project Discharges Offsite as Surface Flow
<input type="checkbox"/> Project Discharges Directly to Outstanding Florida Water
<input type="checkbox"/> Project is in the Watershed of a Waterbody Listed as Impaired for Nutrients or has a Nutrient TMDL
<input checked="" type="checkbox"/> Project Infiltrates to Groundwater
<input type="checkbox"/> Project is in the Sensitive Karst Area

Please briefly describe the Best Management Practices used:

An existing master stormwater system

Part 4. Exemption and Waiver Information

If applicable, Please list the exemption(s) this project qualifies for under Sec. 77.25 of the Alachua County Code. Supporting Documentation may be required:

Exemption 6.9.3 (C) (1) (d) The connection of a system to an existing permitted system, provided the existing system has been designed to accommodate the proposed system.

If applicable, Please describe the waiver you are requesting under Sec. 77.26 of the Alachua County Code. Supporting documentation is required:

Part 5. Signatures

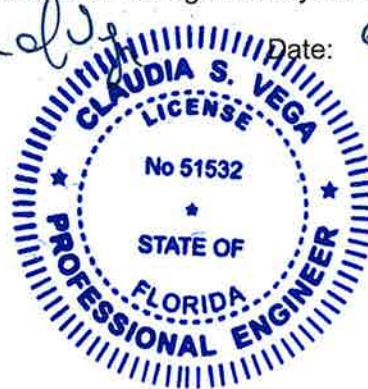
I authorize Alachua County, and its agents and contractors, to enter the property for the purpose of verifying compliance. If the property is sold and/or the entity responsible for operation and maintenance of the stormwater management system, the Property Owner will notify the Alachua County Environmental Protection Department within 30 calendar days of the sale or change in operation and maintenance entity. Failure to comply may result in enforcement action using the provisions of Alachua County Code Chapter 24 or any other remedy available by law or equity.

Applicant/Owner Signature: *Claudia Vega* Date: *6/30/25*

I hereby certify that the above referenced project meets, or is exempt from, the requirements of the Alachua County Code Chapter 77, Article III Stormwater Treatment Code. I further certify that the Operation and Maintenance requirements have been provided to the owner and entity responsible for operation and maintenance of the stormwater management system.

Registered Professional Signature: *Claudia Vega* Date: *6/30/25*

Florida Registration Number: 51532



Suwannee River WMD

Confirmation

The request is submitted to the District.

Confirmation # :

318043

Submit Date and Time :

06/27/2025 04:34 PM

Project number :

232301-5

Suggested Payment :

\$122.50

To View/Print the **Payment Invoice** for this application (only if payment is applicable and Pay Later option is selected), click on the 'More Actions' (...) link for the above Confirmation #. This link is located on the Pending Applications panel on your ePermit dashboard.

Please do not send us a paper copy of this electronic submittal.

If you have any questions about our Internet Permitting services, account related questions, or your submission, please contact the District at (386) 362-1001 between 8:00 a.m. and 5:00 p.m. EST, or email us at Regulatory-Support@srwmd.org.

Select one of the options below to complete the payment processing of the application.

Pay Later

Pay Now

Concurrency Impact Analysis San Felasco Tech City – Phase 5

The proposed project includes a 3212 SF clubhouse/amenity space with recreational areas to serve the multi-use development at San Felasco Tech City.

Stormwater:

A stormwater management plan is included with this submittal. The existing stormwater system was designed in compliance with City of Alachua and Suwannee River Water Management District requirements, consistent with the existing WMD permit for the project.

Potable Water:

Goal 4: Provide an adequate supply of high quality potable water to customers throughout the service area.

Objective 4.1 Achieve and maintain acceptable levels of service for potable water quality and quantity.

Project Impact:

Type	Requirement Per GRU/64E-6 (GPD)	Quantity	Units	Total (GPD)
Clubhouse - Per bathroom	200.00	4	each	800

System Category	Gallons Per Day
Current Permitted Capacity ¹	2,300,000
Less Actual Potable Water Flows ¹	1,565,500
San Felasco Tech City - Phase 5	800
Reserved Capacity ²	391,367
Available Capacity	342,333
Percentage of Permitted Design Capacity Utilized	85.12%

Sources:

1. *City of Alachua Public Services Department, April 2025.*
2. *Table 1, City of Alachua Planning, May 2025*

Sanitary Sewer:

Goal 1: Plan for and provide adequate, high quality and economical wastewater service while protecting the environment, especially groundwater resources.

Objective 1.2 Wastewater service will be made available to new development in a manner to promote compact urban growth, promoting development where wastewater service is available, and discouraging urban sprawl.

Project Impact:

Type	Requirement Per GRU/64E-6 (GPD)	Quantity	Units	Total (GPD)
Clubhouse - Per bathroom	200.00	4	each	800

Table 4-a. Sanitary Sewer Impacts - Final Development Orders	
System Category	Gallons Per Day
Current Permitted Capacity ¹	1,500,000
Less Actual Treatment Flows ¹	813,000
San Felasco Tech City - Phase 5	800
Reserved Capacity ²	362,123
Available Capacity	324,077
Percentage of Permitted Design Capacity Utilized	78.39%
Sources:	
1. <i>City of Alachua Public Services Department, April 2025.</i>	
2. <i>Table 1, City of Alachua Planning, May 2025</i>	

Solid Waste:

Goal 2: The City of Alachua will provide for solid waste disposal service in a sanitary, economic, and environmentally safe manner.

Project Impact: Commercial uses generate approximately 12 pounds per day of solid waste per 1,000 square feet (Environmental Engineering: A Design Approach, Cincero and Cincero, 1996). The proposed buildings will generate approximately 104 pounds of solid waste per day 3,212 SF / 1,000 SF x 12 = 38 pounds per day).

As indicated in the following table, the proposed solid waste generated as part of this project will not reduce the level of service in the City of Alachua.

Table 5-a. Solid Waste Impacts - Final Development Orders		
System Category	Pounds Per Day	Tons Per Year
Existing Demand ¹	45,184.00	8,246.08
Reserved Capacity ²	28,637.84	5,226.41
New River Solid Waste Facility Anticipated Capacity³	30+ Years	
Sources:		
1. <i>Bureau of Economic & Business Research, University of Florida, Estimates of Population (2024); Policy 2.1.a, CFNGAR Element.</i>		
<i>Formula: 11,296 persons x 0.73 tons per year.</i>		
2. <i>Table 1, City of Alachua Planning, May 2025</i>		
3. <i>New River Solid Waste Association, April 2025.</i>		

Traffic:

The proposed use of the project site as a mixed use site with residential, commercial and office use will not create a traffic impact that will exceed the approved level of service standards for the impacted roadway (US Highway 441).

TABLE 1 – PROJECT TRIP GENERATION

PROPOSED: COMMUNITY CLUBHOUSE
 ITE LAND USE: 495 - RECREATIONAL COMMUNITY CENTER
 SOURCE: ITE TRIP GENERATION, 11TH EDITION

3,212 SF

PERIOD	RATE	PER UNIT	TRIPS	TRIP DISTRIBUTION		PROJECT TRIPS	
				ENTER	EXIT	IN	OUT
AM	1.85	3.21	5.94	63%	37%	3.74	2.20
PM	2.53	3.21	8.13	47%	53%	3.82	4.31
ADT	28.82	3.21	92.57	50%	50%	46.28	46.28

TABLE 2: TRIP DISTRIBUTION

Segment ID	Distribution Share	Projected Trips
U.S. Hwy 441 (4127, 3)	100%	93

No other road segments will be impacted more than 5% of their maximum service volume.

TABLE 3: ROADWAY LEVEL OF SERVICE (LOS) ANALYSIS

		Comp Plan			Projected	
Segment ID:	Segment Limits:	MSV	Existing	Res'vd	Trips	Available
U.S. Hwy 441 (4127, 3)	MPO Boundary to CR 25A East Intersection	AADT 43,000	21,000	1,325	93	20,582
		Peak Hour 3,870	2,002	212	8	1,648

San Felasco Tech City – Phase 5

Statement of Proposed Uses

The proposed development at San Felasco Tech City is designed to provide amenity/recreational space to support the existing residential and non-residential users within the corporate park center along the NW US Hwy 441 corridor. This phase of the development plan proposes to construct indoor and outdoor recreational space for the mixed-use development.

Comprehensive Plan Consistency

Future Land Use Element:

Objective 1.4: Corporate Park

The City of Alachua shall establish one mixed use district: Corporate Park. This district shall provide a range of research and development, technology and biotechnology industries, office, supporting retail, and complementary residential uses located near major transportation corridors. The Corporate Park category is intended to:

- (1) provide appropriate locations for mixed use office-oriented development to promote and foster the growth of established industries within the City, including but not limited to research and development and technology and biotechnology, with provisions for a variety of residential uses; and,*
- (2) provide a variety of employment opportunities to the citizens of Alachua and the North Central Florida Region.*

Consistency: The proposed San Felasco Tech City – Phase 5 development will serve the intent of the Corporate Park future land use designation, as it will provide recreational spaces for users within the mixed use project in the City of Alachua. The proposed Phase 4 includes indoor and outdoor recreational spaces for the mixed-use development.

Policy 1.4.a: The Corporate Park land use category may include office/business parks, biotechnology and other technologies, business incubators, a limited amount of retail sales and services, single family and multi-family residential, live-work units, building industry uses, and accessory storage facilities (including outdoor storage yards) either as allowed uses or with a special exception permit. Such uses shall be developed in a manner compatible with surrounding and uses, and to minimize potential nuisances or damage to the environment.

Consistency: The proposed Phase 4 includes indoor and outdoor recreational space for the residents, employees, and visitors of San Felasco Tech City.

Policy 1.4.b: Development within the Corporate Park land use category should be designed in a campuslike or “corporate park” setting with generous, linked open space to maximize value and to promote visual quality and compatibility with the surrounding area. Pedestrian-friendly features, such as buildings placed near the street, sidewalks, and trails leading to nearby uses, such as retail and housing, is encouraged.

Policy 1.4.c: Non-residential Corporate Park uses shall be limited to an intensity of less than or equal to .50 floor area ratio (F.A.R.) for parcels 5 acres or greater, .75 F.A.R. for parcels less than 5 acres but greater than 1 acre, and 1.0 F.A.R. for parcels 1 acre or less.

Consistency: The proposed Phase 5 includes amenity/recreational spaces for San Felasco Tech City. The development is consistent with the FAR requirements and included pedestrian connections to other parts of San Felasco Tech City.

Policy 1.4.d: Development within the Corporate Park land use category that consists of greater than 50 acres of contiguous land may provide clustered residential development. Residential uses within the Corporate Park land use category shall be limited to a gross density of 4 dwelling units per gross acre. Residential development must be developed consistent with the specific criteria identified within the Land Development Regulations for residential development in the Corporate Park zoning district.

Consistency: The proposed Phase 5 includes amenity/recreational spaces to supplement the residential and non-residential uses at San Felasco Tech City. No additional residential units are proposed in this phase and the overall density does not exceed 4 du/acre.

Policy 1.4.e: Corporate Park uses shall be located and designed in such a manner as to prevent undesirable impacts to adjacent properties.

Consistency: The proposed Phase 5 includes amenity/recreational spaces that will have a desirable impact on adjacent properties. All required buffers and landscaping for the project are provided in the Landscape Plans as required by the Land Development Code.

Policy 1.4.f: The City shall develop performance standards for Corporate Park uses in order to address the following:

1. Integration of vehicular and non-vehicular access into the site and access management features of site in terms of driveway cuts and cross access between adjacent sites, including use of frontage roads and/or shared access;

Consistency: The development will include sidewalks for non-vehicular access to the site. Parking for the project is shared between residential and non-residential uses.

2. Buffering from adjacent existing/potential uses and use of landscaping to create an integrated design;

Consistency: All required buffers and landscaping for the project are provided in the Landscape Plans as required by the Land Development Code.

3. Open space provisions and balance of proportion between gross floor area and site size;

Consistency: The overall San Felasco Tech City site plan exceeds the required open space and has less than the maximum floor area ratio.

4. Adequacy of pervious surface area in terms of drainage requirements;

Consistency: Plans include consistency calculations with the existing stormwater management areas constructed on site.

5. *Placement of signage;*

Consistency: No signage is proposed at this time. The permitting of signs will occur under a separate process in compliance with the applicable criteria.

6. *Adequacy of site lighting and potential impacts of lighting upon the surrounding area. Lighting should be designed to minimize impacts and preserve the ambiance and quality of the nighttime sky by reducing light trespass and light pollution on adjacent properties by utilizing lighting at an appropriate intensity, direction and times to ensure light is not overused or impacting areas where it is not intended;*

Consistency: The site plans include a photometric plan that complies with all elements of the Comprehensive Plan and Land Development Regulations.

7. *Safety of on-site circulation patterns (patron, employee, and delivery vehicles), including parking layout and drive aisles, and points of conflict;*

Consistency: Sidewalks are provided throughout the site for connectivity between residential and non-residential uses.

8. *Landscaping, as it relates to the requirements of the Comprehensive Plan and Land Development Regulations;*

Consistency: All required buffers and landscaping for the project are provided in the Landscape Plans as required by the Land Development Code.

9. *Unique site features and resources which may constrain site development, such as soils, existing vegetation and historic significance;*

Consistency: None of these features apply to this phase.

10. *Performance based zoning requirements, which may serve as a substitute for or accompany land development regulations in attaining acceptable site design.*

Consistency: No additional performance base requirements apply to this phase.

11. *Commercial uses shall be limited to an intensity of less than or equal to .50 floor area ratio for parcels 10 acres or greater, .50 floor area ratio for parcels less than 10 acres but 5 acres or greater, a .75 floor area ratio for parcels less than 5 acres but greater than 1 acre, and 1.0 floor area ratio for parcels 1 acre or less.*

Consistency: The proposed development is below the maximum floor area ratio allowed.

12. *Complementary residential uses.*

Consistency: No residential units are proposed within this phase. The amenity/recreational spaces will supplement existing residential and non-residential uses within the project.

The History of the B Vitamins

By WILLIAM GARST
Alachua County Today
Guest Columnist

The history of the B vitamins is a fascinating journey that spans several decades and involves the work of numerous scientists. Initially thought to be a single nutrient, it was later discovered to be a complex group of essential water-soluble vitamins with distinct functions. Here's a brief overview of their discovery:

The Beriberi Connection

The story begins in the late 19th Century with the investigation of beriberi, a debilitating disease prevalent in regions where polished white rice was a dietary staple.

• 1889: Dutch physician Christiaan Eijkman, working in the Dutch East Indies (now Indonesia), observed that chickens fed polished white rice developed beriberi-like symptoms, which were reversed when they were fed unpolished brown rice. This suggested a nutritional deficiency.

• 1906: English biochemist Frederick Gowland Hopkins proposed the existence of "accessory

food factors" beyond fats, proteins, and carbohydrates that were essential for growth and health.

The "Vitamine" Concept

• 1911: Polish biochemist Casimir Funk, working in London, isolated a substance from rice polishings that could cure beriberi in pigeons. He proposed that this and other similar substances were vital amines, coining the term "vitamine." Although not all vitamins are amines, the name stuck (later dropping the "e").

Distinguishing Multiple Factors

• 1913: American biochemist Elmer McCollum distinguished between "fat-soluble factor A" and "water-soluble factor B," recognizing that there was more than one essential nutrient in the water-soluble category.

Isolation and Identification of Individual B Vitamins:

The subsequent decades saw the isolation and characterization of the individual B vitamins:

• **Vitamin B1 (Thiamin):** Isolated in crystalline form in 1926



GARST

by Dutch chemists **Barend Jansen** and **Willem Donath**. It was the first B vitamin to be identified and was found to be the anti-beriberi factor.

• **Vitamin B2 (Riboflavin):** First observed as a yellow-green fluorescent pigment in milk in 1872, it was characterized and named riboflavin in the early 1930s.

• **Vitamin B3 (Niacin):** Its deficiency was linked to pellagra in 1915 by Joseph Goldberger. The chemical structure was determined in 1937 by **Conrad Elvehjem**.

• **Vitamin B5 (Pantothenic Acid):** Discovered in 1933 by **Roger J. Williams** while researching essential nutrients for yeast.

• **Vitamin B6 (Pyridoxine):** Identified in 1934 by **Paul Gyorgy**.

• **Vitamin B7 (Biotin):** Research spanned the early 1900s, with contributions from **Margaret Averil Boas** (1927) and **Paul Gyorgy** (who named it Vitamin H in 1939), among others.

• **Vitamin B9 (Folate/Folic Acid):** Identified in 1933 by **Lucy Wills** for its role in preventing a type of anemia during pregnancy.

• **Vitamin B12 (Cobalamin):** Its deficiency was linked to pernicious anemia. It was isolated in 1947 by **Karl Folkers** and his team.

The "B Complex"

As each water-soluble vitamin with a distinct function was discovered, they were grouped together as the "vitamin B complex." This term reflects their shared water solubility and their common occurrence in many of the same foods, as well as their often-interconnected roles in metabolic processes.

Nobel Prizes

The importance of B vitamin research is highlighted by the Nobel Prizes awarded to scientists involved in their discovery and understanding:

• **1929: Christiaan Eijkman and Sir Frederick Gowland Hopkins** were jointly awarded the Nobel Prize in Physiology or Medicine for their work on the discovery of vitamins. Eijkman's work focused on the link between diet and beriberi (leading to the identification of Vitamin B1), while Hopkins was recognized for his broader contributions to the understanding of essential nutrients.

• **1934: George Whipple, George Minot, and William Murphy** received the Nobel Prize for their work on the treatment of pernicious anemia using liver extracts, which eventually led to the isolation of Vitamin B12.

• **1964: Dorothy Hodgkin** was awarded the Nobel Prize in Chemistry for her work on determining the structures of important biochemical substances, including Vitamin B12.

Modern Understanding

Today, we have a detailed understanding of the chemical structures, functions, dietary sources, and deficiency symptoms of each of the B vitamins. They are known to play

crucial roles as coenzymes in numerous metabolic pathways, affecting energy production, nerve function, red blood cell formation, DNA synthesis, and many other vital processes.

It's worth noting that several other substances were once considered part of the B complex and assigned B numbers (like B4, B8, B10, B11), but these were later found to be either synthesized by the body or not essential and were thus removed from the official list of B vitamins

* * *

William Garst is a consultant pharmacist who lives in Alachua, Florida. He is semi-retired and works part time at Lake Butler Hospital in Lake Butler, Florida. William received his pharmacy degree at Auburn University and a Doctor of Pharmacy from Colorado University. The Pharmacy Newsletter is a blog where you can find other informative columns. He may be contacted at garstcph@gmail.com.

#

Email editor@alachuatoday.com

WEBB:

Continued from page A1

Vehicle shot multiple times as family fled

on Thursday, May 22, following an incident that began when three relatives of his ex-wife arrived at a residence to clean and prepare it for sale. Webb and his ex-wife divorced in 1998, but he was reportedly at the home when the group arrived.

One of the individuals began recording video upon entering the property after spotting Webb's vehicle in the driveway. Inside the house, the group encountered Webb in the living room and informed him he was not supposed to be there. According to the arrest report, Webb allegedly pulled a revolver from his front pocket and fired

a shot into the ceiling. As the group turned to flee, Webb reportedly said, "No, don't move, you got to die first."

The victims ran to their vehicle and began backing down the driveway. At that point, deputies say Webb exited the home and began firing at the vehicle. Investigators reported that the car was struck four times, including one shot that entered through the front grille and disabled the engine. The vehicle came to a stop in the middle of Southeast County Road 234.

Webb allegedly left the scene but was later stopped and detained by deputies.

After being read his Miranda rights, Webb reportedly told deputies, "They harassed me. They came in threatening me and I fired a shot in the air, then fired some into the radiator of their car."

Deputies cited video evidence and witness statements indicating the encounter was non-confrontational when Webb allegedly brandished and discharged his firearm. The report also concluded that Webb's actions—firing at an occupied vehicle as it was retreating—constituted an intentional and dangerous act that could have resulted in death.

Webb has been charged with three counts of attempted homicide and one count of aggravated assault with a deadly weapon. Authorities noted that he has no prior criminal convictions.

Judge Susan Miller-Jones ordered Webb to be held without bail, pending a hearing on a motion from the State Attorney's Office to keep him in custody until trial.

The case remains under investigation.

#

Email cwalker@alachuatoday.com

GUNS:

Continued from page A1

Photos, serial numbers link suspect to Newberry burglary

9mm handgun, a Glock 19, a Canik Elite Combat 9mm handgun with a gold barrel, and a CZ Scorpion 9mm pistol equipped with a pistol brace.

Harris had previously been arrested on Nov. 4, 2024, after a traffic stop revealed a Taurus pistol—reported stolen just two days after the September burglary—in his vehicle, according to an arrest report. Deputies noted at the time that Harris was dressed entirely in black and was wearing a ski mask. He was released the following day on \$77,000 bail. In January, prosecutors filed formal charges including grand theft of a firearm, unlawful concealed carry of a firearm, possession of marijuana under 20 grams, and possession of drug paraphernalia.

On March 4, 2025, Harris was again pulled

over in Newberry, this time driving a black Nissan. The front seat passenger was identified as Edwin Lee Daniels III, and the rear passenger as Neville Lowe. A probable cause search of the vehicle uncovered marijuana and a Glock 19—the same model reported stolen during the September burglary.

Investigators noted that this theft occurred near the same Newberry neighborhood, close to railroad tracks, and within days of the theft of the Taurus pistol recovered in the earlier stop.

At the time of the March stop, Harris was already on pre-trial release and under court orders not to possess firearms or illegal substances. Daniels, the front-seat passenger, was a convicted felon and legally prohibited from having a firearm.

A search warrant was issued for four cell phones—two belonging to Harris and one each to Daniels and Lowe. According to the arrest report, investigators discovered multiple images on Harris' phone dated Sept. 30, 2024, showing Harris and others holding firearms. Some photos included metadata indicating they were taken at Harris' residence, including one of a CZ Scorpion pistol believed to be the same firearm stolen in the Newberry case.

Other images showed Harris holding a Canik TP9 Elite Combat Executive pistol with a gold barrel—matching the description of another weapon reported stolen. One video, reportedly taken on the day of the burglary, showed a serial number that matched a stolen firearm from the earlier ACSO case.

In the arrest report, the

investigating deputy wrote: "Harris has been caught with a stolen firearm in his vehicle at two different times in Alachua County. I have time- and date-stamped photos, some of which were taken the same day of the burglary, showing the stolen guns... In one of the above photos (taken from a video on the phone) you can clearly see the serial number of one of the stolen weapons."

The report also cited probable cause to charge Harris with grand theft of a firearm and armed burglary of a conveyance under Florida Statutes 812.014(2)(c)(5) and 810.02(2)(b), respectively.

Though Harris is currently on pre-trial release in two other criminal cases, this latest charge does not violate those release conditions because it stems from conduct that occurred

prior to those arrests. He has no prior criminal convictions.

Following his most recent arrest, bail was set at \$250,000 by Judge Meshon Rawls. In the November case, although his bond had been revoked after the March arrest, Judge Aymer "Buck" Curtin later released Harris on his own recognizance. He was also released on recognizance in

the present case after formal charges were not filed within the 40-day deadline, per an order by Judge Denise Ferrero on April 17.

The investigation remains ongoing.

Bail was set at \$250,000 by Judge Meshon Rawls.

#

Email cwalker@alachuatoday.com

Please Contact Legacy Park
at 386-462-0145
for more info

Arts & Crafts Class for Seniors

FREE!

The last Thursday of each month
from 12:30pm - 2:30pm
at Legacy Park

Taught by: YouTube and
Crafting Super Star
TheCraftyGemini

PUBLIC NOTICE

A neighborhood workshop will be held to discuss a proposed Site Plan application for Phase 5 of San Felasco Tech City (SFTC). The development proposes a variety of community amenities internal to the SFTC project, including an approx. 3,000 (+/-) square foot community clubhouse/gym with attached pavilion and pool, sports courts, playground, and space for future urban agriculture with associated infrastructure improvements. The proposed development is approx. 1.5 (+/-) acres on a portion of Alachua County tax parcel 05844-004-001 at the intersection of Tech City Circle and NW 86th Drive in the City of Alachua. This is not a public hearing. The purpose of this meeting is to inform members of the public of the proposed development and to seek their comments. The meeting will be held at 5:00 pm on Monday, June 23, 2025, in the Meeting Room of the Alachua Library Branch, located at 14913 NW 140 Street, Alachua, Florida 32615.

eds
consultants - inc.

Contact: eds consultants, inc.
Phone: 352-373-3541
E-mail: permitting@edafi.com

(Published: Alachua County Today - June 05, 2025)

Advertisement for Request for Proposal (RFP)

The Gainesville Housing Authority (GHA) herein solicits Request for Proposal (RFP) from qualified, licensed, and responsible firms interested in providing GHA with **Website Redesign and Maintenance Services.**

RFP 2026-01

Date and Time for Receiving Proposals:
Tuesday, June 24, 2025 by 4:00 p.m. EST

Submit Proposals To:
Gainesville Housing Authority
Attn: Ms. Pamela E. Davis
1900 SE 4th Street
Gainesville, FL 32641

Specifications and instructions for proposal submission and the criteria that will be used to evaluate submissions are available at:

Gainesville Housing Authority
1900 SE 4th Street
Gainesville, FL 32641
or at www.demandstar.com

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(Published: Alachua County Today - June 05, 2025 and June 12, 2025)

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ALACHUA COUNTY TODAY

Published Weekly
Alachua, Alachua County, FLORIDA

STATE OF FLORIDA
COUNTY OF ALACHUA:

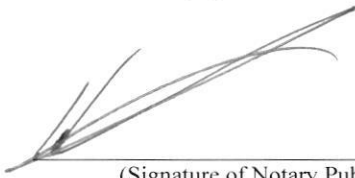
Before the undersigned authority personally appeared **Raymond Wise**, who on oath and in my physical presence says that he is the Ads Manager of *Alachua County Today*, a weekly newspaper published at Alachua in Alachua County, Florida; that the attached copy of advertisement, **Neighborhood Workshop – San Felasco Tech City Phase 5**, being a Public Notice in the Matter set forth at the beginning of the attached notice, was published in said newspaper in the issue(s) dated **June 5, 2025**.

Affiant further says that *Alachua County Today* is a newspaper published at Alachua, in said Alachua County, Florida, and that the said newspaper has heretofore been continuously published in said Alachua County, Florida, each week and has been entered as periodicals matter at the post office in Alachua, in said Alachua County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that he (she) has neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.

Sworn to and subscribed before me this **6th day of June 2025** by Raymond Wise, who is personally known to me.



(Signature of Affiant)



(Signature of Notary Public)



HABIB BRYAN BOUKARI
Commission # HH 391775
Expires May 26, 2027

NOTICE OF NEIGHBORHOOD WORKSHOP

Date: Monday, June 23, 2025
Time: 5:00 p.m.
Place: Alachua Branch Library Meeting Room
 14913 NW 140th St, Alachua, FL 32615

A neighborhood workshop will be held to discuss a proposed Site Plan application for Phase 5 of San Felasco Tech City (SFTC). The development proposes a variety of community amenities internal to the SFTC project, including an approx. 3,000 (+/-) square foot community clubhouse/gym with attached pavilion and pool, sports courts, playground, and space for future urban agriculture with associated infrastructure improvements. The proposed development is approx. 1.5 (+/-) acres on a portion of Alachua County tax parcel 05844-004-001 at the intersection of Tech City Circle and NW 86th Drive in the City of Alachua. This is not a public hearing. The purpose of this meeting is to inform members of the public of the proposed development and to seek their comments.

Contact: eda consultants, inc. **Email:** permitting@edaf.com **Phone:** (352) 373-3541



05855-004-000
IIP-FL 3 LLC
11440 W BERNARDO CT STE 100
SAN DIEGO, CA 92127

05961-002-000
MDV LINPRE 8 LLC
120 NEWPORT CENTER DR
NEWPORT BEACH, CA 92660

05855-000-000
LITHIUM NICKEL ASSET HOLDING
12705 NW US HIGHWAY 441
ALACHUA, FL 32615

05961-002-004
DESIGN CABINETS & FURNITURE
13313 SOUTHERN PRECAST DR
ALACHUA, FL 32615-8548

05844-004-002
THE LASER INVESTMENT GROUP LLC
13900 TECH CITY CIR STE 100
ALACHUA, FL 32615

05857-001-001
LOWE MICHAEL S TRUSTEE
13929 NW 89TH ST
ALACHUA, FL 32615

05857-002-001
F&R HOLDINGS OF GAINESVILLE
LLC & LOWE TRUSTEE
220 NW 122ND ST
GAINESVILLE, FL 32607-1107

92060-503-901
CSX TRANSPORTATION INC
500 WATER ST TAX DEPARTMENT J-
910
JACKSONVILLE, FL 32202-4422

05961-002-006
DESIGN CABINETS & FURNITURE
59 IROQUOIS AVE
ST AUGUSTINE, FL 32084

05857-001-000
C/O M FAISAL M.D.
F&R HOLDINGS OF GAINESVILLE
PO BOX 3009
LAKE CITY, FL 32056

05855-004-003
CITY OF ALACHUA
PO BOX 9
ALACHUA, FL 32616-0009

Mike DaRoza - ATTN: Planning
PO Box 9
Alachua, FL 32615

Michele L. Lieberman
12 SE 1st Street
Gainesville, FL 32601

Antoinette Endelicato
5562 NW 93rd Avenue
Gainesville, FL 32653

Linda Dixon, AICP
PO Box 115050
Gainesville, FL 32611

Tamara Robbins
PO Box 2317
Alachua, FL 32616

Lynda Coon
7216 NW 126 Avenue
Alachua, FL 32615

Joseph & Phyllis Strickland
14103 NW 156th Place
Alachua, FL 32615

Jean Calderwood
14095 NW 174th Ave
Alachua, FL 32615

Lynn Horton
19005 NW 138th Avenue
Alachua, FL 32615

Stephen Hofstetter
14 NE 1st Street
Gainesville, FL 32601

Soorya Lindberg
16630 NW 173rd Terrace
Alachua, FL 32615



Neighborhood Meeting Minutes

Project: San Felasco Tech City Phase 5 Site Plan

Meeting Date & Time: June 23, 2025, 5:00 p.m.

Community Participants: 0 participants in total

Project Representatives: Sergio Reyes and Heather Hartman, eda

Meeting Minutes:

No attendees joined. Closed the meeting at 5:20pm.



Neighborhood Meeting - Sign-in Sheet

Project: San Felasco Tech City Phase 5 Site Plan
Date & Time: Monday June 23, 2025, 5:00 PM
Location: Alachua Branch Library Meeting Room
 14913 NW 140th St, Alachua, FL 32615

NAME	ADDRESS	PHONE	EMAIL
no attendees			

10/18/2018 11:31 AM
BOOK 4637 PAGE 2216
J.K. JESS IRBY, ESQ.

Clerk of the Court, Alachua County, Florida
ERECORDED Receipt# 856311
Doc Stamp-Mort: \$0.00
Doc Stamp-Deed: \$2,646.00
Intang. Tax: \$0.00

Prepared by and return to:

Ramona M. Chance
Attorney at Law
Ramona M. Chance
4703 NW 53rd Avenue Suite A-1
Gainesville, FL 32653
352-335-3189
File Number: 18-085
Will Call No.:

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 17th day of October, 2018 between Phoenix Commercial Park, LLLP, a Florida limited liability limited partnership whose post office address is PO Box 1000, Alachua, FL 32616, grantor, and The Laser Investment Group, LLC, a Florida limited liability company whose post office address is 3201 SW 42 Street, Suite 2, Gainesville, FL 32608, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Alachua County, Florida to-wit:

A portion of Parcel A as recorded in Official Records Book 3527, Page 1217 of the Public Records of Alachua County, Florida being more particularly described as follows:

Commence at the Southeast corner of Section 20, Township 8 South, Range 19 East, Alachua County, Florida; thence West a distance of 1313.40 feet; thence North a distance of 218.99 feet to a point on the North right-of-way line of U.S. Highway No. 441 (200 foot right-of-way); thence North 72° 51' 47" West on said North right-of-way line a distance of 171.11 feet to the point of curvature of a curve concave to the Northeast having a delta of 06° 52' 05", a radius of 11424.66 feet and a chord bearing and distance of North 69° 24' 13" West, 1368.62 feet; thence Northwesterly on the arc of said curve a distance of 1369.44 feet; thence North 66° 00' 17" West, a distance of 58.98 feet to the Southeast corner of said Parcel A; thence on the boundary of said Parcel A the following seven (7) courses and distances:

- 1) leaving said North right-of-way line, North 23° 59' 25" East, a distance of 664.68 feet;
- 2) thence North 66° 04' 35" West, a distance of 265.85 feet;
- 3) thence North 24° 28' 46" East, a distance of 680.88 feet;
- 4) thence North 65° 49' 12" West, a distance of 500.01 feet to the POINT OF BEGINNING of the following described parcel of land;
- 5) thence North 24° 11' 00" East, a distance of 870.43 feet to a point on the South right-of-way line of the Seaboard Coast Line Railroad (200' right-of-way);
- 6) thence North 58° 45' 42" West, on said South right-of-way line, a distance of 881.26 feet;
- 7) thence South 23° 50' 23" West, a distance of 1504.88 feet; thence leaving said boundary South 65° 30' 13" East, a distance of 699.02 feet; thence North 24° 02' 31" East, a distance of 530.00 feet to a point on the Northwesterly projection of the boundary of said Parcel A; thence South 65° 49' 12" East on said Northwesterly projection, a distance of 167.86 feet to the POINT OF BEGINNING.

Parcel Identification Number: 05855-004-000 and 05855-005-000

A Legal Description Sketch prepared by EDA Engineers-Surveyors-Planners, Inc. is attached as Exhibit A and incorporated by reference.

DoubleTime®

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.


And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2017**.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Phoenix Commercial Park, LLLP, a Florida limited liability limited partnership

By: Virginia H. Johns LLC, a Florida limited liability company

By: 
Virginia Hipp Johns, Authorized Member

(Corporate Seal)

By: Lisa H. Albertson LLC, a Florida limited liability company

By: 
Lisa Hipp Albertson, Authorized Member

(Corporate Seal)


Witness Name: JAMES D. SALTER

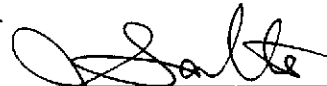

Witness Name: Genese Bolduc

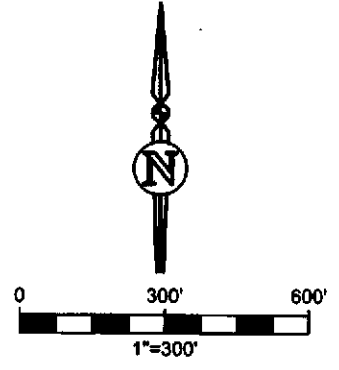
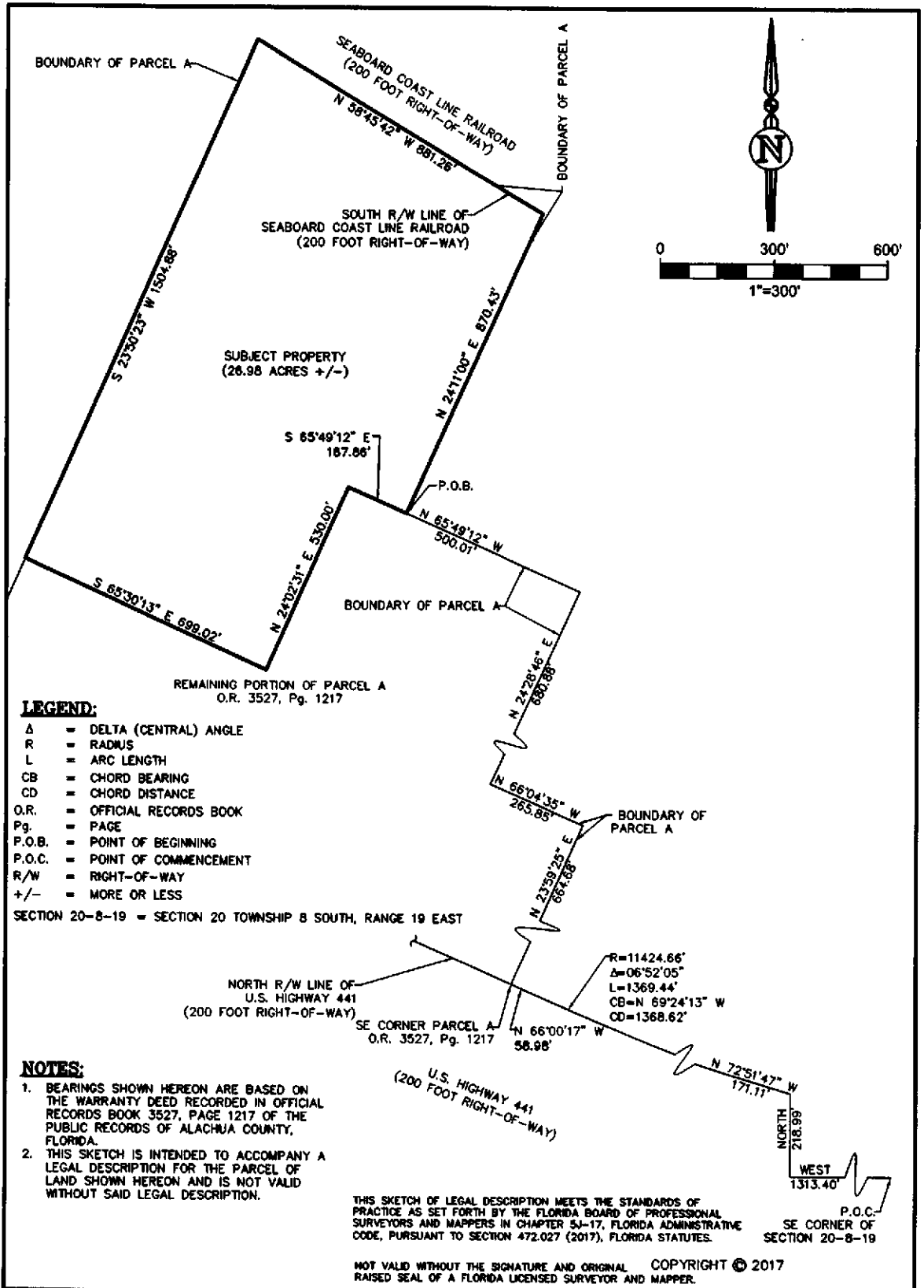
State of Florida
County of Alachua

The foregoing instrument was sworn to and subscribed before me this 17th day of October, 2018 by Virginia Hipp Johns, Authorized Member of Virginia H. Johns LLC, Florida limited liability company and Lisa Hipp Albertson, Authorized Member of Lisa H. Alberston LLC, a Florida limited liability company, General Partners of Phoenix Commercial Park, LLLP, a Florida limited liability limited partnership on behalf of the corporation and the partnership. They are personally known to me or have produced a driver's license as identification.

[Notary Seal]

 **JAMES D SALTER**
Commission # GG 207760
Expires May 30, 2022
Bonded thru Budget Notary Services


Notary Public
Printed Name: _____
My Commission Expires: _____



LEGEND:

- Δ = DELTA (CENTRAL) ANGLE
- R = RADIUS
- L = ARC LENGTH
- CB = CHORD BEARING
- CD = CHORD DISTANCE
- O.R. = OFFICIAL RECORDS BOOK
- Pg. = PAGE
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- R/W = RIGHT-OF-WAY
- +/- = MORE OR LESS

SECTION 20-8-19 = SECTION 20 TOWNSHIP 8 SOUTH, RANGE 19 EAST

NOTES:

1. BEARINGS SHOWN HEREON ARE BASED ON THE WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 3527, PAGE 1217 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.
2. THIS SKETCH IS INTENDED TO ACCOMPANY A LEGAL DESCRIPTION FOR THE PARCEL OF LAND SHOWN HEREON AND IS NOT VALID WITHOUT SAID LEGAL DESCRIPTION.

THIS SKETCH OF LEGAL DESCRIPTION MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 (2017), FLORIDA STATUTES.

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL COPY. COPYRIGHT © 2017 RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

LEGAL DESCRIPTION SKETCH OF

A PORTION OF PARCEL A AS RECORDED IN O.R. 3527, Pg. 1217 IN SECTION 20, TOWNSHIP 8 SOUTH, RANGE 19 EAST, CITY OF ALACHUA, ALACHUA COUNTY, FLORIDA.

FOR: MITCH GLAESER

BY: ALEJANDRO PEREZ P.S.M. 6639

THIS IS NOT A BOUNDARY SURVEY

DRN.	CHKD.	SURVEY DATE	DWG COMP	PROJ. NO.	FIELD BK.	PAGE NO.
AP	AP	N/A	06/22/18	18-0023 3002	N/A	N/A



eda engineers-surveyors-planners, inc.
 LB 2389
 2404 N.W. 43rd ST, GAINESVILLE, FLORIDA 32606-6602
 TEL: (352) 373-3541 FAX: (352) 373-7249
 E-MAIL: ma@edapl.com

Parcel Summary

Parcel ID 05844-004-001
Prop ID 400043
Location Address 13300 TECH CITY CIR
 ALACHUA, FL 32615
[+ See more addresses...](#)
Neighborhood/Area 233300.51
Subdivision
Legal Description COM SW COR OF PARCEL IN OR 4627/672 LYING ON N/L
 HWY 441 N 00 DEG 54 MIN 12 SEC W 924.26 FT POB N 00
 DEG 54 MIN 12 SEC W 1733.78 FT SELY ALG CURVE 473.72
 FT S 59 DEG 47 MIN 57 SEC E 547.75 FT N 01 DEG 41 MIN 11
 SEC W 70.66 FT S 59 DEG 47 MIN 53 SEC E 624.
 (Note: *The Description above is not to be used on legal
 documents.)
Property Use Code VACANT (00000)
Sec/Twp/Rng 20-08-19
Tax Area ALACHUA (1700)
Acres 50.57
Homesteaded False

No Image Available

[View Map](#)

[THE LASER INVESTMENT GROUP LLC](#)
 13900 TECH CITY CIR STE 100
 ALACHUA, FL 32615

Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee	Link to Official Records
10/17/2018	\$378,000	MS	4637	2216	Qualified (Q)	Vacant	PHOENIX COMMERCIAL PARK LLP	THE LASER INVESTMENT GROUP LLC	Link (Clerk)

Official Public Records information is provided by the Alachua County Clerk's Office. Clicking on these links will direct you to their web site displaying the document details for this specific transaction.

No data available for the following modules: Working in Progress Parcel, Building Information, Sub Area, Extra Features, Permits, Sketches, Photos.

This web application and the data herein is prepared for the inventory of real property found within Alachua County and is compiled from recorded deeds, plats, and other public records and data. Users of this web application and the data herein are hereby notified that the aforementioned public primary information sources should be consulted for verification of the information. Alachua County Property Appraiser's Office assumes no legal responsibility for the information contained herein.
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Detail by Entity Name

Florida Limited Liability Company
THE LASER INVESTMENT GROUP, LLC

Filing Information

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Principal Address

13900 Tech City Circle
Suite 100
Alachua, FL 32615

Changed: 03/16/2020

Mailing Address

13900 Tech City Circle
Suite 100
Alachua, FL 32615

Changed: 03/16/2020

Registered Agent Name & Address

GLAESER, MITCHELL E
13900 Tech City Circle
Suite 100
Alachua, FL 32615

Address Changed: 03/16/2020

Authorized Person(s) Detail

Name & Address

Title MGR

GLAESER, MITCHELL E

13900 Tech City Circle
Suite 100
Alachua, FL 32615

Annual Reports

Report Year	Filed Date
2023	03/07/2023
2024	01/30/2024
2025	03/04/2025

Document Images

03/04/2025 -- ANNUAL REPORT	View image in PDF format
01/30/2024 -- ANNUAL REPORT	View image in PDF format
03/07/2023 -- ANNUAL REPORT	View image in PDF format
04/07/2022 -- ANNUAL REPORT	View image in PDF format
02/15/2021 -- ANNUAL REPORT	View image in PDF format
03/16/2020 -- ANNUAL REPORT	View image in PDF format
07/02/2019 -- ANNUAL REPORT	View image in PDF format
01/17/2018 -- ANNUAL REPORT	View image in PDF format
04/28/2017 -- ANNUAL REPORT	View image in PDF format
03/21/2016 -- ANNUAL REPORT	View image in PDF format
01/02/2015 -- Florida Limited Liability	View image in PDF format



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Real Estate Account #05844 004 001

Owner:
THE LASER INVESTMENT GROUP LLC

Situs:
13300 TECH CITY CIR
ALACHUA 32615

[Parcel details](#)
[Property Appraiser](#)



[Get bills by email](#)

Amount Due

Your account is **paid in full**. There is nothing due at this time.
Your most recent payment was made on **11/25/2024** for **\$18,197.31**.

Account History

BILL	AMOUNT DUE	STATUS	ACTION
2024 Annual Bill ⓘ	\$0.00	Paid \$18,197.31 11/25/2024	Receipt #24-0037713 Print (PDF)
2023 Annual Bill ⓘ	\$0.00	Paid \$18,413.24 11/30/2023	Receipt #23-0051141 Print (PDF)
2022 Annual Bill ⓘ	\$0.00	Paid \$471.72 11/29/2022	Receipt #22-0040779 Print (PDF)
2021 Annual Bill ⓘ	\$0.00	Paid \$198.23 11/17/2021	Receipt #21-0027327 Print (PDF)
2020 Annual Bill ⓘ	\$0.00	Paid \$205.82 02/17/2021	Receipt #20-0108081 Print (PDF)
2019 Annual Bill ⓘ	\$0.00	Paid \$214.24 04/15/2020	Receipt #19-0150056 Print (PDF)
Total Amount Due	\$0.00		

SAN FELASCO TECH CITY PHASE 5 SITE PLAN

CITY OF ALACHUA, FLORIDA

LEGAL DESCRIPTION

LEGAL DESCRIPTION: (PER OFFICIAL RECORDS BOOK 3842, PAGE 1386)

A PARCEL OF LAND LOCATED IN SECTION 20, TOWNSHIP 8 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A FOUND IRON PIN MARKING THE SOUTHEAST CORNER OF SECTION 20, TOWNSHIP 8 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA; THENCE WEST A DISTANCE OF 1313.40 FEET TO A POINT; THENCE NORTH A DISTANCE OF 218.99 FEET TO A FOUND 3/4" IRON PIN MARKING A POINT ON THE NORTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 441 (200 FOOT RIGHT-OF-WAY); THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE, NORTH 72 DEG. 51 MIN. 49 SEC. WEST A DISTANCE OF 171.11 FEET TO A FOUND 5/8 INCH IRON PIN (FLORIDA D.O.T.) MARKING THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHEAST, HAVING A DELTA OF 06 DEG. 52 MIN. 05 SEC., A RADIUS OF 11424.66 FEET AND A CHORD BEARING NORTH 69 DEG. 24 MIN. 13 SEC. WEST, 1368.62 FEET; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 1369.44 FEET TO A FOUND 6" X 6" CONCRETE MONUMENT (FLORIDA D.O.T.); THENCE NORTH 65 DEG. 59 MIN. 42 SEC. WEST A DISTANCE OF 1385.74 FEET TO A FOUND 5/8 INCH REBAR AND CAP (#3524); THENCE DEPARTING SAID NORTH RIGHT-OF-WAY LINE, NORTH 22 DEG. 09 MIN. 10 SEC. EAST A DISTANCE OF 159.44 FEET TO A FOUND 5/8 INCH REBAR AND CAP (#3524); THENCE NORTH 66 DEG. 13 MIN. 12 SEC. WEST A DISTANCE OF 228.98 FEET TO A FOUND 5/8 INCH REBAR AND CAP (#3524); THENCE NORTH 01 DEG. 33 MIN. 25 SEC. EAST A DISTANCE OF 169.02 FEET TO A FOUND 4" X 4" CONCRETE MONUMENT (PLS #940) MARKING THE POINT OF BEGINNING; THENCE NORTH 23 DEG. 50 MIN. 23 SEC. EAST A DISTANCE OF 2014.5 FEET TO A SET 5/8 INCH REBAR AND CAP (#3524) MARKING A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF SEABOARD COAST LINE RAILROAD (200 FOOT RIGHT-OF-WAY); THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE OF SEABOARD COAST LINE RAILROAD, NORTH 58 DEG. 44 MIN. 53 SEC. WEST A DISTANCE OF 624.24 FEET TO A FOUND 5/8 INCH REBAR AND CAP (#3524); THENCE DEPARTING SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 00 DEG. 37 MIN. 49 SEC. EAST A DISTANCE OF 70.65 FEET TO A FOUND 5/8 INCH REBAR AND CAP (#3524); THENCE NORTH 58 DEG. 44 MIN. 53 SEC. WEST A DISTANCE OF 547.93 FEET TO FOUND 5/8 INCH REBAR AND CAP (#3524) MARKING THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST, HAVING A DELTA OF 10 DEG. 00 MIN. 21 SEC., A RADIUS OF 2712.57 FEET AND A CHORD BEARING NORTH 63 DEG. 45 MIN. 03 SEC. WEST, 473.11 FEET; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 473.71 FEET TO A FOUND 5/8 INCH REBAR AND CAP (#3524); THENCE SOUTH 00 DEG. 08 MIN. 45 SEC. WEST A DISTANCE OF 2697.9 FEET TO A FOUND 5/8 INCH REBAR AND CAP (#3524) MARKING A POINT ON SAID NORTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 441; THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE, SOUTH 66 DEG. 00 MIN. 09 SEC. EAST A DISTANCE OF 209.40 FEET TO A FOUND 4" X 4" CONCRETE MONUMENT; THENCE DEPARTING SAID NORTH RIGHT-OF-WAY LINE, NORTH 01 DEG. 07 MIN. 22 SEC. EAST A DISTANCE OF 540.90 FEET TO A FOUND 4" X 4" CONCRETE MONUMENT; THENCE SOUTH 65 DEG. 57 MIN. 03 SEC. EAST A DISTANCE OF 460.08 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH A PERPETUAL, NON-EXCLUSIVE AND UNRESTRICTED EASEMENT OVER, UNDER AND ACROSS THE FOLLOWING TWO PARCELS OF REAL PROPERTY.

EASEMENT PARCEL #1

COMMENCE AT THE HALF MILE CORNER OR THE NORTH LINE OF SECTION 19, TOWNSHIP 8 SOUTH, RANGE 19 EAST, AND RUN SOUTH 499.11 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD; THENCE RUN SOUTH 81 DEG. 45' 10" EAST ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE 2797.03 FEET TO THE P.C. OF A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS AT 2764.93 FEET; THENCE RUN SOUTHEASTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AN ARC DISTANCE OF 498.99 FEET TO A CONCRETE MONUMENT AT THE NORTHWEST CORNER OF GENERAL ELECTRIC CO. PROPERTY; SAID POINT BEING THE P.O.B.; THENCE CONTINUE SOUTHEASTERLY ALONG SAID RIGHT-OF-WAY LINE AN ARC DISTANCE OF 31.68 FEET AND A CHORD BEARING AND DISTANCE OF SOUTH 7L DEG. 06' 52" EAST 31.68 FEET; THENCE RUN SOUTH 00 DEG. 08' 45" WEST PARALLEL WITH AND 30 FEET FROM THE WEST LINE OF SAID GENERAL ELECTRIC CO. PROPERTY, 2718.29 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE AT U.S. HIGHWAY NO. 441 (STATE ROAD NO. 25); THENCE RUN NORTH 66 DEG. 00' 06" WEST ALONG SAID RIGHT-OF-WAY LINE 32.8 FEET TO THE SOUTHWEST CORNER OF SAID PROPERTY, BEING A CONCRETE MONUMENT; THENCE RUN NORTH 00 DEG. 08' 45" EAST ALONG THE WEST LINE AT SAID PROPERTY 2715.11 FEET TO THE P.O.B., BEING AND LYING IN SECTION 30, TOWNSHIP 8 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA.

EASEMENT PARCEL #2

COMMENCE AT THE HALF MILE CORNER OR THE NORTH LINE OR SECTION 19, TOWNSHIP 8 SOUTH, RANGE 19 EAST AND RUN SOUTH 499.11 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD; THENCE RUN SOUTH 81 DEG. 45' 18" EAST ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE 2797.03 FEET TO THE P.C. OF A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 2764.93 FEET; THENCE RUN SOUTHEASTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AN ARC DISTANCE OF 498.99 FEET TO A CONCRETE MONUMENT AT THE NORTHWEST CORNER OF GENERAL ELECTRIC CO. PROPERTY; THENCE CONTINUE SOUTHEASTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AN ARC DISTANCE OF 31.68 FEET AND A CHORD BEARING AND DISTANCE OF SOUTH 71 DEG. 06' 52" EAST 31.68 FEET TO THE P.O.B.; THENCE CONTINUE SOUTHEASTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AN ARC DISTANCE OF 582.25 FEET AND A CHORD BEARING AND DISTANCE OF SOUTH 64 DEG. 45' 10" EAST 581.11 FEET TO THE P.T. OF SAID CURVE; THENCE CONTINUE ALONG SAID RIGHT-OF-WAY LINE SOUTH 58 DEG. 43' 12" EAST 510.61 FEET; THENCE RUN SOUTH 00 DEG. 37' 54" EAST 70.68 FEET; THENCE RUN NORTH 58 DEG. 43' 12" WEST PARALLEL WITH AND 60 FEET FROM THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID RAILROAD, 547.97 FEET TO THE P.C. OF A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS AT 2704.93 FEET; THENCE RUN NORTHWESTERLY ALONG SAID CURVE AN ARC DISTANCE OF 484.91 FEET AND A CHORD BEARING AND DISTANCE OF NORTH 63 DEG. 51' 21" WEST 484.26 FEET; THENCE RUN SOUTH 08 DEG. 08' 45" WEST PARALLEL WITH AND 90 FEET EAST OF THE WEST LINE OF SAID G. E. PROPERTY 2659.10 FEET TO THE NORTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 441 (STATE ROAD NO. 25); THENCE RUN NORTH 66 DEG. 00' 06" WEST ALONG SAID RIGHT-OF-WAY LINE 65.6 FEET; THENCE RUN NORTH 00 DEG. 08' 45" EAST 2718.2 FEET TO THE P.O.B. BEING AND LYING IN SECTION 20, TOWNSHIP 8 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA.

TOGETHER WITH:

A PORTION OF PARCEL A AS RECORDED IN OFFICIAL RECORDS BOOK 3527, PAGE 1217 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 20, TOWNSHIP 8 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA; THENCE WEST A DISTANCE OF 1313.40 FEET; THENCE NORTH A DISTANCE OF 218.99 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 441 (200 FOOT RIGHT-OF-WAY); THENCE NORTH 72' 51' 47" WEST ON SAID NORTH RIGHT-OF-WAY LINE A DISTANCE OF 171.11 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHEAST HAVING A DELTA OF 06' 52' 05", A RADIUS OF 11424.66 FEET AND A CHORD BEARING AND DISTANCE OF NORTH 69' 24' 13" WEST, 1368.62 FEET; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE A DISTANCE OF 1369.44 FEET; THENCE NORTH 65' 00' 17" WEST, A DISTANCE OF 58.98 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL A; THENCE ON THE BOUNDARY OF SAID PARCEL A THE FOLLOWING SEVEN (7) COURSES AND DISTANCES:

1. LEAVING SAID NORTH RIGHT-OF-WAY LINE, NORTH 23' 59' 25" EAST, A DISTANCE OF 664.68 FEET;
 2. THENCE NORTH 66' 04' 35" WEST, A DISTANCE OF 265.85 FEET;
 3. THENCE NORTH 24' 28' 46" EAST, A DISTANCE OF 680.88 FEET;
 4. THENCE NORTH 65' 49' 12" WEST, A DISTANCE OF 500.01 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND;
 5. THENCE NORTH 24' 11' 00" EAST, A DISTANCE OF 870.43 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF THE SEABOARD COAST LINE RAILROAD (200' RIGHT-OF-WAY);
 6. THENCE NORTH 58' 45' 42" WEST, ON SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 881.26 FEET;
 7. THENCE SOUTH 23' 50' 23" WEST, A DISTANCE OF 1504.88 FEET;
- THENCE LEAVING SAID BOUNDARY SOUTH 65' 30' 13" EAST, A DISTANCE OF 699.02 FEET; THENCE NORTH 24' 02' 31" EAST, A DISTANCE OF 530.00 FEET TO A POINT ON THE NORTHWESTERLY PROJECTION OF THE BOUNDARY OF SAID PARCEL A; THENCE SOUTH 65' 49' 12" EAST ON SAID NORTHWESTERLY PROJECTION, A DISTANCE OF 167.86 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN THE CITY OF ALACHUA, ALACHUA COUNTY, FLORIDA AND CONTAINING AN AREA OF 26.98 ACRES MORE OR LESS.

TOGETHER WITH:

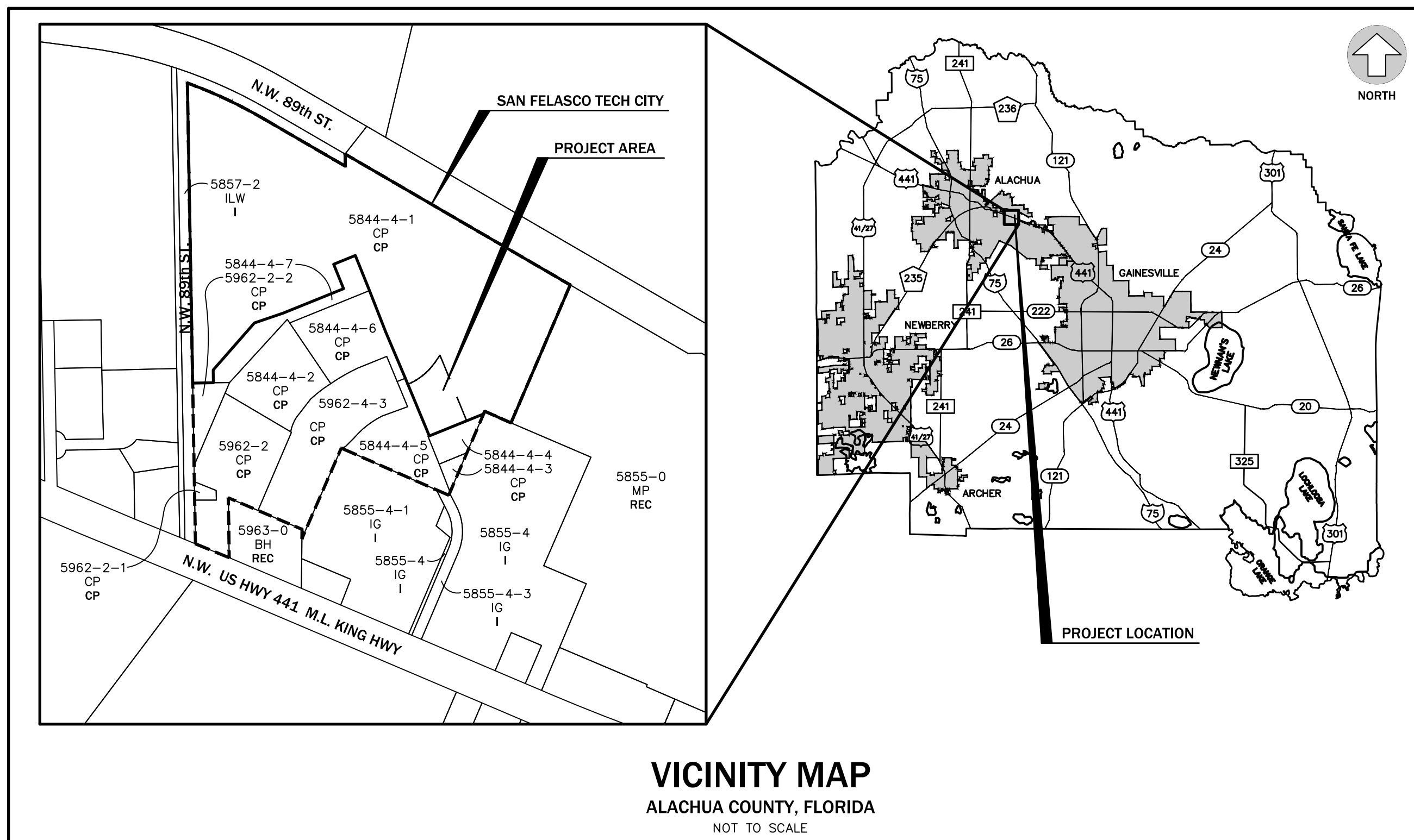
A PORTION OF TAX PARCEL 05855-004-000

A 20 FOOT WIDE STRIP OF LAND LOCATED IN SECTION 20, TOWNSHIP 8 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA, BEING A PORTION OF PARCEL A AS RECORDED IN OFFICIAL RECORDS BOOK 3527, PAGE 1217 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID PARCEL A, BEING ON THE NORTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441; THENCE ON THE BOUNDARY OF SAID PARCEL A THE FOLLOWING FIVE (5) COURSES AND DISTANCES:

- 1) NORTH 66 DEGREES 00 MINUTES 17 SECONDS WEST ON SAID RIGHT-OF-WAY LINE, A DISTANCE OF 1,251.02 FEET;
 - 2) THENCE NORTH 22 DEGREES 09 MINUTES 10 SECONDS EAST, A DISTANCE OF 158.74 FEET;
 - 3) THENCE NORTH 68 DEGREES 13 MINUTES 12 SECONDS EAST, A DISTANCE OF 305.43 FEET;
 - 4) THENCE NORTH 01 DEGREES 33 MINUTES 25 SECONDS EAST, A DISTANCE OF 116.27 FEET TO THE POINT OF BEGINNING;
 - 5) THENCE CONTINUE NORTH 01 DEGREES 33 MINUTES 25 SECONDS EAST, A DISTANCE OF 52.75 FEET TO A POINT ON THE WESTERLY LINE OF SAID PARCEL A;
- THENCE NORTH 23 DEGREES 50 MINUTES 23 SECONDS EAST ON SAID WESTERLY LINE, A DISTANCE OF 509.75 FEET TO A POINT ON THE SOUTHERLY MOST SOUTH LINE OF THE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 4637, PAGE 2216 OF SAID PUBLIC RECORDS; THENCE SOUTH 65 DEGREES 30 MINUTES 13 SECONDS EAST ON SAID SOUTH LINE, A DISTANCE OF 20.00 FEET; THENCE SOUTH 23 DEGREES 50 MINUTES 23 SECONDS WEST ON A LINE 20 FEET EAST OF AND PARALLEL WITH SAID WESTERLY LINE, A DISTANCE OF 558.33 FEET TO THE POINT OF BEGINNING. SAID PARCEL OF LAND CONTAINING AN AREA OF 0.25 ACRES MORE OR LESS.

DEVELOPMENT INFORMATION	
1. PROJECT OWNER:	LASER INVESTMENT GROUP, LLC 3201 SW 42ND STR, SUITE 2 GAINESVILLE, FLORIDA 32608
2. NAME OF PROJECT:	SAN FELASCO TECH CITY - PHASE 4 SITE PLAN
3. PROJECT DESCRIPTION:	CONSTRUCTION OF COMMUNITY CLUBHOUSE WITH ATTACHED PAVILION AND POOL, TENNIS COURT, BASKETBALL COURT, VOLLEYBALL PIT, PLAYGROUND, (3) HYDROPONICS FARM CONTAINERS WITH ASSOCIATED PAVING, GRADING, DRAINAGE, AND UTILITY IMPROVEMENTS.
4. PROJECT ADDRESS:	13900 TECH CITY CIRCLE
5. TAX PARCEL NUMBER:	05844-004-001 (PORTION OF)
6. SECTION/TOWNSHIP/RANGE:	SECTION 20, TOWNSHIP 08 SOUTH, RANGE 19 EAST
7. ZONING:	CORPORATE PARK, IG
8. FUTURE LAND USE DESIGNATION:	CORPORATE PARK, INDUSTRIAL
9.	A FLOOD PLAIN IS LOCATED WITHIN THE PARCEL, BUT NO IMPACT IS PROPOSED WITH THIS PHASE OF THE PROJECT.
10.	IRRIGATION SYSTEM IS PROVIDED FOR LANDSCAPED AREAS
11.	THE PROJECT SITE WILL MEET ALL NPDES CRITERIA DURING AND AFTER CONSTRUCTION.
12.	WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED THAT SHELL BE INSTALLED, COMPLETED AND IN SERVICE PRIOR TO COMMENCING CONSTRUCTION WORK ON ANY STRUCTURE PER NFPA 1 SECTION 16.4.3.1.3.



ZONING:		FUTURE LAND USE:	
ILW	- LIGHT AND WAREHOUSE INDUSTRIAL	C	- COMMERCIAL
CI	- COMMERCIAL INTENSIVE	CC	- COMMUNITY COMMERCIAL
BH	- BUSINESS HIGHWAY	I	- INDUSTRIAL
CC	- COMMUNITY COMMERCIAL DISTRICT	RE	- RURAL EMPLOYMENT CENTER
MP	- INDUSTRIAL SERVICES AND MANUFACTURING	CP	- CORPORATE PARK
CP	- CORPORATE PARK		
IG	- INDUSTRIAL GENERAL		

IMPERVIOUS AREA CALCULATIONS				
#	DESCRIPTION	SQUARE FOOTAGE (S.F.)	ACREAGE (AC.)	PERCENTAGE (%)
1.	TOTAL SITE AREA:	79,279 S.F.	1.82 AC.	100%
2.	PROPOSED BUILDING ADDITION, PAVILION & HYDROPONIC FARMS:	7,376 S.F.	0.17 AC.	9.30%
3.	PROPOSED FUTURE BUILDING ADDITION:	4,395 S.F.	0.10 AC.	5.54%
4.	PROPOSED TOTAL BUILDING COVERAGE:	11,771 S.F.	0.27 AC.	14.84%
5.	PROPOSED PAVEMENT AND SIDEWALK AREA:	13,995 S.F.	0.32 AC.	17.65%
6.	PROPOSED MISCELLANEOUS IMPERVIOUS AREA:	16,393 S.F.	0.38 AC.	20.68%
7.	PROPOSED TOTAL IMPERVIOUS AREA:	42,159 S.F.	0.97 AC.	53.18%
8.	OPEN AREA:	37,120 S.F.	0.85 AC.	46.82%

PARKING CALCULATIONS				
#	DESCRIPTION	CRITERIA	REQUIRED	PROVIDED
1.	VEHICULAR PARKING	1 PARKING SPACE PER 300 S.F. OF FLOOR AREA	3,212 S.F./300 = 10.7 OR 11 SPACES	20 INCLUDING 1 HANDICAP SPACE
2.	BICYCLE PARKING	10% OF REQUIRED NUMBER OF VEHICLE PARKING	20 SPACES X .10 = 2 SPACES	3 RACKS FOR 6 SPACES

TRIP GENERATION							
ITE LAND USE: 495 - RECREATIONAL COMMUNITY CENTER							
PROPOSED: COMMUNITY CLUBHOUSE							
PERIOD	RATE	PER UNIT	TRIPS	TRIP DISTRIBUTION		PROJECTED TRIPS	
				ENTER	EXIT	IN	OUT
AM	1.85	3.21	5.94	63%	37%	3.74	2.20
PM	2.53	3.21	8.13	47%	53%	3.82	4.31
ADT	28.82	3.21	92.57	50%	50%	46.28	46.28

SOURCE: ITE TRIP GENERATION, 11TH EDITION

BUILDING INFORMATION	
BUILDING HEIGHT:	28'-6"
SPRINKLERED:	YES
OCCUPANCY CLASS:	A-3
CONSTRUCTION TYPE:	TYPE II
NUMBER OF STORIES:	1
GROSS FLOOR AREA:	3,019 S.F.
TOTAL GROSS FLOOR AREA:	3,019 S.F.
BUILDING AREA:	3,212 S.F.
TOTAL BUILDING AREA UNDER ROOF:	3,956 S.F.

DRAWING INDEX	
SHEET NUMBER	SHEET TITLE
C100	COVER SHEET
C110	LEGEND, SYMBOLS & GENERAL NOTES
C120	OVERALL DEVELOPMENT PLAN
C130	DEMOLITION PLAN
C140	EROSION CONTROL DETAILS
C200	DIMENSION PLAN
C300	PAVING, GRADING AND DRAINAGE PLAN
C310	PAVING, GRADING, AND DRAINAGE PLAN DETAILS
C320	STORMWATER POLLUTION PREVENTION PLAN
C400	UTILITY PLAN
C410	UTILITY DETAILS (1 OF 2)
C420	UTILITY DETAILS (2 OF 2)



EB 2389
720 S.W. 2nd Ave, South Tower, Suite 300
GAINESVILLE, FLORIDA 32601
TEL. (352) 373-3541
www.edaf.com permitting@edaf.com

No.	Date	Comment

Professional Engineer of Record:

06/30/2025

Claudia S. Vega, P.E. 5132
Engineer Certificate No.

Project No: 25-048

Project phase: CONSTRUCTION PLANS

Project title: SAN FELASCO TECH CITY PHASE 5 SITE PLAN CITY OF ALACHUA, FLORIDA

Sheet title: COVER SHEET

Designed: CSV Sheet No.:

Drawn: NJG/TAR

Checked: TAR

Date: 06/30/25

C100

EXISTING SYMBOLS & ABBREVIATIONS

- C/L = CENTERLINE
COR = CORRUGATED METAL PIPE
CONC = CONCRETE
COR = CORNER
R = DELTA (CENTRAL) ANGLE
A = ARC
T = TANGENT
CB = CHORD BEARING
CD = CHORD DISTANCE
dIP = DUCTILE IRON PIPE
ELEV = ELEVATION
ELIP = ELLIPTICAL CORRUGATED METAL PIPE
ELIP = ELLIPTICAL REINFORCED CONCRETE PIPE
ID = IDENTIFICATION
INV = INVERT
F.D.O.T. = FLORIDA DEPARTMENT OF TRANSPORTATION
F.F. = FINISHED FLOOR
M.E.S. = MITERED END SECTION
No. = NUMBER
O.R. = OFFICIAL RECORDS BOOK
PGS. = PAGES
PVC = POLY-VINYL CHLORIDE
RCR = REINFORCED CONCRETE PIPE
R/W = RIGHT OF WAY
SEC 28-9-19 = SECTION 28, TOWNSHIP 9 SOUTH, RANGE 19 EAST
TRAN = ELECTRICAL TRANSFORMER PAD
W/T = WITH
ANCH = GUY ANCHOR
WB = WATER BLOW OFF
CO = SANITARY CLEAN-OUT
CD = FOUND CONCRETE MONUMENT (size, ID)
FO = FOUND DRILL HOLE
FI = FOUND IRON PIPE (size, ID)
FD = FOUND NAIL & DISK (ID)
FB = FOUND REBAR & CAP (size, ID)
FS = FOUND SPIKE
GM = GAS METER
GV = GAS VALVE
GP = GUY POLE
EH = ELECTRICAL HANDHOLE
FH = FIRE HYDRANT
IRV = IRRIGATION VALVE
LPL = LIGHT POLE
MBOX = MAIL BOX
MP = MANHOLE
PP = POWER POLE
S5 = SET 5/8" REBAR & CAP (LB 2389)
SCM = SET CONCRETE MONUMENT (PRM LB 2389)
SND = SET NAIL & DISC (PRM LB 2389)
SP = SET SPIKE
SHRUB = SHRUB
SIGN = SIGN
TLR = TELEPHONE RISER
TRXR = CABLE TELEVISION RISER
WM = WATER METER
WV = ELEVATION CONTOUR LINE
FENCE LINE
OHGW = OVERHEAD GUY WIRE
OHP = OVERHEAD POWER LINE
OHT = OVERHEAD TELEPHONE LINE
OHTV = OVERHEAD TELEVISION LINE
SS = SANITARY SEWER LINE
UGEL = UNDERGROUND ELECTRIC LINE
UGAS = UNDERGROUND GAS LINE
UGT = UNDERGROUND TELEPHONE LINE
UGTV = UNDERGROUND CABLE TELEVISION LINE
UW = UNDERGROUND WATER LINE
SPOT ELEVATION

TREE LEGEND

THE ONLY TREES LOCATED FOR THIS SURVEY WERE HARDWOODS 8" AND GREATER AND PINES 12" AND GREATER (DIAMETER MEASURED AT BREAST HEIGHT)

Table with columns: Location, Species, Size/Common Name. Includes entries like 10" BAY, 11" CHINABERRY, 12" CHERRY, etc.

LEGEND

- TREE BARRICADE
SILT FENCE
(TBR) EXISTING FEATURES TO BE REMOVED (TBR)
LIMITS OF EXISTING ASPHALT PAVEMENT, CONCRETE AND/OR BUILDING TO BE REMOVED
LIMITS OF ASPHALT PAVEMENT
LIMITS OF CONCRETE PAVEMENT AND SIDEWALKS
PEDESTRIAN WALKWAY (SEE SHEET C2.10 FOR DETAILS, MATERIAL AND INSTALLATION)
EXISTING TREE TO REMAIN
EXISTING TREE TO BE REMOVED
EXISTING SPOT ELEVATION
PROPOSED SPOT ELEVATION
EXISTING CONTOUR ELEVATION
PROPOSED EASEMENT

PROPOSED UTILITY SYMBOLS

- WM = WATER MAIN, PROPOSED
WM = WATER MAIN, EXISTING
WW = WASTEWATER GRAVITY MAIN, PROPOSED
PW = PLUG END AND CAP
BOA = BLOW-OFF ASSEMBLY
GV = GATE VALVE & BOX
BV = BUTTERFLY VALVE
PV = PLUG VALVE
WCV = SWING CHECK VALVE
BFP = BACK FLOW PREVENTER
RPF = REDUCED PRESSURE ZONE BFP
DCBFP = DOUBLE CHECK BFP
DVCV = DUAL CHECK VALVE
ARV = AIR RELEASE VALVE
RF = REDUCER FITTING
PR = PRESSURE REGULATOR
PIV = POST INDICATOR VALVE
CLO = CLEAN OUT OR ROOF DRAIN LATERAL
FTB = FITTING W/ THRUST BLOCK
FHTB = FIRE HYDRANT W/ THRUST BLOCK
FHA = FIRE HYDRANT ASSEMBLY
PWTM = POTABLE WATER METER
DSWM = DUAL SERVICE WATER METER
GWA = GANG WATER METER ASSEMBLY
TX = ELECTRIC TRANSFORMER
RW = RECLAIMED WATER METER ASSEMBLY
RCW = RECLAIMED WATER MAIN, PROPOSED
RCW = PLUG END AND CAP
RCW = BLOW-OFF ASSEMBLY
RCW = GATE VALVE & BOX
RCW = REDUCER FITTING
FM = WASTEWATER (PRESSURE) MAIN, PROPOSED
SS = SANITARY SEWER MAIN, PROPOSED
SS = SANITARY SEWER MAIN, EXISTING
SM = SANITARY SEWER MANHOLE, PROPOSED
SE = SANITARY SEWER MANHOLE, EXISTING
SP = SANITARY SEWER PLUG
PV = PLUG VALVE
SL = SEWER LATERAL, SINGLE SERVICE
GV = GATE VALVE
CV = CHECK VALVE
AR = AIR RELEASE VALVE

GENERAL NOTES

- 1. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES SHOULD BE SHOWN TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS...
2. PRIOR TO THE INITIATION OF SITE CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ANY EXISTING UTILITIES INCLUDING GAS, WATER, ELECTRIC, CABLE TV, COMMUNICATIONS, SANITARY SEWERS AND STORM DRAINAGE SYSTEMS...
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED...
4. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR THE RELOCATION OF EXISTING UTILITIES...
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS SPECIFIED BY THE VARIOUS GOVERNMENTAL AGENCIES...
6. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, ON ALL PRECAST AND MANUFACTURED ITEMS...
7. SAFETY:
A. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED...
B. ALL UNDERGROUND UTILITIES MUST BE IN-PLACE, TESTED AND INSPECTED PRIOR TO BASE AND SURFACE CONSTRUCTION...
8. CONTRACTOR IS REQUIRED TO SECURE A FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) "NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM" (NPDES) PERMIT...
9. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE CONSTRUCTED SIMULTANEOUSLY WITH THE DISTURBANCE OF THE LAND...
10. CITY: ALL WORK WITHIN OR ON CITY OWNED AND MAINTAINED FACILITIES...
11. THE ENGINEER OF RECORD SHALL FILE AS-BUILT PLANS OR RECORD DRAWINGS WITH THE PUBLIC WORKS DEPARTMENT...
12. RECORD DRAWINGS SHALL BE LEGIBLY MARKED TO DOCUMENT ACTUAL CONSTRUCTION...
13. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS...

CONSTRUCTION NOTES

- 1. SIGNS AND BARRICADES SHALL BE IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES...
2. SAFE PEDESTRIAN TRAFFIC IS TO BE MAINTAINED AT ALL TIMES.
3. ANY SIDEWALK WHICH BECOMES UNDERMINED MUST BE REMOVED AND REPLACED. SIDEWALKS ARE TO BE RECONSTRUCTED WITHIN THREE (3) DAYS AFTER REMOVAL...
4. DISTURBED AREA WITHIN THE R-O-W WILL BE COMPACTED TO 98% OF MAXIMUM DENSITY AND SODED.
5. STOCKPILING OF MATERIAL IS NOT ALLOWED ON ROADWAYS OR SIDEWALKS...
6. ANY PORTION OF ROADWAYS OR SIDEWALKS THAT SUSTAIN EXCESSIVE CONSTRUCTION RELATED DAMAGE...
7. CONSTRUCTION MUST BE PER THE APPROVED SITE PLAN OF THE DRC (OR EQUIVALENT)...
8. OFF-SITE OR ROADWAY R-O-W CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CONDITIONS OF THE APPROVED R-O-W PERMIT(S)...
9. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED...
10. ALL CONSTRUCTION, MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARDS...
11. CONTRACTOR IS RESPONSIBLE FOR CHECKING ACTUAL SITE CONDITIONS BEFORE STARTING CONSTRUCTION...
12. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE COMMENCING WORK...
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS REQUIRED PRIOR TO CONSTRUCTION...
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR...
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES...
16. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES...
17. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE...
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE...
19. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS...
20. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN SHALL BE INITIATED AS SOON AS PRACTICABLE...
21. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED...
22. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION...
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STABILIZATION, SEDIMENT BASINS, ETC.)...
24. NO GRADING, CUTTING, OR FILLING SHALL COMMENCE UNTIL SUCH TIME AS APPROPRIATE EROSION AND SEDIMENTATION CONTROL DEVICES HAVE BEEN INSTALLED...
25. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PRECEDING ANY DISTURBANCE OF THE LAND...
26. ALL CONTROL STRUCTURE AND OUTFALL CULVERT INSTALLATIONS SHALL BE PROTECTED WITH SEDIMENT BARRIERS AT A MINIMUM...
27. ALL DISTURBED AREAS (ABOVE NORMAL WATER LEVELS) UNLESS OTHERWISE NOTED HEREIN SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF FINAL GRADING...

EROSION CONTROL NOTES

PAVING, GRADING, AND DRAINAGE NOTES

- 1. TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES...
2. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODED UNLESS INDICATED OTHERWISE...
3. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES...
4. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS...
5. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS...
6. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS...
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE...
8. THE CONTRACTOR SHALL STABILIZE BY SEED AND MULCH, SO, OR OTHER APPROVED MATERIALS ANY DISTURBED AREAS...
9. SITE GRADING, PAVING AND DRAINAGE MATERIALS AND CONSTRUCTION SHALL CONFORM TO FDOT STANDARD SPECIFICATIONS...
10. IMMEDIATELY AT ONSET OF CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS...
11. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE AND ROPE OFF CONSERVATION AREA LINES...
12. CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED...
13. ALL SIGNAGE, PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS...
14. REGULATORY SIGNS (STOP, ETC.) SHALL BE PAID FOR BY THE CONTRACTOR...
15. BLUE REFLECTIVE PAVEMENT MARKERS SHALL BE PLACED OPPOSITE FIRE HYDRANTS...
16. CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENTS TO DRAIN POSITIVELY...
17. PROPOSED AND EXISTING SIDEWALKS SHALL BE RAMPED FLUSH WITH PAVEMENT...
18. FINISHED FLOOR ELEVATIONS ARE MINIMUM ELEVATIONS REQUIRED TO SATISFY DRAINAGE...
19. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND DISPOSING ALL WASTE MATERIALS...
20. ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOILS TESTING COMPANY...
21. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT, SIDEWALK, OR GROUND SURFACE GRADES...
22. CURBING SHALL BE PLACED AT THE EDGES OF ALL PAVEMENT...
23. THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL AND/OR BETTER CONDITION...
24. UNLESS OTHERWISE NOTED, GRADE TO MEET EXISTING ELEVATION AT PROPERTY LINES...
25. SURVEY MONUMENTS OR BENCHMARKS, WHICH HAVE TO BE DISTURBED BY THIS WORK, SHALL BE REPLACED...
26. FINAL GRADES SHOWN INCLUDE SOD HEIGHT...
27. IF WORK IS SUSPENDED OR DELAYED FOR 14 DAYS, THE CONTRACTOR SHALL TEMPORARILY STABILIZE...
28. STORM DRAINS SHALL BE REINFORCED CONCRETE PIPE...
29. ALL STORM STRUCTURES SHALL CONFORM WITH FDOT STANDARD INDEX DRAWINGS...
30. ALL CONCRETE CURBS, SIDEWALKS, INLET TOPS, ETC. SHALL BE 3000 PSI MINIMUM...
31. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER...
32. A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE...
33. THE STORM DRAINAGE PIPING SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION...
34. THE CONTRACTOR SHALL MAINTAIN AND PROTECT FROM MUD, DIRT, DEBRIS, ETC. THE STORM DRAINAGE SYSTEM...



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Professional Engineer of Record:

06/30/2025

Claudia S. Vega, P.E. 5132
Engineer Certificate No.

Project No: 25-048

Project phase:

CONSTRUCTION PLANS

Project title:

SAN FELASCO TECH CITY
PHASE 5 SITE PLAN
CITY OF ALACHUA, FLORIDA

Sheet title:
LEGEND, SYMBOLS & GENERAL NOTES

Designed: CSV Sheet No.:

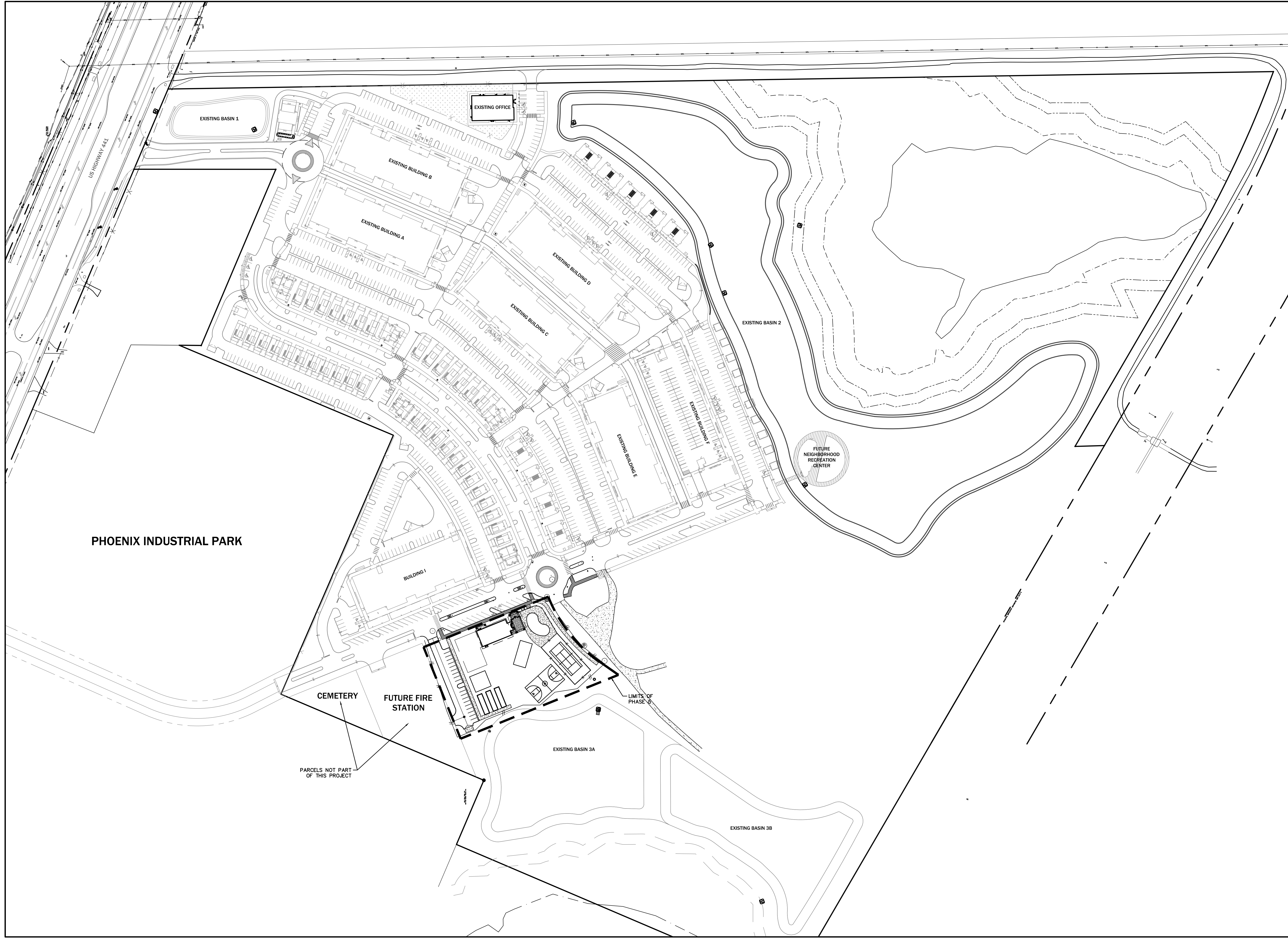
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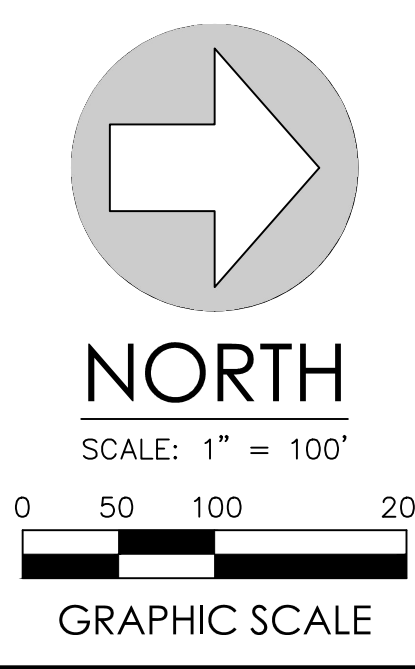
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consultants inc.

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Engineer Certificate No.

Project No: 25-048

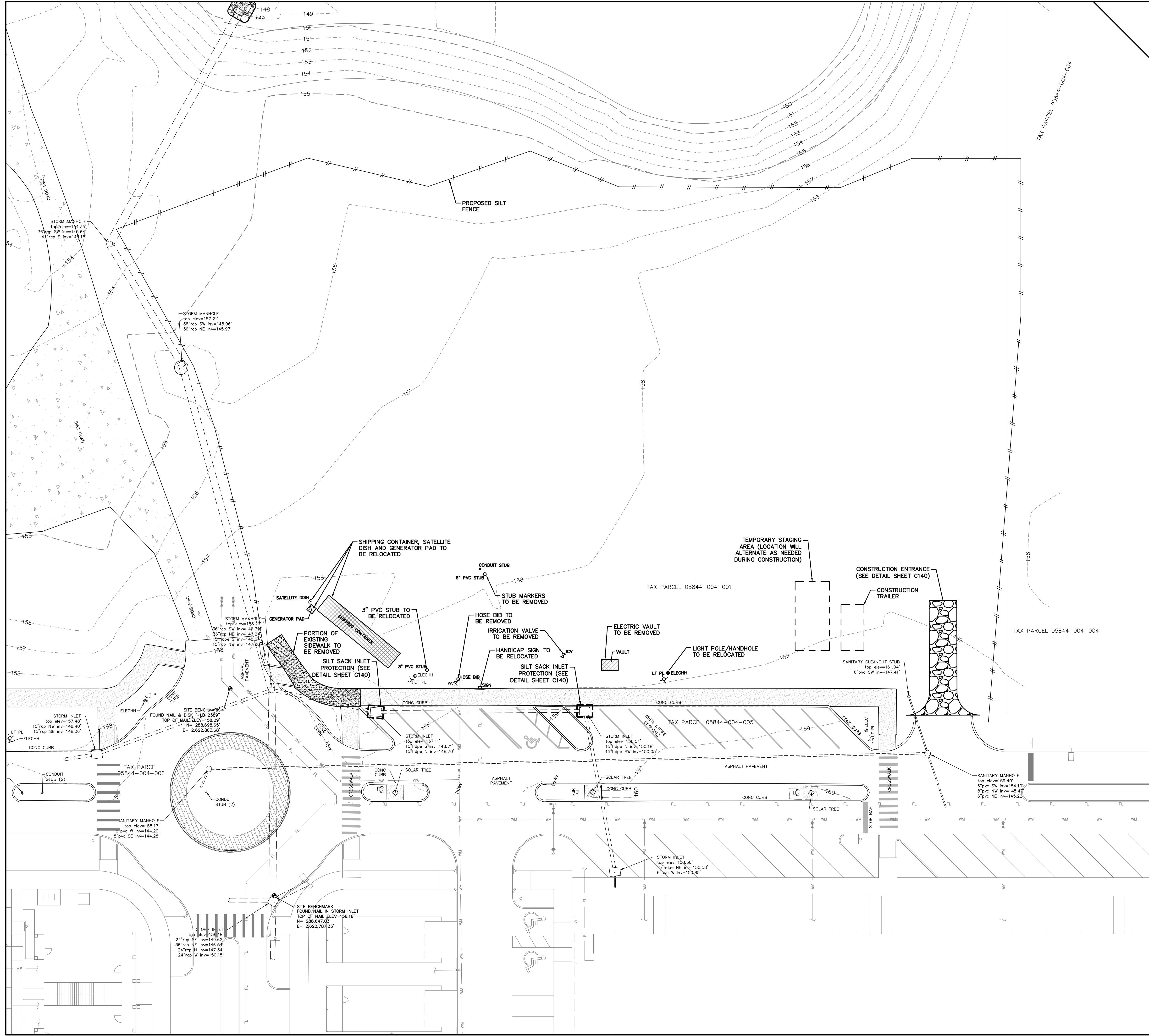
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Project title:
**SAN FELASCO TECH CITY
PHASE 5 SITE PLAN
CITY OF ALACHUA,
FLORIDA**

Sheet title:
OVERALL DEVELOPMENT PLAN

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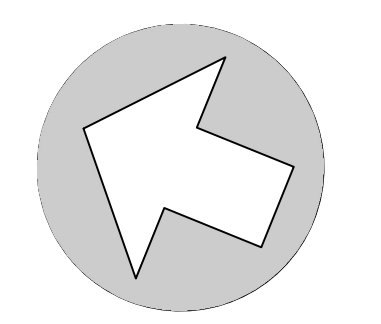


DEMOLITION NOTES

1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
3. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION / PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
4. CONTRACTOR SHALL SUBMIT DEMOLITION SCHEDULE TO OWNER PRIOR TO PROCEEDING WITH DEMOLITION ACTIVITIES.
5. CONDUCT SITE DEMOLITION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. CLOSURE OF THESE FACILITIES MAY REQUIRE A MAINTENANCE OF TRAFFIC PLAN PREPARED BY A REGISTERED PROFESSIONAL AT THE CONTRACTORS EXPENSE.
6. PROVIDE PROTECTION AS NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS SHOWN IN THE PLANS TO REMAIN.
7. LOCATE EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES IN AREAS OF WORK. IF UTILITIES ARE TO REMAIN IN PLACE, PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
8. CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR THE TERMINATION, CAPPING-OFF AND REMOVAL OF ALL EXISTING UNDERGROUND AND ABOVE GROUND UTILITY SERVICES UNLESS DIRECTED TO OTHERWISE.
9. EROSION CONTROLS ARE TO BE INSTALLED AND INSPECTED PRIOR TO BEGINNING DEMOLITION WORK.
10. IN AREAS WHERE PROPOSED CURBING IS TO BE PLACED, THE ASPHALT PAVEMENT SHALL BE REMOVED TO THE FACE OF CURB TO ALLOW PLACEMENT OF 6" STANDARD CONCRETE CURBING.
11. IN AREAS OF PROPOSED LANDSCAPE AREA THE PAVEMENT, LIMEROCK BASE, AND 12" OF THE STABILIZED SUBGRADE SHALL BE REMOVED. COORDINATE WITH LANDSCAPE ARCHITECT TO DETERMINE IF ADDITIONAL REMOVAL IS REQUIRED TO MAKE AREA SUITABLE FOR LANDSCAPE PURPOSES. THE REMOVED LIMEROCK BASE SHALL NOT BE USED IN THE BASE FOR THE NEW PAVEMENT (PER FOOT SECTION 200), BUT THE REMOVED BASE CAN BE USED IN THE STABILIZATION OF SUBGRADE. SEE GRADING PLAN FOR BACKFILL REQUIREMENTS.
12. ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDER'S SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS SHALL BE REMOVED AND 36" OF CLEAN FILL OF PH 5.5 - 6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS OR TREES.
13. SEE DIMENSION PLAN FOR DIMENSIONING OF PROPOSED LANDSCAPE AREAS.
14. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES TO REMAIN AS SHOWN IN THE UTILITY PLAN. ANY EXISTING UTILITIES TO BE REMOVED SHALL BE COORDINATED WITH THE ASSOCIATED UTILITY COMPANY, AND PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
15. SEE ELECTRICAL AND IRRIGATION PLANS FOR COORDINATION OF PAVEMENT CUTS FOR ASSOCIATED CONDUITS.



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Professional Engineer of Record:

06/30/2025
Claudia S. Vega, P.E. 51532
Engineer Certificate No.

Project No: 25-048
Project phase: CONSTRUCTION PLANS
Project title:

**SAN FELASCO TECH CITY
PHASE 5 SITE PLAN
CITY OF ALACHUA,
FLORIDA**

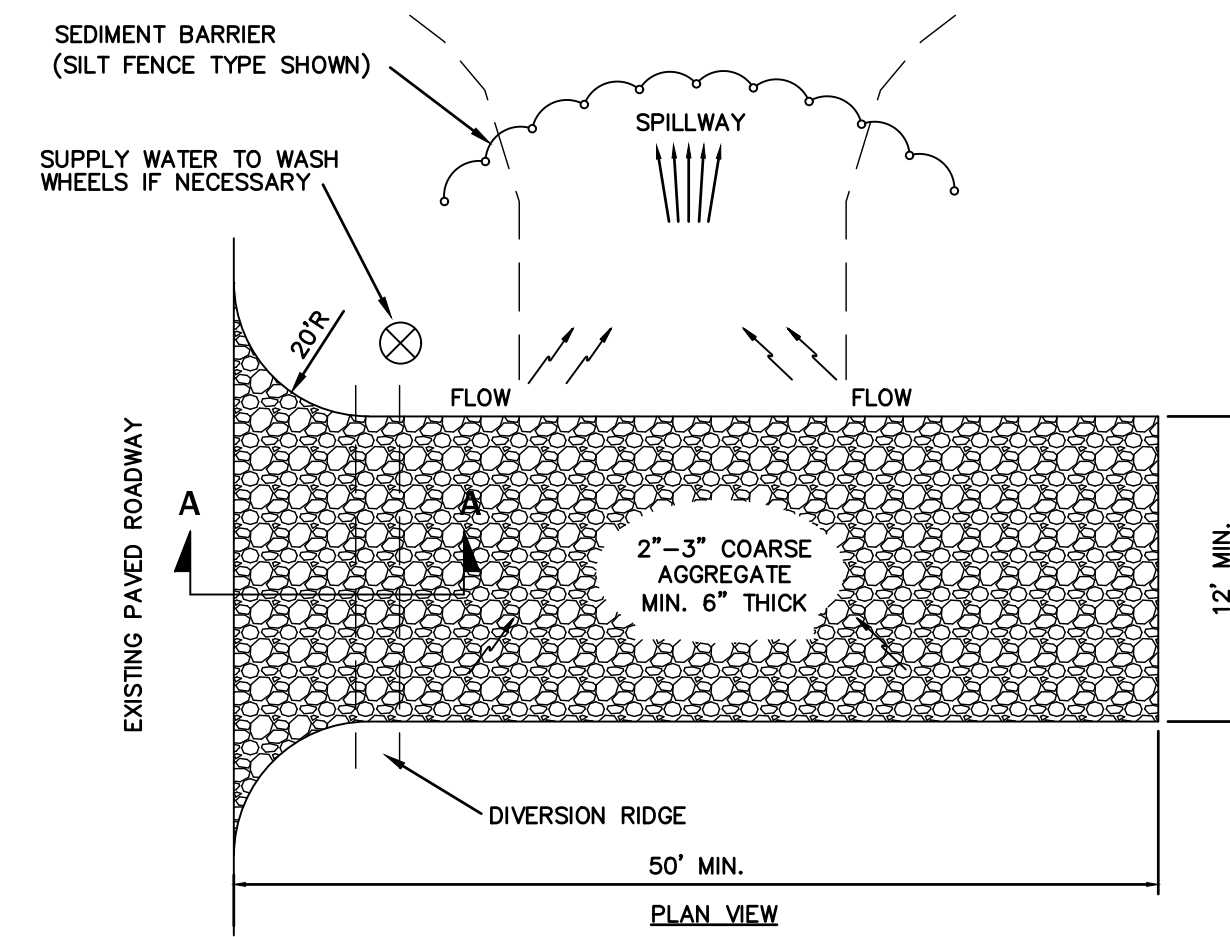
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LEGEND

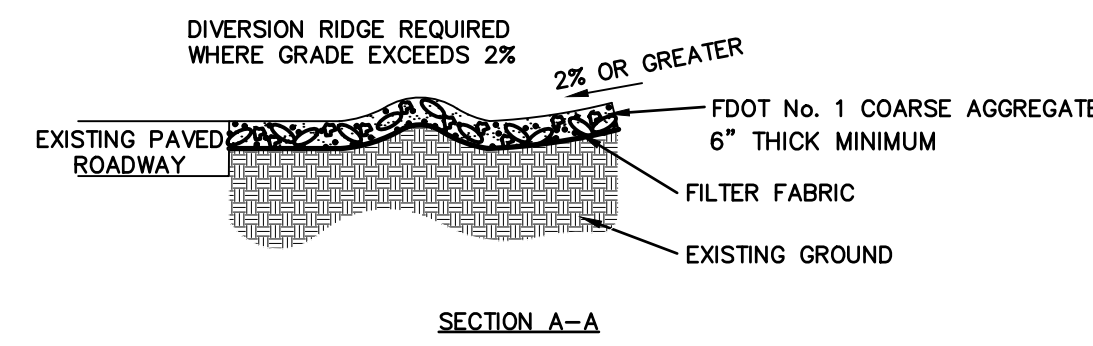
- SILT FENCE
- TREE BARRICADE
- (TBR) EXISTING FEATURES TO BE REMOVED (TBR)
- [Hatched Box] LIMITS OF EXISTING ASPHALT PAVEMENT, CONCRETE AND/OR BUILDING TO BE REMOVED
- ⊗ p120 EXISTING TREE TO BE REMOVED

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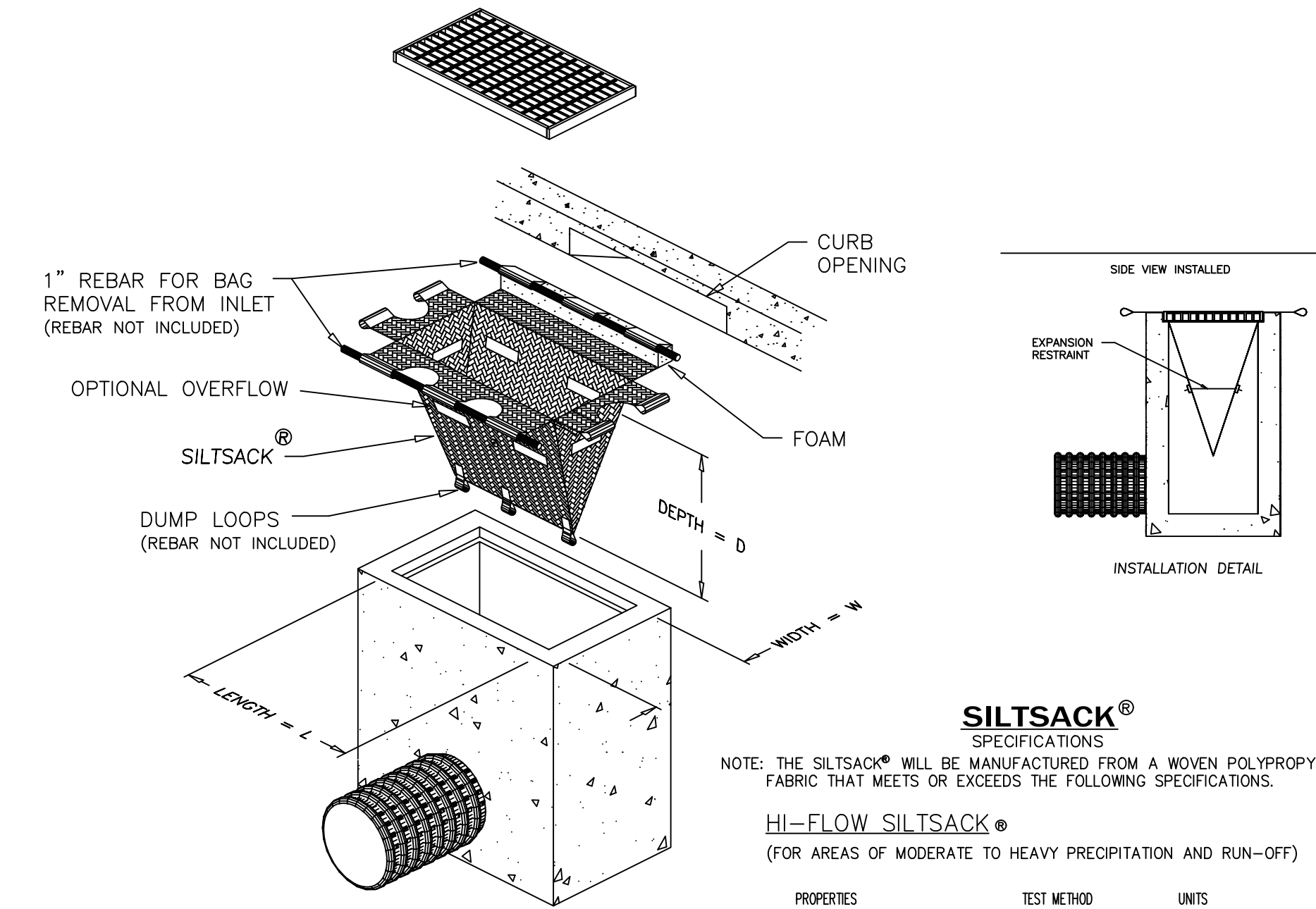
TYPICAL GRAVEL CONSTRUCTION ENTRANCE

N.T.S.



NOTE:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
4. USE SANDBAGS STRAW BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.



REGULAR FLOW SILTSACK®

(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1

SILTSACK®
SPECIFICATIONS

NOTE: THE SILTSACK® WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS.

HI-FLOW SILTSACK®

(FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

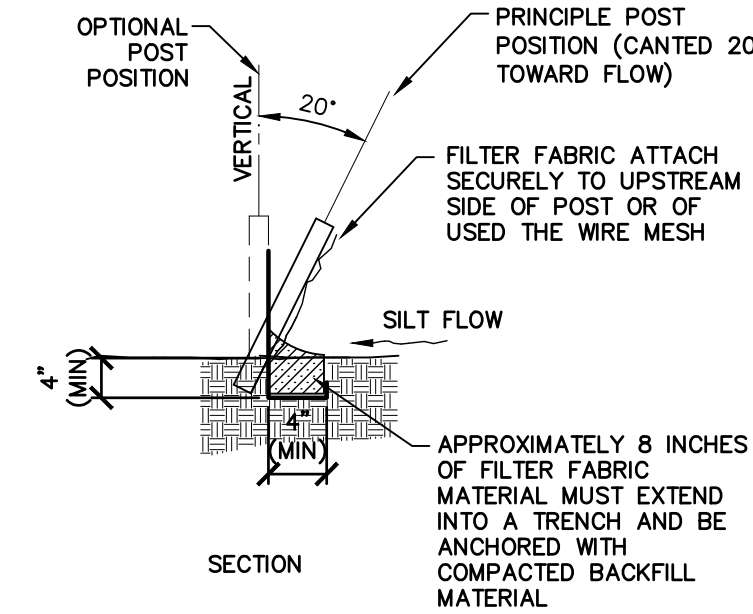
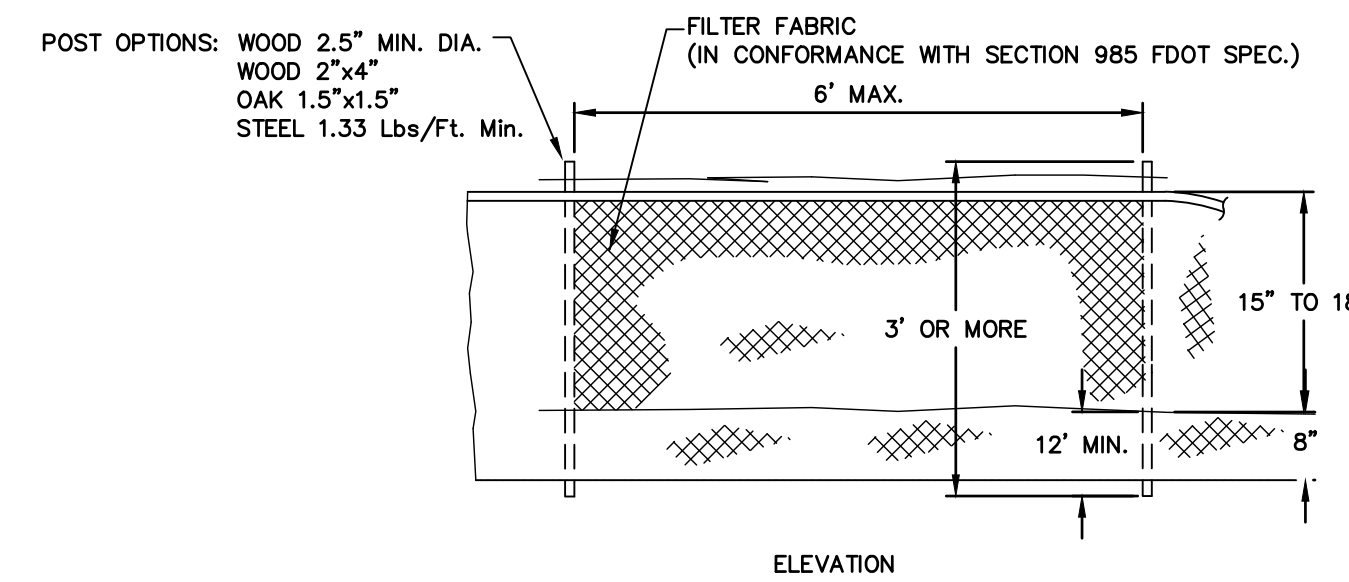
OIL-ABSORBANT SILTSACK®

(FOR AREAS WHERE THERE IS A CONCERN FOR OIL RUN-OFF OR SPILLS)

DEPENDING ON YOUR PARTICULAR APPLICATION, THE SILTSACK CAN BE MADE FROM EITHER ONE OF THE ABOVE FABRICS WITH AN OIL-ABSORBANT PILLOW INSERT OR, MADE COMPLETELY FROM AN OIL-ABSORBANT SILTSACK®, WITH A WOVEN PILLOW INSERT.

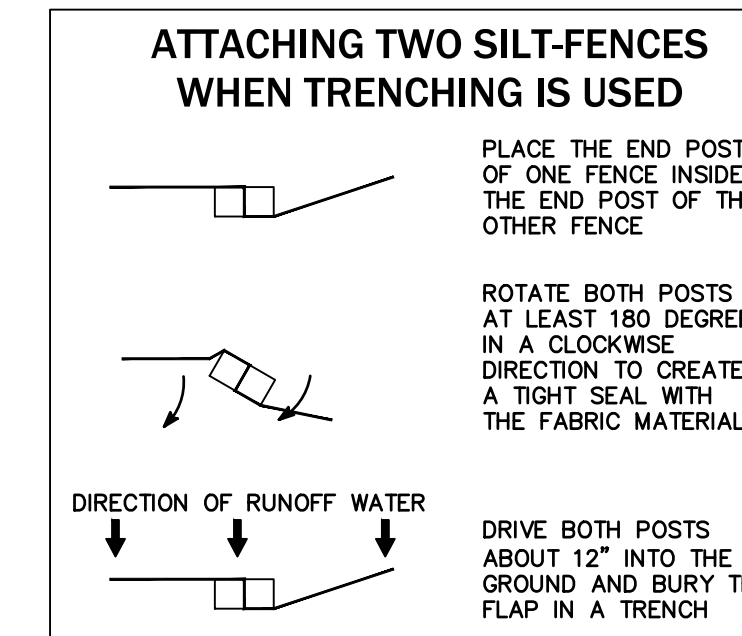
DETAIL OF INLET SEDIMENT CONTROL DEVICE WITH CURB DEFLECTOR

N.T.S.



TYPE III SILT FENCE DETAIL

N.T.S.



ATTACHING TWO SILT-FENCES WHEN TRENCHING IS USED

PLACE THE END POST OF ONE FENCE INSIDE THE END POST OF THE OTHER FENCE

ROTATE BOTH POSTS AT LEAST 180 DEGREES IN A CLOCKWISE DIRECTION TO CREATE A TIGHT SEAL WITH THE FABRIC MATERIAL

DRIVE BOTH POSTS ABOUT 12" INTO THE GROUND AND BURY THE FLAP IN A TRENCH



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Professional Engineer of Record:

06/30/2025

Claudia S. Vega, P.E. 51532
Engineer Certificate No.

Project No: 25-048

Project phase: CONSTRUCTION PLANS

Project title: SAN FELASCO TECH CITY PHASE 5 SITE PLAN CITY OF ALACHUA, FLORIDA

Sheet title: EROSION CONTROL DETAILS

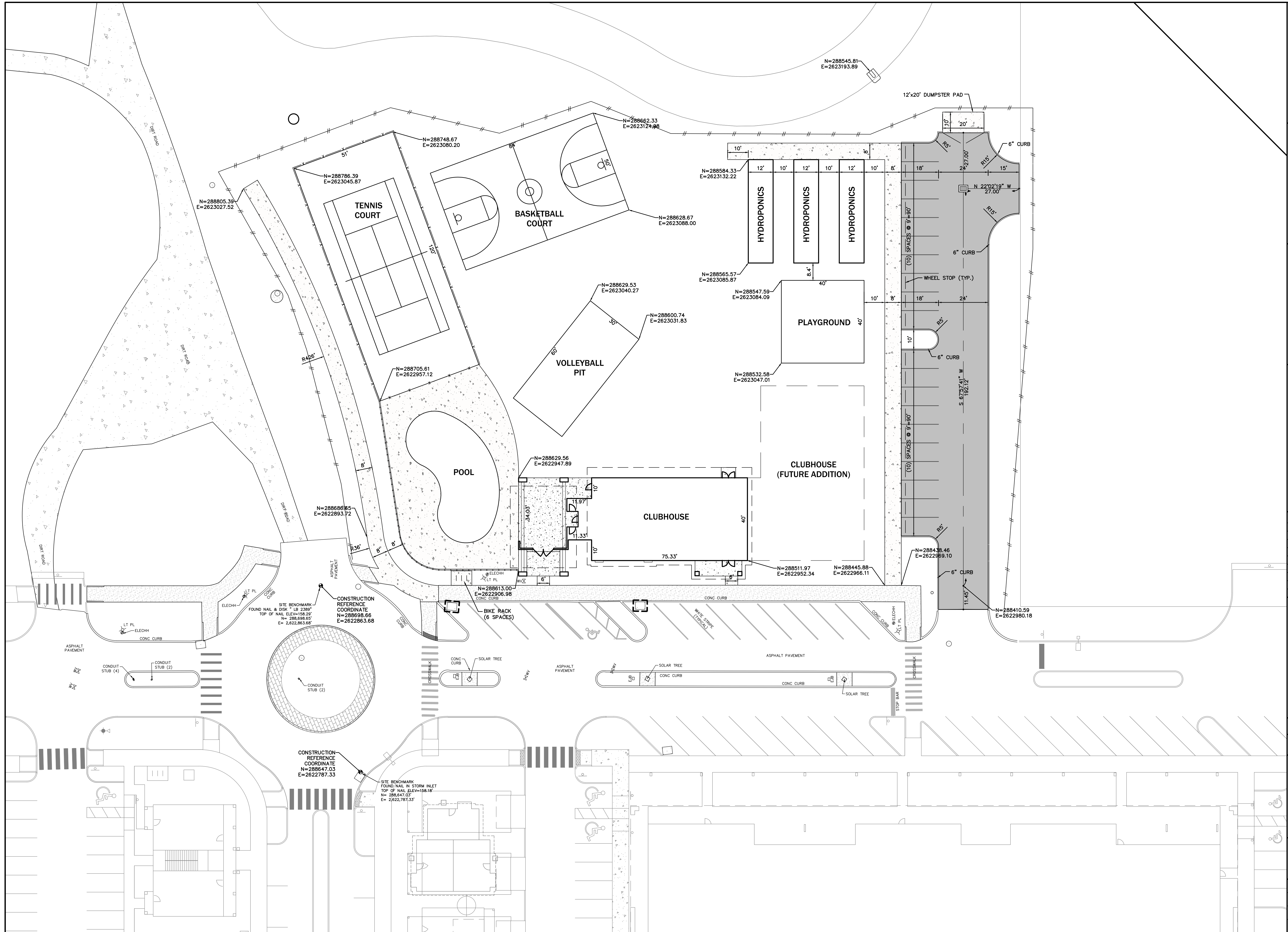
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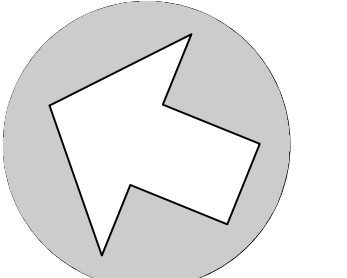
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Project No: 25-048

Project phase: CONSTRUCTION PLANS

Project title: SAN FELASCO TECH CITY PHASE 5 SITE PLAN CITY OF ALACHUA, FLORIDA

Sheet title: DIMENSION PLAN

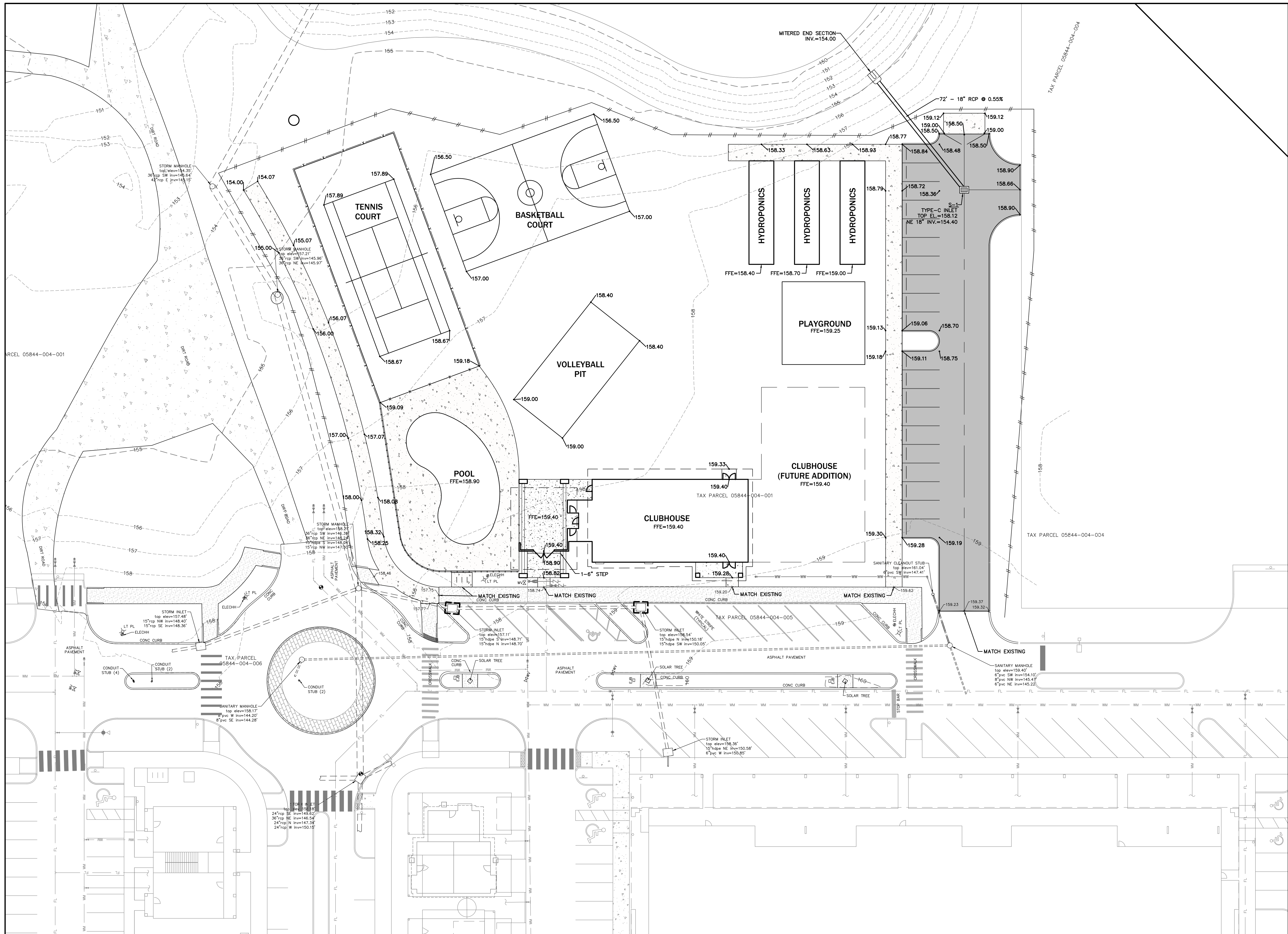
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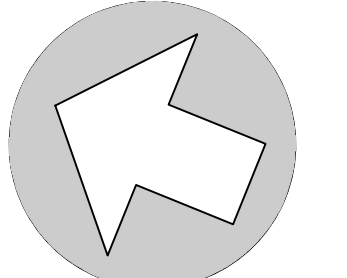
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NORTH
SCALE: 1" = 20'
0 10 20 40
GRAPHIC SCALE

No.	Date	Comment

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Professional Engineer of Record:

06/30/2025

Claudia S. Vega, P.E. 51532
Engineer Certificate No.

Project No: 25-048

Project phase: CONSTRUCTION PLANS

Project title:

**SAN FELASCO TECH CITY
PHASE 5 SITE PLAN
CITY OF ALACHUA,
FLORIDA**

Sheet title:
**PAVING, GRADING AND
DRAINAGE PLAN**

Designed: CSV Sheet No.:

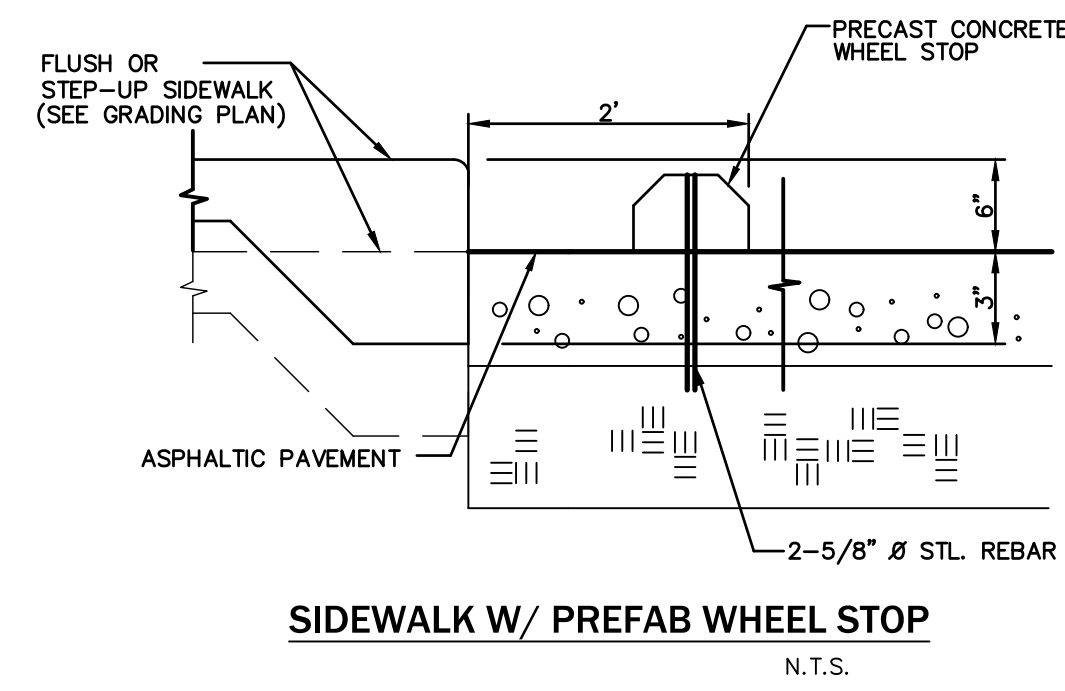
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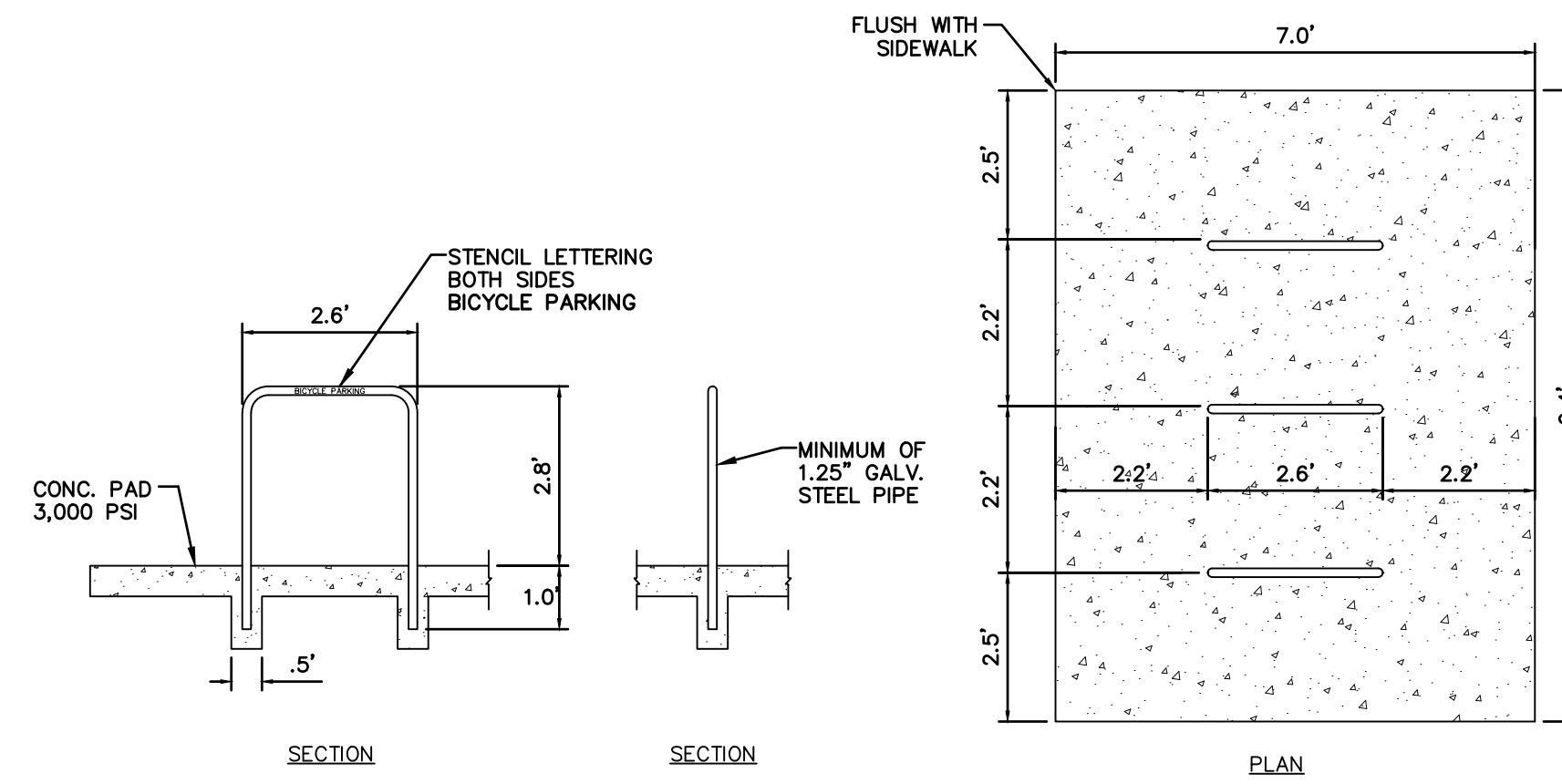
Date: 06/30/25

PAVING, GRADING AND DRAINAGE SPECIFICATIONS

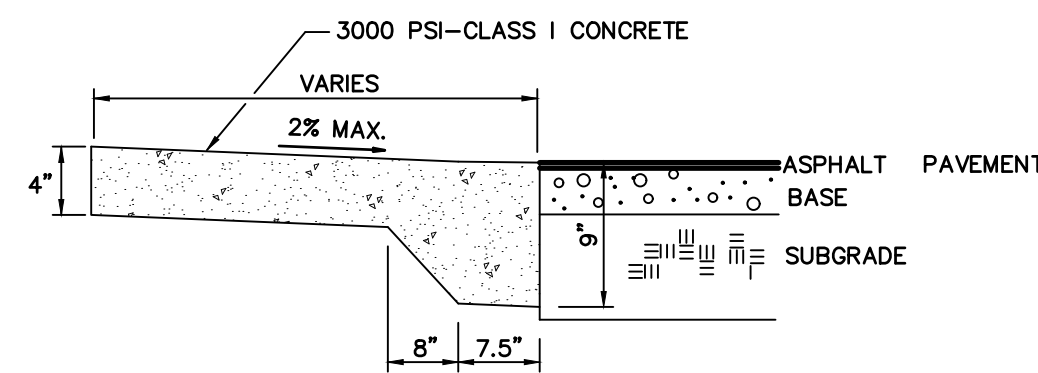
- GENERAL:** ALL ROADWAY AND DRAINAGE CONSTRUCTION, INCLUDING MATERIALS, CONSTRUCTION TECHNIQUES, AND TECHNICAL STANDARDS, SHALL BE IN ACCORDANCE WITH THE LATEST F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE LATEST F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS.
- ALL AREAS OF NEW CONSTRUCTION SHALL BE PREPARED AFTER SITE DEMOLITION. TOP SOIL REMAINING ON-SITE MAY BE STOCKPILED FOR FINE GRADING IN LANDSCAPED AREAS, IF SUITABLE. THE CONTRACTOR SHALL FURNISH ALL FILL REQUIRED AND DISPOSE OF ALL EXCESS OR UNSUITABLE MATERIAL OFF-SITE IN ACCORDANCE WITH ALL REGULATORY REQUIREMENTS.
- ALL NEW ASPHALT PAVEMENT CONSTRUCTION SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
 - EARTHWORK:** FILL MATERIALS SHALL CONFORM TO AASHTO SOIL GROUPS A-1, A-3, OR A-2-4 AND SHALL BE PLACED IN 6"-12" LOOSE LIFTS AND COMPACTED TO 98% DENSITY USING MODIFIED PROCTOR METHOD (AASHTO T-180).
 - SUBSOIL EXCAVATION:** WHERE SUBSOIL EXCAVATION IS REQUIRED, UNSUITABLE MATERIALS SHALL BE REMOVED TO A DEPTH OF 18" BELOW THE LIMEROCK BASE AND BACKFILLED WITH CLEAN FILL.
 - STABILIZED SUBGRADE:** ALL STABILIZED MATERIAL SHALL BE TYPE 'B' CONFORMING TO SECTION 914-3 AND PLACED ACCORDING TO SECTION 160 IN ONE 12" MINIMUM COMPACTED LIFT. SUBGRADE SHALL BE STABILIZED TO A MINIMUM LBR VALUES AND DENSITIES AS SHOWN IN THE TYPICAL SECTIONS.
 - BASE COURSE:** ALL MATERIAL SHALL BE LIMEROCK CONFORMING TO SECTION 911 AND PLACED ACCORDING TO SECTION 200 IN ONE 6" MINIMUM COMPACTED LIFT OR DOUBLE COMPACTED LIFT. ALL BASE MATERIAL SHALL BE COMPACTED TO 98% DENSITY BY MODIFIED PROCTOR METHOD (AASHTO T-180). THE PRIME COAT SHALL CONFORM TO SECTION 300.
 - ASPHALTIC CONCRETE:** ALL ASPHALTIC CONCRETE MATERIAL SHALL BE AS PER DESIGN SECTIONS AND SHALL CONFORM TO SECTION 334. ALL ASPHALTIC CONCRETE CONSTRUCTION SHALL CONFORM TO SECTION 330. ASPHALT PAVEMENT SHALL BE SUPERPAVE SP-PG 67-22 ASPHALT BINDER.
- ALL CONCRETE USED FOR CONSTRUCTION OF DRAINAGE STRUCTURES, SIDEWALKS, AND CURBING SHALL BE CLASS I CONFORMING TO SECTION 346.
- REINFORCED CONCRETE PIPE SHALL CONFORM TO SECTION 430.
- ALL PAVEMENT MARKINGS REQUIRED IN THE R/W SHALL BE THERMOPLASTIC AND INCLUDE RAISED PAVEMENT MARKERS, WHERE REQUIRED CONFORMING TO SECTION 711.
- ALL PAVEMENT MARKING, SYMBOLS AND STRIPING WITHIN THE SITE SHALL MEET THE LATEST FLORIDA HANDICAP ACCESSIBILITY CODE. PAVEMENT MARKING SHALL BE 4" BLUE/WHITE (HANDICAP) OR WHITE (REGULAR) AND SHALL CONFORM TO THE LATEST F.D.O.T. AND M.U.T.C.D. STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A GEOTECHNICAL CONSULTANT TO PROVIDE A FIELD INVESTIGATION REPORT DELINEATING RECOMMENDATIONS FOR UNDERCUTTING AND/OR UNDERDRAINS. A COPY OF THIS REPORT SHALL BE FORWARDED TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO UNDERCUTTING OR INSTALLING UNDERDRAIN. UNIT PRICES SHALL BE PROVIDED FOR UNDERDRAIN AND UNDERCUTTING. THE CONTRACTOR SHALL NOT CONSTRUCT BASE COURSE UNTIL THE REPORT IS REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
- SOIL TESTING RESULTS SHALL BE PROVIDED FOR THE PAVEMENT CONSTRUCTION. TESTING RESULTS SHALL BE SUBMITTED FOR THE SUBGRADE AND BASE COURSE, IN ACCORDANCE WITH THE DESIGN SECTION. A MINIMUM OF 5 TEST LOCATIONS SHALL BE PROVIDED ON-SITE. THE TESTING REPORT SHALL DENOTE THE TEST LOCATIONS. THE CONTRACTOR SHALL NOT PROCEED TO THE SUBSEQUENT PAVEMENT SECTION UNTIL TESTING RESULTS ARE APPROVED FOR PREVIOUS SECTION. ALL TESTING REQUIRED WITHIN THE COUNTY R/W SHALL BE COORDINATED WITH THE COUNTY INSPECTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING COST.
- LANDSCAPING: FINAL GRADING IN OPEN AREAS AND LANDSCAPE ISLANDS SHALL BE COORDINATED WITH THE LANDSCAPE CONTRACTOR AND THE OWNER. THE CONTRACTOR SHALL ALSO COORDINATE THE PLACEMENT OF ANY IRRIGATION AND ELECTRICAL CONDUIT SLEEVES DURING CONSTRUCTION.
- ROOF RUNOFF WILL BE DIRECTED TO THE STORMWATER SYSTEM IF A GUTTER COLLECTION SYSTEM IS NOT SHOWN IN THE PLANS. RUNOFF COLLECTION SHALL BE COORDINATED WITH THE ARCHITECT.
- REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS IS THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR. SOIL IN AREAS TO BE LANDSCAPED SHALL BE UNCOMPACTED, SUITABLE FOR ROOT GROWTH WITH APPROPRIATE AMOUNTS OF ORGANIC MATTER, AND OF pH 5.5-6.5.
- TREE BARRICADES MUST REMAIN IN PLACE AND IN THE DIMENSIONS SHOWN ON THE PLAN UNTIL LANDSCAPING BEGINS. SEE NOTE ON SHEET C0.20 AND THE DETAIL ON THE LANDSCAPE PLAN.



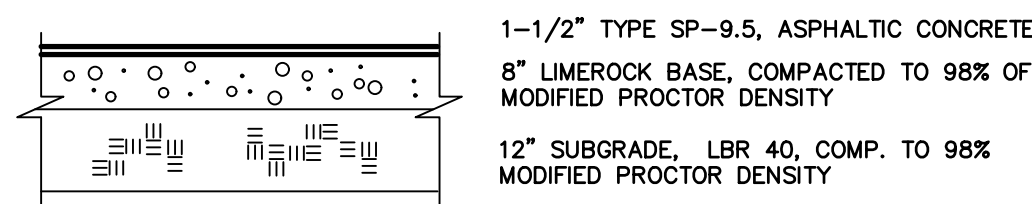
SIDEWALK W/ PREFAB WHEEL STOP
N.T.S.



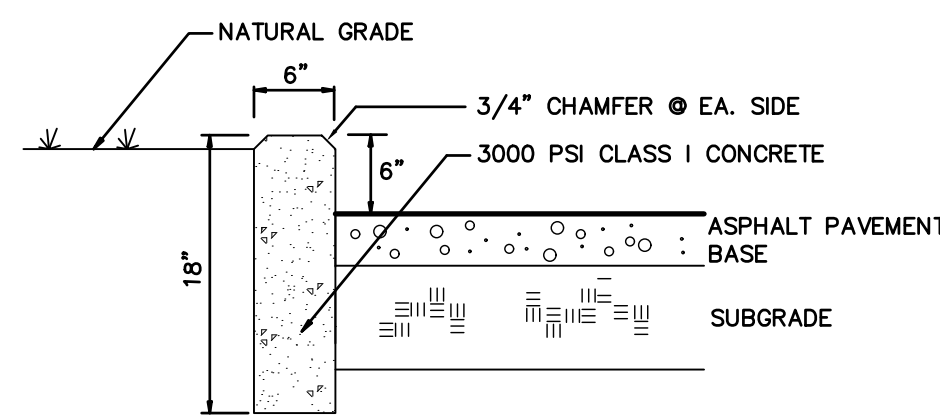
BIKE RACK DETAIL
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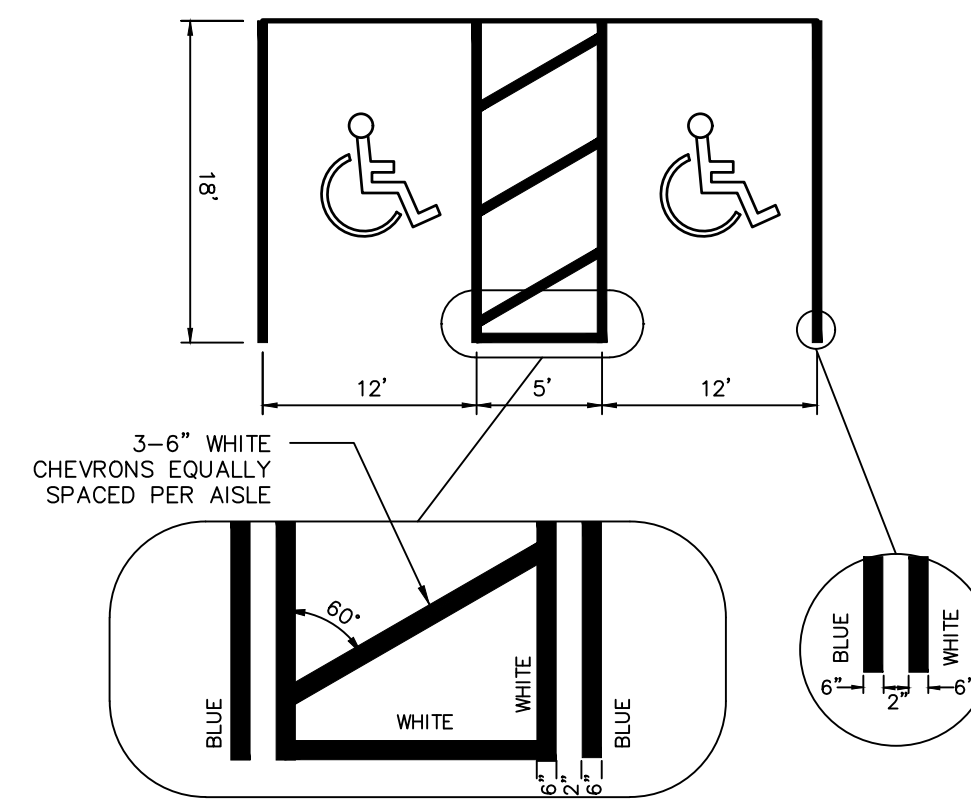
TYPICAL FLUSH SIDEWALK DETAIL
N.T.S.



TYPICAL ASPHALT PAVEMENT DETAIL
N.T.S.



6" STANDARD CURB DETAIL
N.T.S.



HANDICAP STRIPING DETAIL
N.T.S.



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PHASE 5 SITE PLAN
CITY OF ALACHUA,
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Sheet title:
PAVING, GRADING, AND
DRAINAGE PLAN DETAILS

Designed: CSV Sheet No.:

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C310

THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MAY BE MODIFIED AND UPDATED DURING CONSTRUCTION AS A RESULT OF WEATHER, UNPREDICTABLE EVENTS AND SITE INSPECTIONS.

THIS DOCUMENT WAS PREPARED IN ORDER TO BE IN COMPLIANCE WITH CHAPTER 62-621.300 (4) OF THE FLORIDA ADMINISTRATIVE CODE, WHICH PERTAINS TO THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. THE ADMINISTRATIVE CODE GRANTS THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) THE AUTHORITY TO REGULATE POINT SOURCE DISCHARGES OF STORM-WATER FROM CONSTRUCTION SITES. THIS DOCUMENT ESTABLISHES A STORMWATER POLLUTION PREVENTION PLAN FOR THE SITE AND IS ORGANIZED TO CORRESPOND TO PART V OF DEP DOCUMENT No. 62-621.300 (4) (A) FDEP FORM 62-621.300 (4) (B) IS TO BE SUBMITTED IN CONJUNCTION WITH THIS DOCUMENT.

I. PROJECT INFORMATION:

PROJECT: SAN FELASCO TECH CITY PHASE 5 SITE PLAN
 COUNTY: ALACHUA, FLORIDA
 SECTION/TOWNSHIP/RANGE: 20, 08 SOUTH; 19 EAST
 COUNTY PARCEL NO.: 05962-002-00 (PORTION OF), 05844-004-001 (PORTION OF), 05855-005-000 (PORTION OF), 05962-002-001 (PORTION OF), 05962-002-002 (PORTION OF), 05962-002-003 (PORTION OF), 05844-004-002 (PORTION OF),
 LATITUDE AND LONGITUDE:
 STREET ADDRESS: 13900 TECH CITY CIRCLE
 PROJECT AREA: 1.82 AC
 APPROXIMATE AREA TO BE DISTURBED BY CONSTRUCTION: 1.82 AC

II. SITE DESCRIPTION:

- THE PROPOSED DEVELOPMENT WILL CONSIST OF THE CONSTRUCTION OF A COMMUNITY CLUBHOUSE WITH ATTACHED PAVILION AND POOL, TENNIS COURT, BASKETBALL COURT, VOLLEYBALL PIT, PLAYGROUND, 3 HYDROPONIC FARM CONTAINERS WITH ASSOCIATED PAVING, DRAINAGE AND UTILITY IMPROVEMENTS. THE PROPOSED STORMWATER SYSTEM IS AN EXISTING MASTER STORMWATER BASIN LOCATED NORTHEAST. THE SYSTEM IS AN OPEN SYSTEM WHICH PROVIDES WATER QUALITY, AND FLOOD CONTROL FOR THE PROPOSED PROJECT.
- SEQUENCE OF CONSTRUCTION:
 - PRIOR TO CONSTRUCTION, SILT FENCING AND TREE PROTECTION BARRICADES SHALL BE INSTALLED AND ALL EXISTING DRAINAGE STRUCTURES SHALL BE PROTECTED IN ACCORDANCE WITH THE FDOT FLORIDA EROSION AND SEDIMENTATION CONTROL MANUAL.
 - THE CONSTRUCTION ENTRANCE(S) WILL BE STABILIZED TO MINIMIZE THE CREATION OF DUST AND OFF SITE TRACKING OF SEDIMENTS.
 - THE SITE SHALL BE CLEARED AND GRUBBED OF UNDESIRABLE VEGETATION.
 - THE UNDERGROUND UTILITIES AND STORMWATER PIPING WILL BE INSTALLED AND CONNECTED TO EXISTING STRUCTURES.
 - THE SITE WILL BE ROUGHLY GRADED, IF SUITABLE, THE EXCAVATED MATERIAL MAY BE USED AS FILL FOR ON-SITE GRADING. THE ROADWAYS SHALL BE GRADED. (THE BASIN AREA SHALL BE STABILIZED AS SPECIFIED IN THE PLANS.)
 - ROADWAYS AND PARKING LOTS WILL BE COMPACTED AND A LIMEROCK BASE WILL BE ESTABLISHED FOLLOWED BY AN OVERLAY OF ASPHALTIC CONCRETE. BUILDINGS SHALL BE CONSTRUCTED.
 - UPON SIGNIFICANT COMPLETION OF CONSTRUCTION, THE STORMWATER SYSTEM SHALL BE FLUSHED OUT TO REMOVE ACCUMULATED DEBRIS AND SEDIMENT.
 - (EXISTING) STORMWATER BASIN(S) WILL BE SCRAPPED CLEAN OF ACCUMULATED SEDIMENT.
 - ALL DISTURBED AREAS WITHIN THE CONSTRUCTION AREA SHALL BE COMPLETELY GRASSED AND/OR LANDSCAPED. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS.

III. CONTROLS:

- THE CONTROLS SHALL BE IMPLEMENTED AND MAINTAINED DURING THE ENTIRE CONSTRUCTION OF THE PROJECT. IF SITE CONDITIONS ARE SUCH THAT ADDITIONAL CONTROL MEASURES ARE REQUIRED THAN WHAT IS SPECIFIED IN THE EROSION AND SEDIMENTATION CONTROL PLAN, THEN THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES NECESSARY.
- THE CONSTRUCTION ACCESS SHALL BE STABILIZED WITH GRAVEL AND TEMPORARY VEGETATION TO PREVENT SILT LEAVING THE SITE.
 - TREE BARRICADES SHALL BE IMPLEMENTED BEFORE CLEARING AND GRUBBING OF ANY OF THE WORK AREAS.
 - BEFORE CLEARING, SILT FENCES SHALL BE INSTALLED AROUND THE PERIMETER OF THE CONSTRUCTION AND AROUND THE WETLAND(S) AND/OR BASIN(S) AS SHOWN IN THE PLANS. ALL EXISTING STORM DRAINAGE SWALES AND INLETS SHALL BE PROTECTED PER THE FDOT FLORIDA EROSION AND SEDIMENTATION CONTROL MANUAL.
 - AFTER CLEARING BUT BEFORE EXCAVATION AND GRADING, TEMPORARY BERMS AND SWALES SHALL BE CONSTRUCTED AS REQUIRED TO DIVERT THE FLOW INTO THE CORRESPONDING STORMWATER BASIN.
 - THE BASIN (ALL BASIN) AREA(S) SHALL BE PROTECTED AS INDICATED ON THE PLANS.
 - THE STORMWATER BASIN(S) SHALL BE ROUGH GRADED TO WITHIN 6" OF THE DESIGNED BASIN BOTTOM. THE BASIN SIDE SLOPES SHALL BE STABILIZED AS SHOWN IN THE PLANS BY SEEDING, MULCHING AND/OR SODDING TO PREVENT EXCESSIVE EROSION.
 - DURING CONSTRUCTION OF PAVING AND BUILDINGS, EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS REQUIRED.
 - ALL DISTURBED AREAS WITHIN THE CONSTRUCTION SITE SHALL BE COMPLETELY LANDSCAPED AND/OR GRASSED. FINAL STABILIZATION (INCLUDING SEEDING, MULCHING, SODDING OR RIPRAP) SHALL BE INSTALLED AS REQUIRED. GRASS SEEDING RATES AND MIXTURES SHALL BE PER FDOT INDEX 104. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS AND PRIOR TO FINAL RELEASE.

IV. EROSION AND SEDIMENTATION CONTROLS:

STABILIZATION PRACTICES

- ALL ENTRANCES TO THE SITE SHALL BE STABILIZED BEFORE CONSTRUCTION AND FURTHER DISTURBANCE BEGINS. GRAVEL PAD SHALL PROVIDE STABILIZATION AND MINIMIZE THE AMOUNT OF SEDIMENT LEAVING THE SITE. MAINTENANCE OF THE ENTRANCE SHALL INCLUDE SWEEPING OF THE AREA ADJACENT TO THE ENTRANCE. STONE AND GRAVEL MIGHT NEED TO BE PERIODICALLY ADDED TO MAINTAIN THE EFFECTIVENESS OF THE ENTRANCE(S).
- TREE BARRICADES SHALL BE INSTALLED AROUND THE TREES AS SHOWN IN THE DETAIL PLAN TO PROTECT THE EXISTING VEGETATION.
- MULCH SHALL BE PLACED IN THE AREAS REQUIRED TO PREVENT EROSION FROM STORMWATER RUNOFF AND THE AREAS SHOWN ON THE PLANS. MULCH SHALL BE ANCHORED TO RESIST WIND DISPLACEMENT AND SHALL BE INSPECTED AFTER EVERY RAINSTORM TO IDENTIFY AREAS WHERE MULCH HAS BEEN WASHED OUT OR LOOSENED. THESE AREAS SHALL HAVE MULCH COVER REPLACEMENT.
- SEEDING SHALL BE STARTED AFTER GRADING HAS BEEN FINISHED ON THE AREAS SHOWN IN THE PLANS. SEEDED AREAS SHOULD BE INSPECTED FOR FAILURE TO ESTABLISH, AND NECESSARY REPAIRS AND RESEEDING SHOULD BE MADE AS SOON AS POSSIBLE. ADDITIONAL SEEDING AND MULCH MAY BE REQUIRED AS NECESSARY TO PREVENT EROSION DURING OR AFTER CONSTRUCTION HAS FINISHED.
- SOD SHALL BE INSTALLED IN THE AREAS SHOWN IN THE PLANS. SOD SHALL BE PEGGED IF INSTALLED ON SLOPES GREATER THAN 3:1. SODDED AREAS SHALL BE MAINTAINED AND INSPECTED TO ENSURE SUCCESSFUL ESTABLISHMENT.

SEDIMENTATION PRACTICES

- SILT FENCES SHALL BE INSTALLED IN THE AREAS SHOWN IN THE PLANS AND AS REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION AREA. SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT TO ENSURE THAT THERE ARE NO GAPS OR TEARS. IF GAPS OR TEARS ARE FOUND THE FABRIC SHOULD BE REPAIRED OR REPLACED. SEDIMENT REMOVAL SHALL BE PART OF THE REGULAR MAINTENANCE. SILT FENCES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION HAS FINISHED AND DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- DIVERSION SWALES, IF REQUIRED, SHALL BE CONSTRUCTED BEFORE MAJOR LAND DISTURBANCE OF THE RECEIVING BASIN. DIVERSION SWALES SHALL BE STABILIZED AFTER CONSTRUCTION TO MAINTAIN ITS EFFICIENCY.
- INLETS SHOULD BE TEMPORARILY PROTECTED TO PREVENT SEDIMENT ENTERING THE INLET. BARRIERS WILL CATCH SOIL, DEBRIS AND SEDIMENT AT THE ENTRANCE OF THE INLET.
- OUTFALL STRUCTURES SHALL HAVE SILT FENCES TO PREVENT SILT FROM ENTERING THE STORMWATER BASINS AND SHALL BE STABILIZED AS REQUIRED TO PREVENT EROSION FROM WASHOUTS.

V. STORMWATER MANAGEMENT:

- THE PROPOSED PROJECT OBTAINED AN ENVIRONMENTAL RESOURCE PERMIT FROM SUWANNEE RIVER WATER MANAGEMENT DISTRICT (SRWMD) FOR THE CONSTRUCTION AND OPERATION OF A STORMWATER TREATMENT SYSTEM AND CONTROLS. THE PROPOSED SYSTEM (AS SHOWN ON THE PLANS) INCLUDED THE USE OF THE BEST MANAGEMENT PRACTICES (BMP) CONSISTENT WITH THE APPLICABLE REQUIREMENTS OF RULE 400-42 OF THE DISTRICT. THE OWNER AND/OR THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER TREATMENT SYSTEM AND CONTROLS UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETED AND FINAL STABILIZATION HAS BEEN ACCOMPLISHED. HOWEVER, THE OWNER AND/OR AN ENTITY SIMILAR TO A HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER SYSTEM IN PERPETUITY, IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENVIRONMENTAL RESOURCE PERMIT.
- TO TREAT AND CONTROL THE STORMWATER PRODUCED BY THE PROPOSED DEVELOPMENT, THE PROJECT DISCHARGES TO AN EXISTING MASTER STORMWATER SYSTEM. THE SYSTEM HAS BEEN DESIGNED TO CONTAIN AND ATTENUATE THE STORMS AND DISCHARGE AT PRE-DEVELOPMENT CONDITIONS, WHILE PROVIDING TREATMENT TO THE RUNOFF AS REQUIRED BY THE DISTRICT AND STATE RULES USING THE GUIDELINES CONTAINED IN THE SRWMD HANDBOOK.

VI. CONTROLS FOR OTHER POTENTIAL POLLUTANTS:

- WASTE DISPOSAL: NO SOLID MATERIALS, INCLUDING CONSTRUCTION MATERIALS, SHALL BE DISCHARGED TO SURFACE WATERS AND ARE NOT AUTHORIZED UNDER THE ISSUED ENVIRONMENTAL RESOURCE PERMIT.
- THE USE OF GRAVEL AND CONTINUING SWEEPING ACTIVITIES AT THE ENTRANCE OF THE SITE WILL CONTROL THE TRACKING OF SEDIMENT AND DUST LEAVING THE SITE.
- THE PROPOSED DEVELOPMENT WILL PROVIDE WATER AND SEWER SYSTEM BY CONNECTING INTO THE CENTRAL MUNICIPAL SYSTEM OF GAINESVILLE REGIONAL UTILITIES.
- ANY APPLICATION OF FERTILIZERS AND PESTICIDES NECESSARY TO ESTABLISH AND MAINTENANCE OF VEGETATION DURING CONSTRUCTION AND THROUGH PERPETUITY MAINTENANCE SHALL FOLLOW THE MANUFACTURERS RECOMMENDATIONS AND THE APPLICABLE RULES OF THE STATE OF FLORIDA.
- ANY TOXIC MATERIALS REQUIRED DURING CONSTRUCTION SHALL BE PROPERLY STORED, DISPOSED OF AND CONTRACTOR AND/OR OWNER SHALL PROVIDE THE APPROPRIATE PERMITS FROM THE LOCAL OR STATE AGENCIES.

VII. APPROVED STATE OR LOCAL PLANS:

- ALL THE SEDIMENT AND EROSION CONTROLS THAT ARE LISTED IN THE SITE PLAN AS APPROVED BY THE SRWMD ARE INCLUDED IN THIS STORMWATER POLLUTION PREVENTION PLAN (SEE ITEM III AND IV).
- THIS STORMWATER POLLUTION PREVENTION PLAN SHALL BE AMENDED IF REQUIRED BY ANY LOCAL OR STATE AGENCY OR AS REQUIRED BY UNFORESEEABLE CONDITIONS AND THE OWNER SHALL SUBMIT A RE-CERTIFICATION TO THE NPDES STATE OFFICE THAT THE PLAN HAS BEEN AMENDED TO ADDRESS THOSE CHANGES.

VIII. MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE, INSPECTION SCHEDULE, AND REPAIRS OUTLINED IN THIS PLAN. MAINTENANCE SHALL CONTINUE THROUGHOUT THE PROJECT UNTIL WORK IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER CONSTRUCTION IS COMPLETE.
 IN ADDITION TO THE ITEMS MENTIONED IN THE PREVIOUS SECTIONS, THE CONTRACTOR SHALL INITIATE ANY REPAIRS WITHIN 24 HOURS OF BEING REPORTED. IN THE EVENT THAT THE BASINS DO NOT PERFORM PROPERLY OR IF A SINKHOLE DEVELOPS, THE PROJECT ENGINEER SHALL BE NOTIFIED TO ASSIST IN COORDINATING REMEDIAL ACTION.

- MAINTENANCE WOULD BE DIVIDED IN ROUTINE MAINTENANCE AND REPAIR MAINTENANCE. ALL STORMWATER BMP'S SHOULD BE INSPECTED FOR CONTINUED EFFECTIVENESS AND STRUCTURAL INTEGRITY ON A REGULAR BASIS. THE SYSTEMS SHOULD BE CHECKED AFTER EACH STORM EVENT IN ADDITION TO REGULARLY SCHEDULED INSPECTIONS.
- ROUTINE MAINTENANCE REQUIREMENTS SHOULD BE INCLUDED IN THE INSPECTOR CHECKLIST TO AID THE INSPECTOR IN DETERMINING WHETHER A BMP'S MAINTENANCE IS ADEQUATE OR NEEDS A REVISION. INSPECTORS SHALL KEEP RECORD OF MAINTENANCE, ROUTINE OR REPAIR, TO PROVIDE EVIDENCE OF AN EFFICIENT INSPECTION AND MAINTENANCE.
- SIDE ENTRANCES: MAINTENANCE SHALL INCLUDE REPLACEMENT OF GRAVEL AND CLEANSING THE SOIL THAT IS TRACKED OFFSITE FOR PROPER DISPOSAL.
- TREE BARRICADES: MAINTENANCE SHALL INCLUDE INSPECTION OF MESH AND POSTS AND REPAIR OR REPLACEMENT OF DAMAGED VEGETATION.
- SILT FENCES: MAINTENANCE SHALL INCLUDE SEDIMENT REMOVAL AND INSPECTION TO ENSURE PROPER ANCHORING AND THAT NO TEARING OR GAPS HAVE OCCURRED. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF SILT FENCE.
- DIVERSION SWALES: MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY RAINFALL EVENT AND ONCE EVERY TWO WEEKS BEFORE FINAL STABILIZATION. THEY SHOULD BE CLEARED OF SEDIMENT AND MAINTAIN VEGETATIVE COVER.
- TEMPORARY BERMS: MAINTENANCE SHALL INCLUDE REMOVAL OF DEBRIS, TRASH SEDIMENT AND LEAVES. SIDES OF THE BERM SHALL BE INSPECTED FOR EROSION AFTER EACH STORM EVENT.
- MULCHING: ROUTINE MAINTENANCE SHALL INCLUDE REPLACEMENT PERIODICALLY.
- SEEDING: ROUTINE MAINTENANCE SHALL INCLUDE RESEEDING OF AREAS THAT FAILED TO ESTABLISH.
- SODDING: ROUTINE MAINTENANCE SHALL INCLUDE WATERING AND MOWING. REPLACEMENT OF GRASS MAY BE NECESSARY IF COVER IS NOT FULLY ESTABLISHED.
- INLETS: ROUTINE MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY STORM EVENT AND MIGHT INCLUDE REMOVAL OF ACCUMULATED SEDIMENT.
- OUTFALL STRUCTURES: ROUTINE MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY STORM EVENT TO ASSURE NO EROSION OR SCOUR HAS OCCURRED.
- DRY RETENTION BASINS: ROUTINE MAINTENANCE SHALL INCLUDE MONITORING FOR SEDIMENT ACCUMULATION, CLEAN AND REMOVE DEBRIS FROM INLETS AND OUTLETS, MOW SIDE SLOPES AND INSPECT FOR DAMAGE OF BERMS AND REPAIR UNDERCUT OR ERODED AREAS AS NECESSARY.
- WET DETENTION BASINS: ROUTINE MAINTENANCE SHALL INCLUDE MONITORING FOR SEDIMENT ACCUMULATION, CLEAN AND REMOVE DEBRIS FROM INLETS AND OUTLETS, MOW SIDE SLOPES AND INSPECT FOR DAMAGE OF BERMS AND REPAIR UNDERCUT OR ERODED AREAS AS NECESSARY.

IX. INSPECTIONS:

- THE OWNER AND /OR CONTRACTOR SHALL PROVIDE QUALIFIED PERSONNEL TO INSPECT ALL POINTS OF POTENTIAL DISCHARGE FROM THE PROJECT SITE FOR DISTURBED AREAS, THE EROSION AND SEDIMENTATION CONTROLS AND BMP'S AS LISTED IN THIS PLAN. THE INSPECTION SHALL BE PERFORMED DURING CONSTRUCTION AND BEFORE FINAL STABILIZATION, ONCE EVERY SEVEN-CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS GREATER THAN 0.50 INCHES AFTER FINAL STABILIZATION AND BEFORE FINISH OF CONSTRUCTION THE INSPECTION SHALL BE CONDUCTED ONCE EVERY MONTH.
- THE CONTRACTOR SHALL INSTALL A RAIN GAUGE AT THE SITE TO MONITOR AND DOCUMENT RAINFALL EVENTS IN EXCESS OF 0.50 INCHES.
- ALL DISTURBED AREAS AND AREAS USED FOR MATERIALS STORAGE SHALL BE INSPECTED FOR POLLUTANTS ENTERING THE STORMWATER SYSTEM. THE STORMWATER MANAGEMENT SYSTEM AND EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE INSPECTED TO ENSURE THEY ARE OPERATING CORRECTLY. LOCATIONS WHERE VEHICLES ENTER AND LEAVE THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.
- REPAIR OR MAINTENANCE NEEDED TO ASSURE PROPER OPERATION OF THE STORMWATER POLLUTION PREVENTION PLAN SHALL BE DONE IN A TIMELY MANNER BUT NO LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.
- A REPORT SHALL BE KEPT OF EACH INSPECTION FOR THREE YEARS AFTER FINAL STABILIZATION AND SHALL INCLUDE THE DATES OF EACH INSPECTION, THE SCOPE OF THE INSPECTION, MAJOR OBSERVATIONS, ANY REPAIR AND/OR MAINTENANCE REQUIRED AND ANY INCIDENT OF NON-COMPLIANCE. IF THE REPORT DOES NOT CONTAIN ANY INCIDENTS OF NON-COMPLIANCE, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY HAS BEEN IN COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND THE NPDES PERMIT. THE REPORT SHALL INCLUDE THE NAME AND QUALIFICATIONS OF THE INSPECTOR AND SHALL BE SIGNED IN ACCORDANCE TO FDEP RULE 62-621.300, PART VI.C. A COPY OF THE CONSTRUCTION INSPECTION FORM IS INCLUDED ON THIS STORMWATER POLLUTION PREVENTION PLAN SHEET. A COPY SHALL BE RETAINED AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

X. NON-STORMWATER DISCHARGES:

- THE FOLLOWING NON-STORMWATER DISCHARGES MIGHT BE COMBINED WITH STORMWATER AND WOULD BE AUTHORIZED AS PART OF THIS PERMIT: FIRE HYDRANT FLUSHING, CONTROL OF DUST, POTABLE WATER FLUSHING AND IRRIGATION DRAINAGE. BECAUSE OF THE NATURE OF THESE DISCHARGES, THE EROSION, STABILIZATION AND TREATMENT SYSTEMS TO BE IMPLEMENTED, AS PART OF THIS PLAN WOULD BE APPROPRIATE TO PREVENT AND TREAT ANY POLLUTION RELATED TO THESE NON-STORMWATER DISCHARGES.
- DISCHARGES FROM DEWATERING ACTIVITIES ASSOCIATED WITH SITE CONSTRUCTION ARE NOT AUTHORIZED AND REQUIRED CONSTRUCTION OF TEMPORARY SEDIMENTATION BASINS AND USE OF APPROPRIATE FLOCCULATING AGENTS TO ENHANCE PARTICLE SEGREGATION AND SPEED UP SETTLEMENT OF PARTICLES.

XI. CONTRACTORS:

- ALL CONTRACTORS AND/OR SUBCONTRACTORS RESPONSIBLE FOR IMPLEMENTING THE PLAN SHALL SIGN THE CERTIFICATION STATEMENT BEFORE STARTING CONSTRUCTION ACTIVITIES OF THE PROJECT. THE CERTIFICATION MUST INCLUDE THE NAME AND TITLE OF THE PERSON PROVIDING THE SIGNATURE, THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE CONTRACTING FIRM, THE ADDRESS OF THE SITE AND THE DATE THE CERTIFICATION IS MADE. THE OWNER SHALL KEEP THESE CERTIFICATIONS AS PART OF THIS POLLUTION PLAN. MULTIPLE COPIES OF THE CERTIFICATION STATEMENT MAY BE NECESSARY DEPENDING UPON THE NUMBER OF SUBCONTRACTORS ASSOCIATED WITH THE PROJECT.

CERTIFICATION STATEMENT

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER."

CONTRACTING FIRM: _____
 ADDRESS: _____
 CITY, STATE, ZIP CODE: _____
 TELEPHONE: _____
 FAX: _____
 PROJECT NAME: SAN FELASCO TECH CITY PHASE 5 SITE PLAN
 PROJECT ADDRESS: _____
 PROJECT ADDRESS: _____
 CITY, STATE, ZIP CODE: _____, FLORIDA.
 NAME: _____ SIGNATURE: _____
 DATE: _____



STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT FORM

Inspections must occur at least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater.

PROJECT NAME: SAN FELASCO TECH CITY PHASE 5 SITE PLAN FDEP NPDES STORMWATER IDENTIFICATION NO.: FLR10

OWNER: _____ CONTRACTOR: _____

CONSTRUCTION MANAGER: _____

Date of Inspection	Location	Rain data	Type of control (see below)	Date installed / modified	Current Condition (see below)	Observations or Corrective Action / Other Remarks	Inspected By

CONDITION CODE: G = Good M = Marginal, needs maintenance or replacement soon O = Other
 C = Needs to be cleaned P = Poor, needs immediate maintenance or replacement

CONTROL TYPE CODES

1. Silt Fence	10. Storm drain inlet protection	19. Reinforced soil retaining system	28. Tree protection
2. Earth dikes	11. Vegetative buffer strip	20. Gabion	29. Retention pond
3. Structural diversion	12. Vegetative preservation area	21. Sediment Basin	30. Retention pond
4. Swale	13. Retention Pond	22. Temporary seed / sod	31. Waste disposal / housekeeping
5. Sediment Trap	14. Construction entrance stabilization	23. Permanent seed / sod	32. Dam
6. Check dam	15. Perimeter ditch	24. Mulch	33. Sand Bag
7. Subsurface drain	16. Curb and gutter	25. Hay Bales	34. Other
8. Pipe slope drain	17. Paved road surface	26. Geotextile	
9. Level spreaders	18. Rock outlet protection	27. Rip-rap	

INSPECTOR INFORMATION:

Name _____ Qualification _____ Date _____

The above signature also shall certify that this facility is in compliance with the Stormwater Pollution Prevention Plan and the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities if there are not any incidents of non compliance identified above.

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

No.	Date	Comment

THIS PERMIT HAS BEEN CAREFULLY REVIEWED AND SEALED BY CLAUDIA S. VEGA, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Professional Engineer of Record:

06/30/2025

Claudia S. Vega, P.E. 5132

Engineer Certificate No.

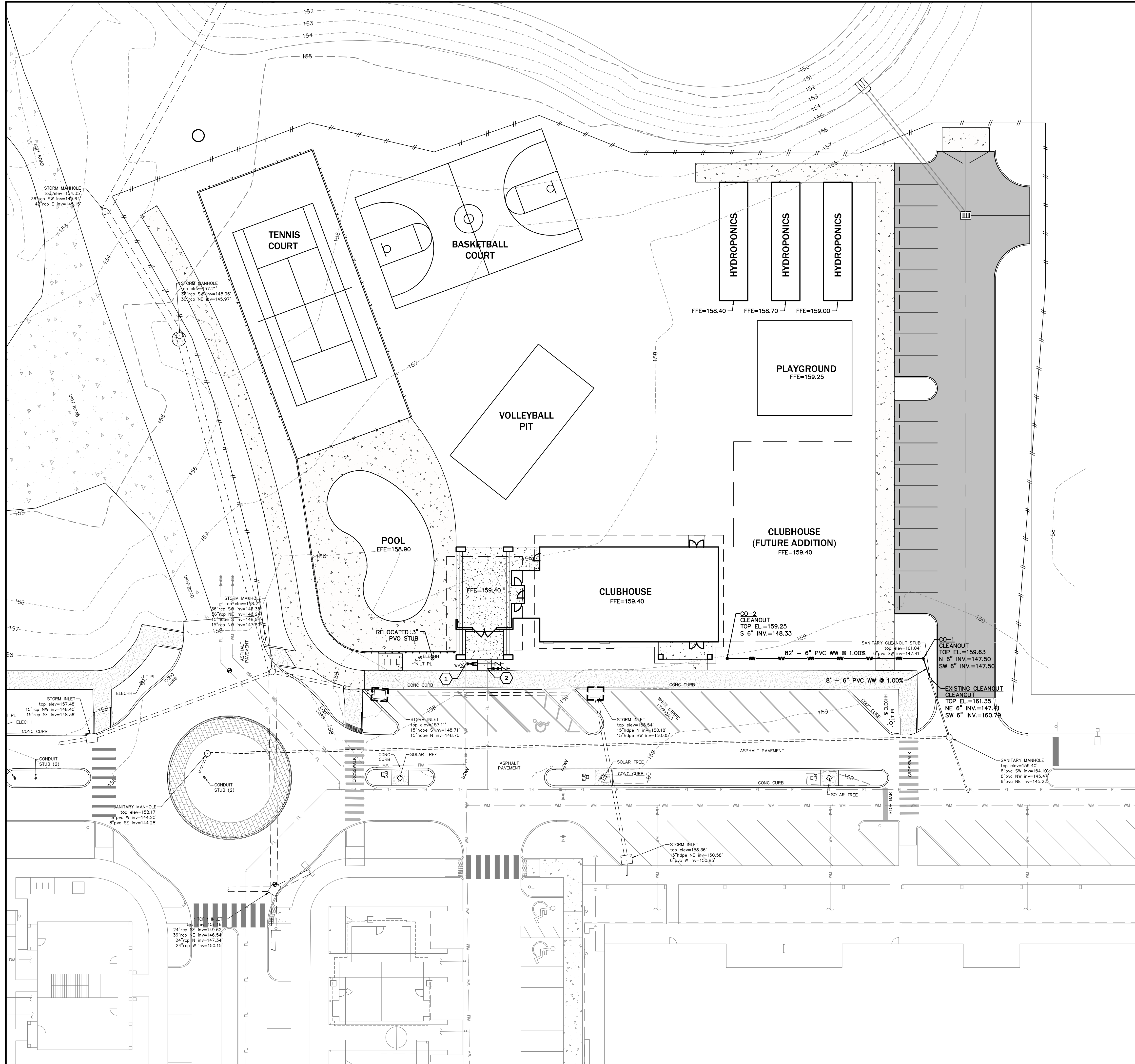
Project No: 25-048

Project phase: CONSTRUCTION PLANS

Project title: SAN FELASCO TECH CITY PHASE 5 SITE PLAN CITY OF ALACHUA, FLORIDA

Sheet title: STORMWATER POLLUTION PREVENTION PLAN

Designed: CSV
 Drawn: NJG/TAR
 Checked: TAR
 Date: 06/30/25
 Sheet No.: C320



GENERAL UTILITY NOTES

- ALL CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF ALACHUA DETAILS & THE F.D.O.T. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" ADOPTED IN 1991 BY THE STATE OF FLORIDA, AND ALL SUPPLEMENTS THERETO, AND THE "ROADWAY TRAFFIC DESIGN STANDARDS", WHICHEVER IS MORE STRINGENT.
- THE LOCATIONS OF EXISTING UTILITIES SUCH AS WATER MAINS, SEWER, GAS LINES, ETC., AS SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION, AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. HOWEVER, THE ENGINEER AND OWNER DO NOT ASSUME RESPONSIBILITY FOR THE SIZES AND LOCATIONS SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF THE SIZE AND LOCATION OF ALL EXISTING UTILITIES SHOWN AS WELL AS NOT SHOWN ON THESE PLANS AND PROTECTION OF SAME DURING CONSTRUCTION. ANY EXISTING UTILITY TO BE MODIFIED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE ANY AND ALL NEEDED LICENSES AND PERMITS REQUIRED FOR CONSTRUCTION PURPOSES.
- ELECTRIC SERVICE TO BE COORDINATED WITH CITY OF ALACHUA ELECTRIC DEPARTMENT. SEE COA ELECTRICAL SCOPE OF WORK NOTES ON THIS SHEET.
- NO GAS SERVICE IS REQUIRED FOR THIS DEVELOPMENT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SETBACKS AND EASEMENTS BEFORE BEGINNING CONSTRUCTION.
- BENCHMARKS AND OTHER REFERENCE POINTS SHALL BE CAREFULLY MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IF DISTURBED OR DESTROYED, THESE POINTS SHALL BE REPLACED BY A FLORIDA P.L.S. AT CONTRACTOR'S EXPENSE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ANY REQUIRED TRAFFIC CONTROL PLANS. ALL WORK SHALL BE EXECUTED UNDER THE ESTABLISHED PLAN AND FLORIDA DEPT. OF TRANSPORTATION AND CITY OF ALACHUA APPROVED PROCEDURES.
- THE CONTRACTOR SHALL RESTORE OFF SITE CONSTRUCTION AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- WATER METER ASSEMBLIES SHALL BE INSTALLED BY CONTRACTOR.
- UTILITY INSTALLATION SHALL NOT TAKE PLACE WITHIN TREE BARRICADE AREA AS SHOWN ON THE PAVING, GRADING, AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF UNSUITABLE MATERIALS OFF-SITE AND FURNISH APPROVED MATERIAL PER CITY OF ALACHUA FOR SANITARY SEWER LINES BACKFILL AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR MAY DISPOSE OF UNSUITABLE MATERIAL ON-SITE BY APPROVAL OF THE OWNER.
- NO PERMANENT STRUCTURE SHALL BE CONSTRUCTED WITHIN 10 FEET OF ANY WATER LINE OR 15 FEET OF ANY SEWER LINE.
- CONTRACTOR SHALL PROTECT LANDSCAPE AND ANY DISTURBED AREAS SHALL BE RESTORED AS EXISTING.
- CONTRACTOR SHALL FURNISH AND INSTALL 2" PLUG VALVE WITH VALVE BOX AND CONCRETE VALVE COLLAR. INSTALL SIMILAR TO CITY OF ALACHUA DETAIL 118 (SEE DETAIL SHEET C420)

CITY OF ALACHUA ELECTRICAL SCOPE OF WORK

- SCOPE OF COA ELECTRICAL WORK: AT NO COST TO THE CITY, THE COA WILL PERFORM CERTAIN WORK ELEMENTS TO ASSIST THE CONTRACTOR IN PROVIDING COMPLETE AND OPERATING ELECTRICAL SYSTEMS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- THE WORK TO EXTEND THIS EXISTING PRIMARY SERVICE AND TO PROVIDE THE TRANSFORMER SHALL BE A COMBINED EFFORT BETWEEN THE CONTRACTOR AND COA.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL ELECTRICAL WORK REQUIRED TO PROVIDE SECONDARY (LOAD-SIDE) SERVICE FROM THE TRANSFORMER.
- COA WILL ORDER THE FOLLOWING PRODUCTS, WHICH SHALL BE PAID FOR BY THE CONTRACTOR: ALL PRIMARY CABLES, ALL TRANSFORMERS AND ALL MAKE-UP MATERIALS. ONCE ON SITE, THESE PRODUCTS WILL BE INSTALLED BY THE CITY OF ALACHUA. ALL PRIMARY MAKEUP CONNECTIONS AND TESTING WILL BE COMPLETED BY THE CITY OF ALACHUA. ALL WORK PERFORMED BY THE COA WILL BE BACKCHARGED TO THE CONTRACTOR.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL OTHER MATERIALS, INCLUDING, BUT NOT LIMITED TO ALL CONDUIT, ENCLOSURES, POLES, LUMINAIRES, TRANSFORMER PADS, AND SWITCHGEAR BASES.
- THE CONTRACTOR SHALL SCHEDULE AN ELECTRICAL COORDINATION MEETING AT START OF PROJECT. REQUIRED ATTENDEES INCLUDE THE CONTRACTOR, THE ELECTRICAL SUB-CONTRACTOR, THE ENGINEER OF RECORD, THE COA PROJECT MANAGER AND COA ELECTRICAL STAFF.

SANITARY SEWER NOTES

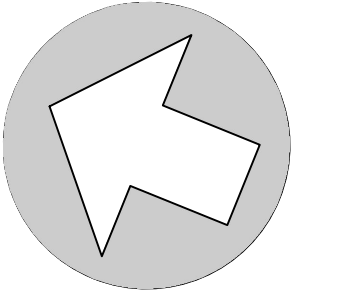
- ROOF DRAINS, FOUNDATION DRAINS OR OTHER STORM WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
- ALL SANITARY SEWER PIPE SHALL BE PVC SEWER PIPE CONFORMING TO ASTM D-3034, SDR 35 PVC, UNLESS OTHERWISE NOTED.
- ALL MANHOLES SHALL BE 4 FT. INSIDE DIAMETER UNLESS OTHERWISE NOTED.
- WHEN MINIMUM SEPARATION CANNOT BE MAINTAINED BETWEEN WATER AND GRAVITY SEWER, THE SEWER SHALL BE UPGRADED TO C-900, DR18 AND PRESSURE TESTED TO 150 PSI.
- FOR HORIZONTAL AND VERTICAL CLEARANCES BETWEEN SANITARY SEWER MAINS/LATERALS AND WATER MAINS/LATERALS, SEE WATER NOTES 3 & 4.
- WHERE SOIL REPORT INDICATES THE POSSIBILITY OF UNSUITABLE MATERIAL IN THE VICINITY OF SANITARY LINES, THE CONTRACTOR SHALL DETERMINE THE NATURE AND EXTENT OF THIS UNSUITABLE MATERIAL, PREPARE TRENCH AND INSTALL THE SEWER LINE IN ACCORDANCE WITH ASTM D-2321. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER OF THIS UNSUITABLE MATERIAL.
- THE CONTRACTOR SHALL BE REQUIRED TO PERFORM INFILTRATION OR EXFILTRATION TEST, WHICHEVER IS APPLICABLE. THE CONTRACTOR SHALL MEET ALL REQUIREMENTS, CODES AND ORDINANCES OF THE CITY OF ALACHUA UTILITIES INCLUDING ADVANCE NOTIFICATION PRIOR TO CONSTRUCTION AND TESTING.
- THE CONSTRUCTION OF ALL UTILITIES CONNECTING TO THE CITY OF ALACHUA'S SYSTEMS SHALL CONFORM TO THE CITY OF ALACHUA DESIGN AND CONSTRUCTION MANUAL, LATEST EDITION.
- THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS PRIOR TO ANY UTILITY CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE TEST ASSEMBLIES AND TRACER WIRE TO BOTH METALLIC AND NON-METALLIC PIPE AS PER THE CITY OF ALACHUA DESIGN STANDARDS AND DETAILS.
- FOR FORCE MAIN, PROVIDE TRACER WIRE AND APPURTENANCES FROM THE LIFT STATION TO THE CONNECTING COA MANHOLE.

WATER FITTING SCHEDULE

KEY	ASSEMBLY
1	1 - CONNECT TO EXISTING 8" WATERMAIN 1 - 8"x2" TAPPING SADDLE 1 - 2" GATE VALVE & BOX 1 - 5/8" WATER METER ASSEMBLY 1 - 1" RPZ BACKFLOW PREVENTER
2	1 - CONNECT TO EXISTING 8" FIRE LINE 1 - 8"x4" DI TEE 1 - 4" GATE VALVE & BOX 1 - 4" RPZ BACKFLOW PREVENTER



EB 2389
720 S.W. 2nd Ave., South Tower, Suite 300
GAINESVILLE, FLORIDA 32601
TEL. (352) 373-3541
www.edoff.com permitting@edoff.com



NORTH
SCALE: 1" = 20'
0 10 20 40
GRAPHIC SCALE

No.	Date	Comment

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Professional Engineer of Record:

06/30/2025

Claudia S. Vega, P.E. 51532
Engineer Certificate No.

Project No: 25-048

Project phase: CONSTRUCTION PLANS

Project title: SAN FELASCO TECH CITY PHASE 5 SITE PLAN CITY OF ALACHUA, FLORIDA

Sheet title: UTILITY PLAN

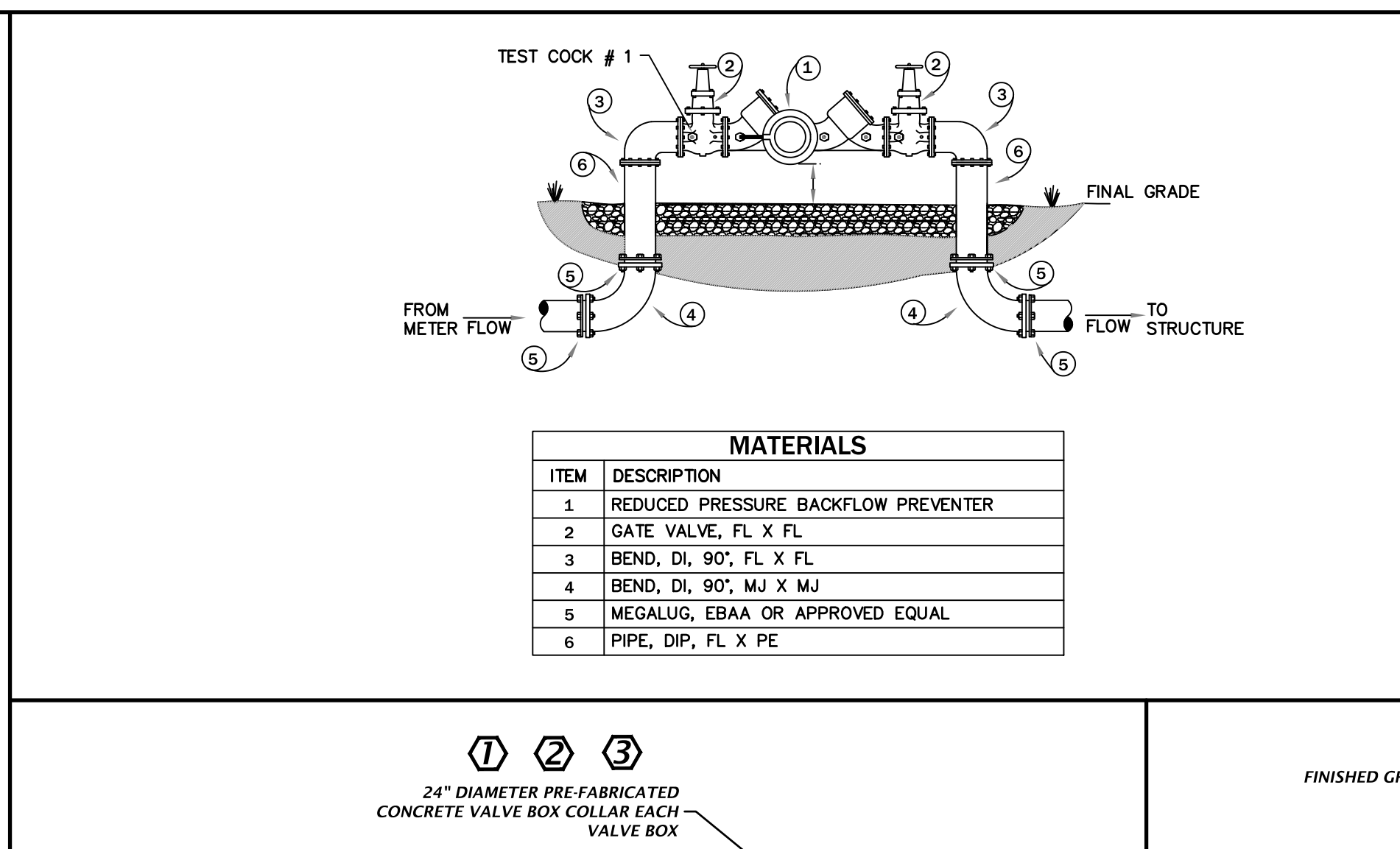
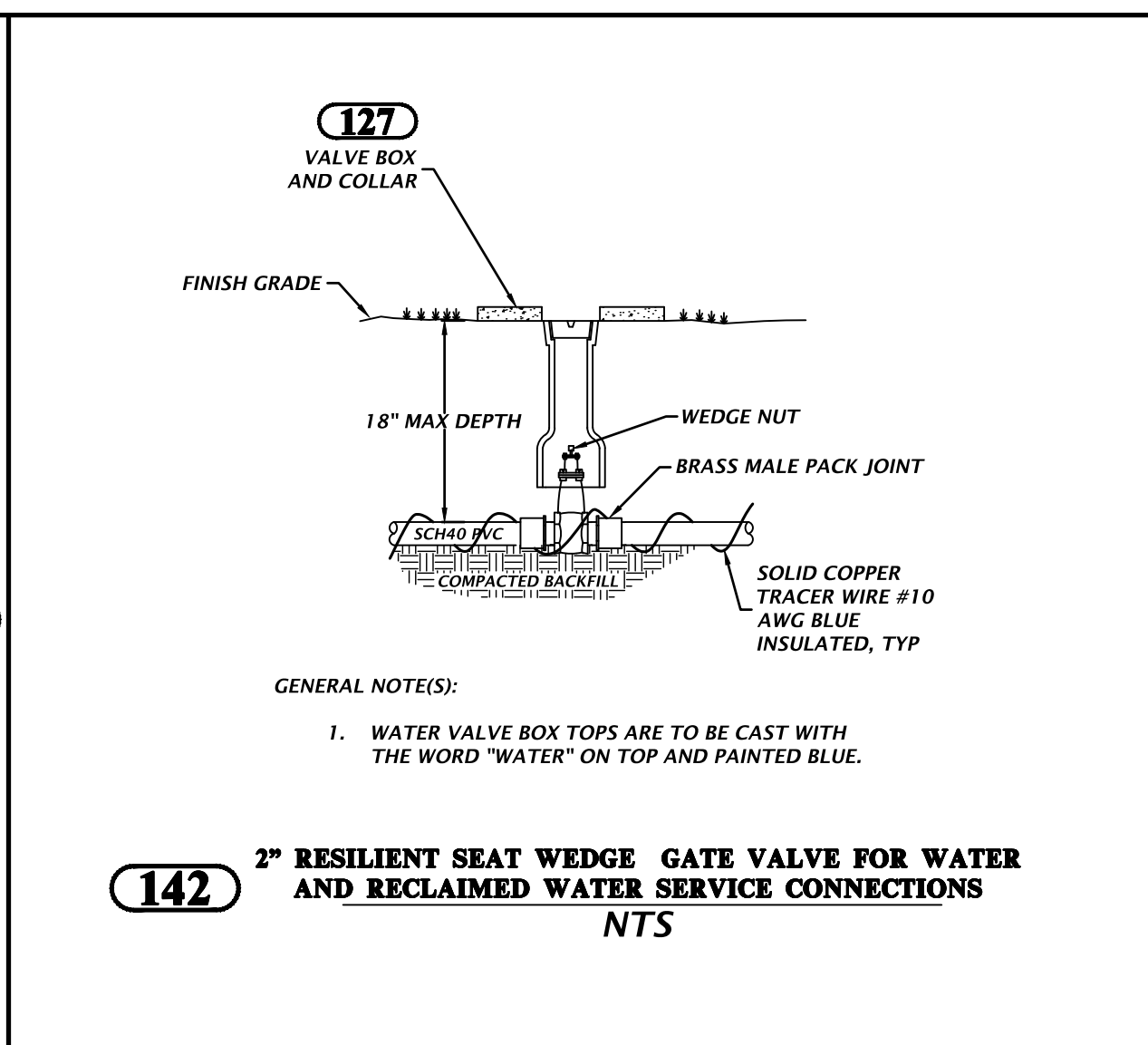
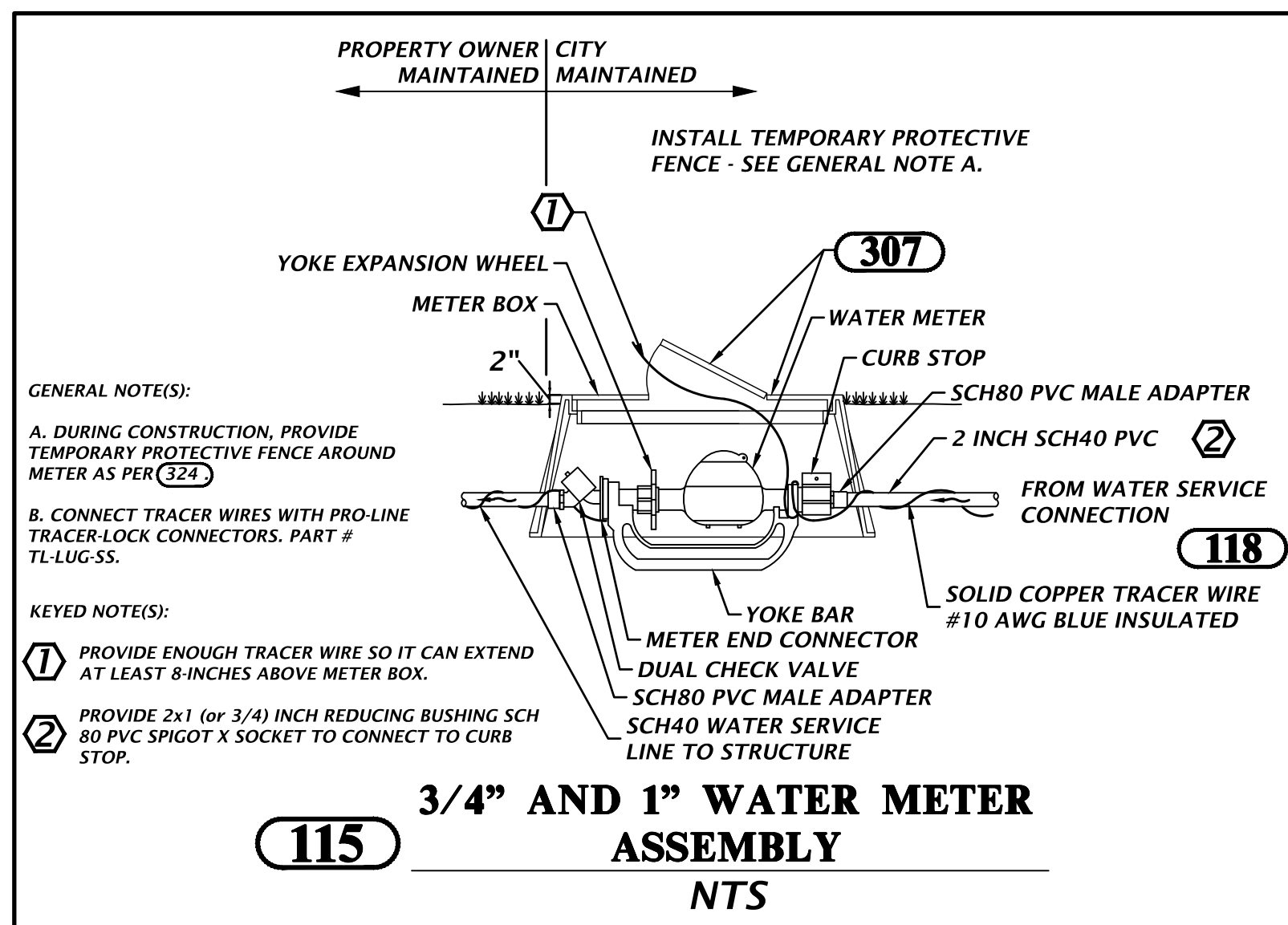
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Checked: TAR

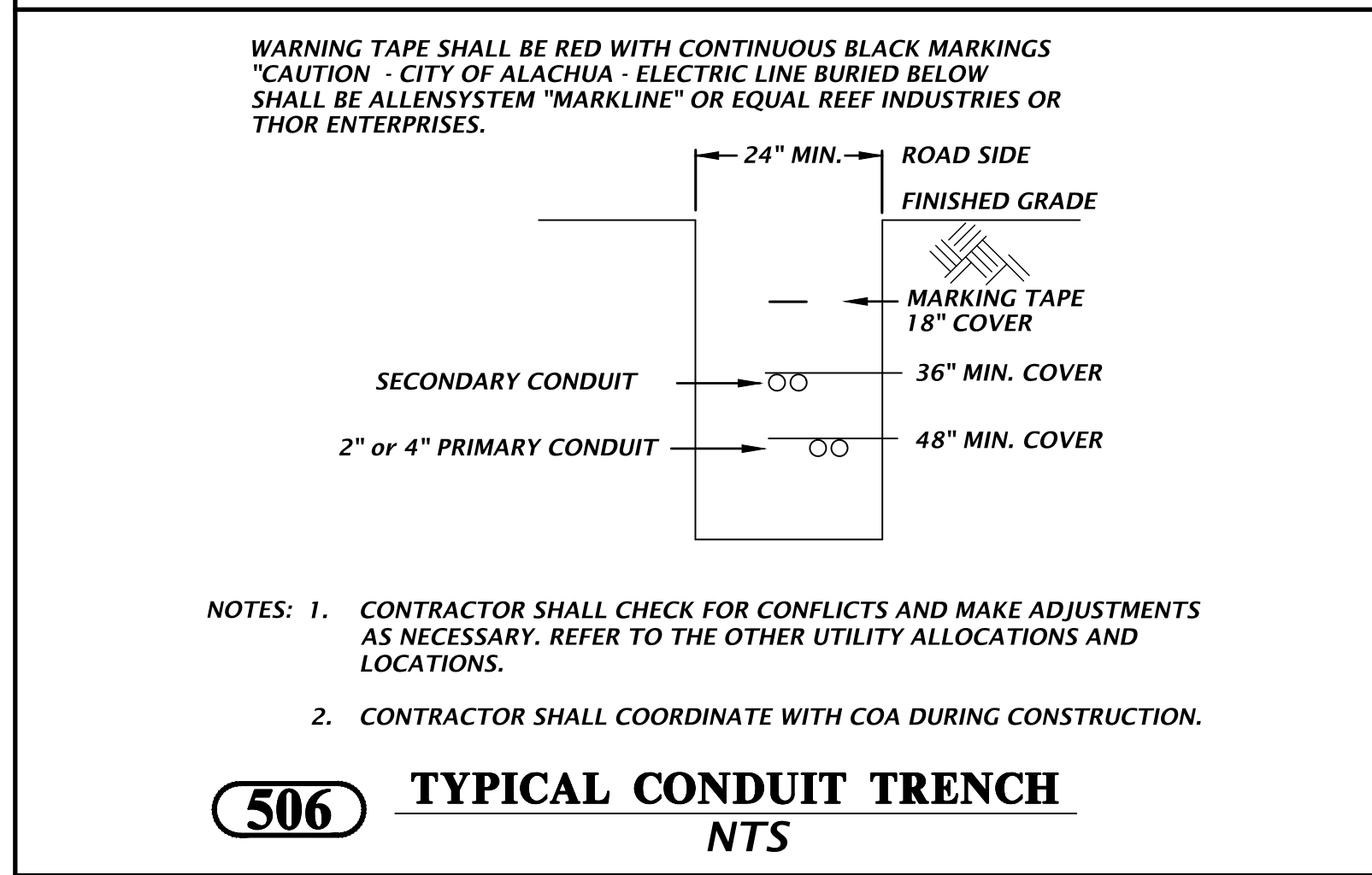
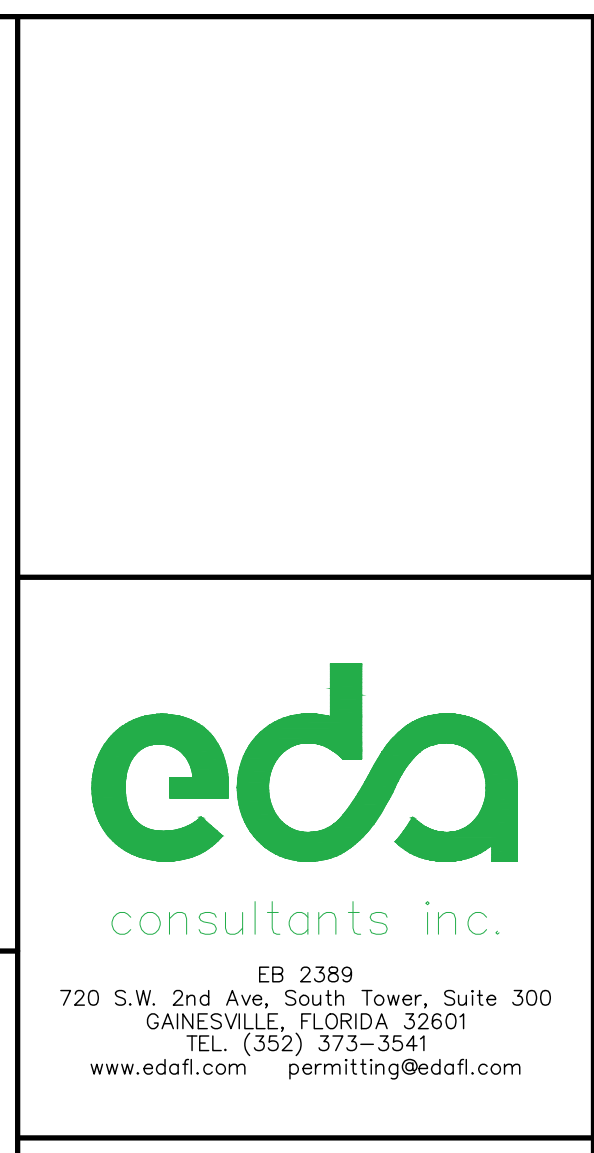
Date: 06/30/25

C400



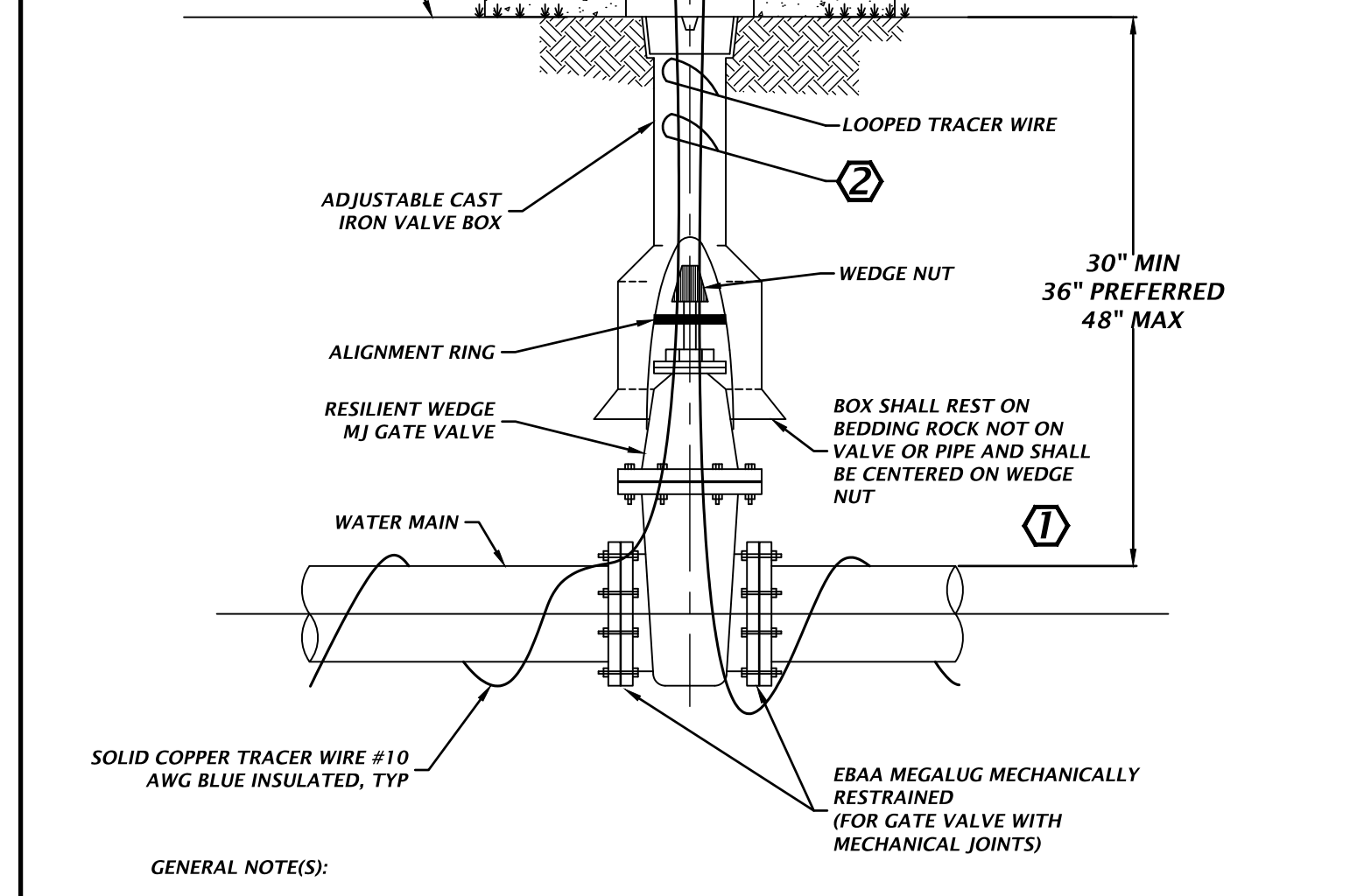
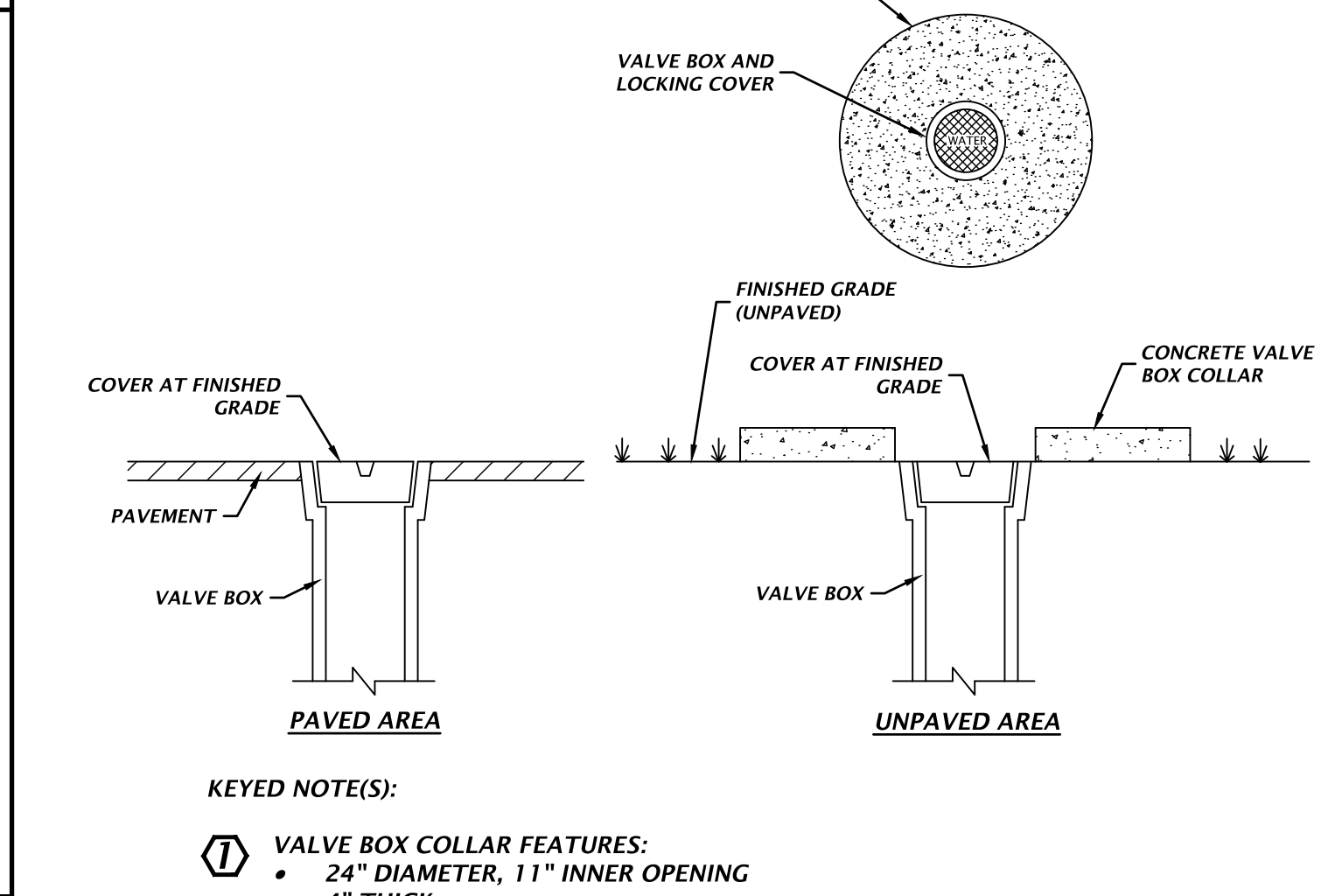
GENERAL UTILITY NOTES

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- WATER METER ASSEMBLIES SHALL BE INSTALLED BY CONTRACTOR.
- ELECTRIC SERVICE TO BE COORDINATED WITH THE CITY OF ALACHUA PUBLIC SERVICES DEPARTMENT.
- UTILITY INSTALLATION SHALL NOT TAKE PLACE WITHIN TREE BARRICADE AREA AS SHOWN ON THE PAVING, GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF UNSUITABLE MATERIALS OFF-SITE AND FURNISH APPROVED MATERIAL PER CITY OF ALACHUA FOR SANITARY SEWER LINES BACKFILL AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR MAY DISPOSE OF UNSUITABLE MATERIAL ON-SITE BY APPROVAL OF THE OWNER.
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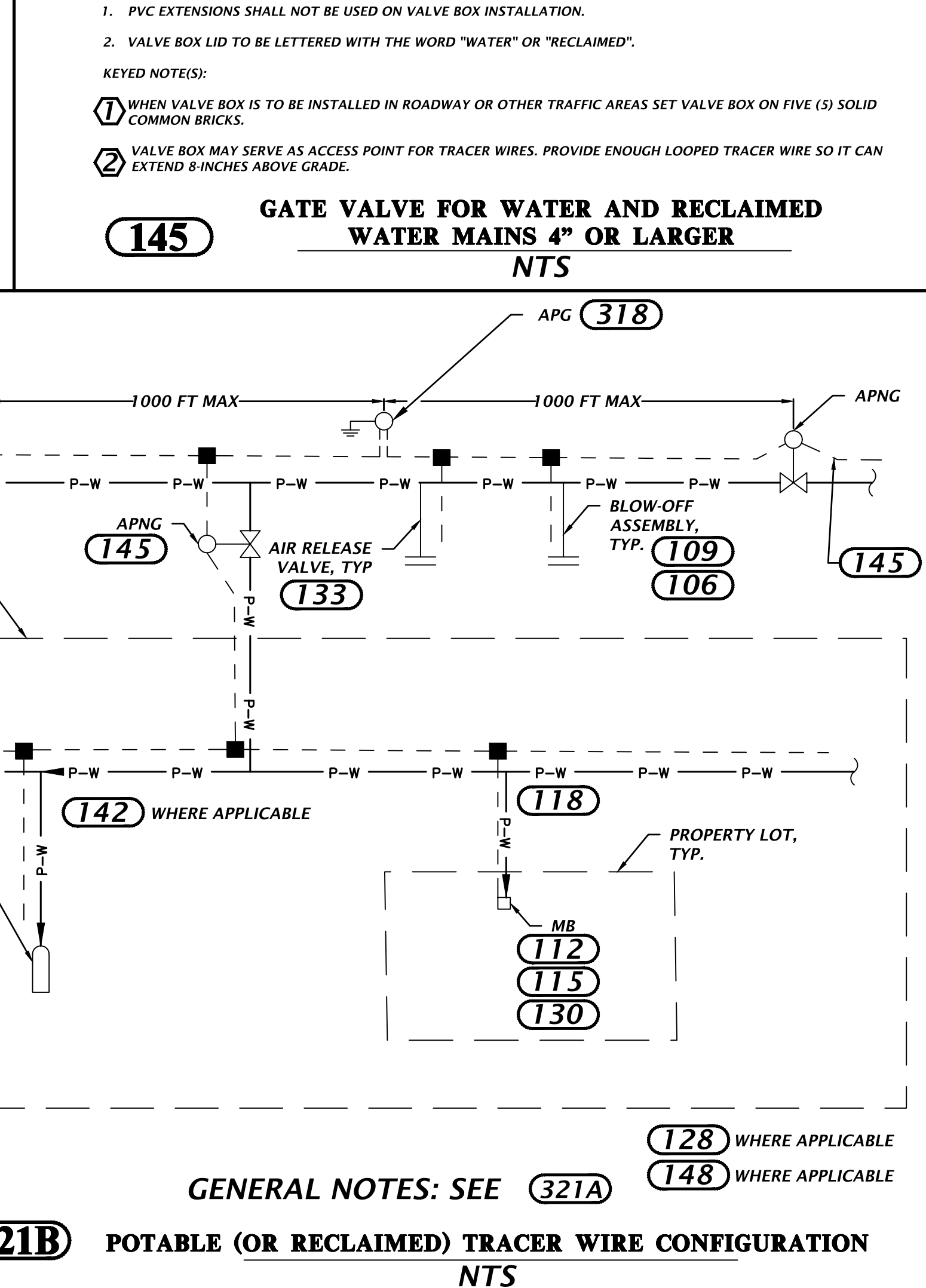
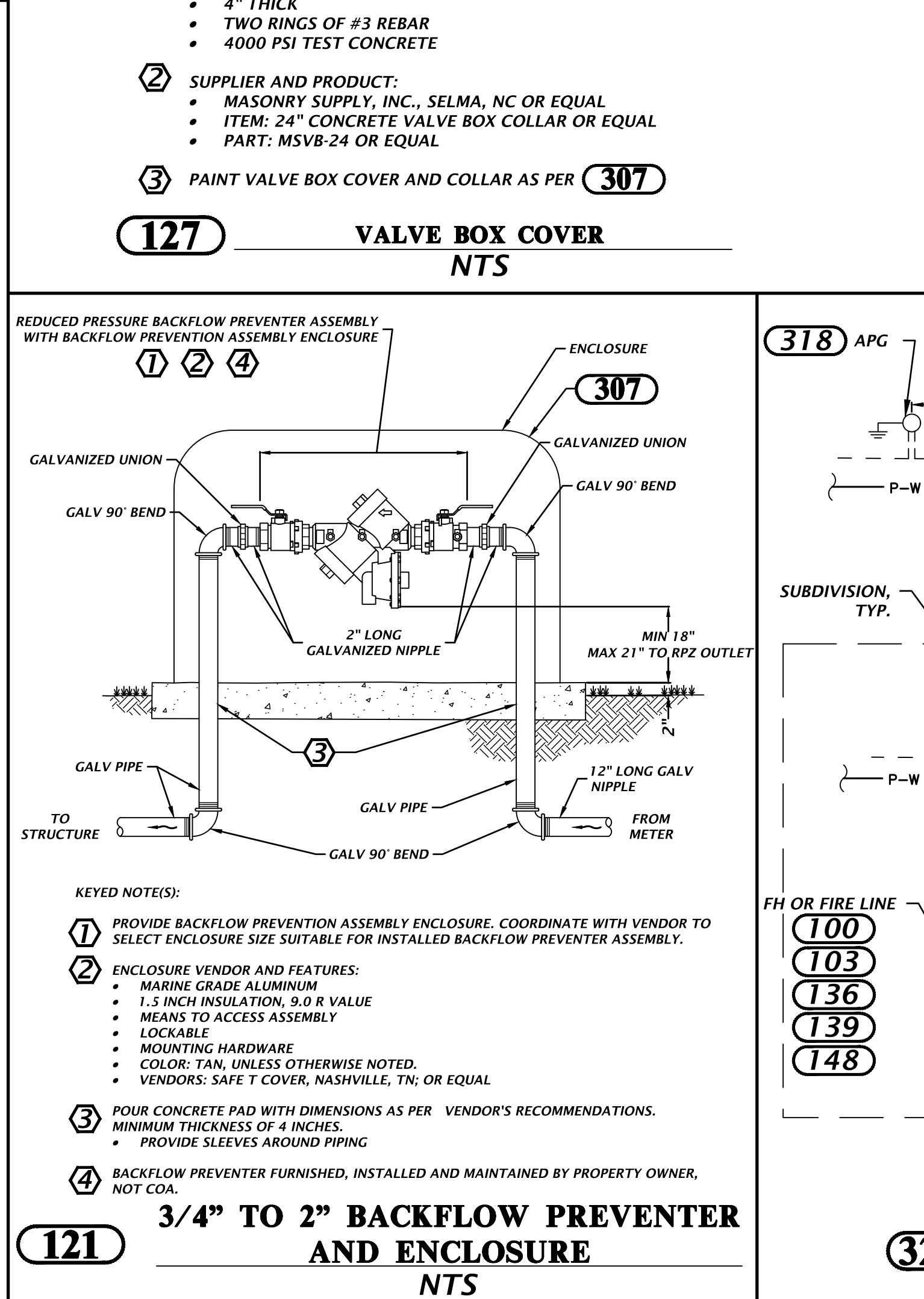
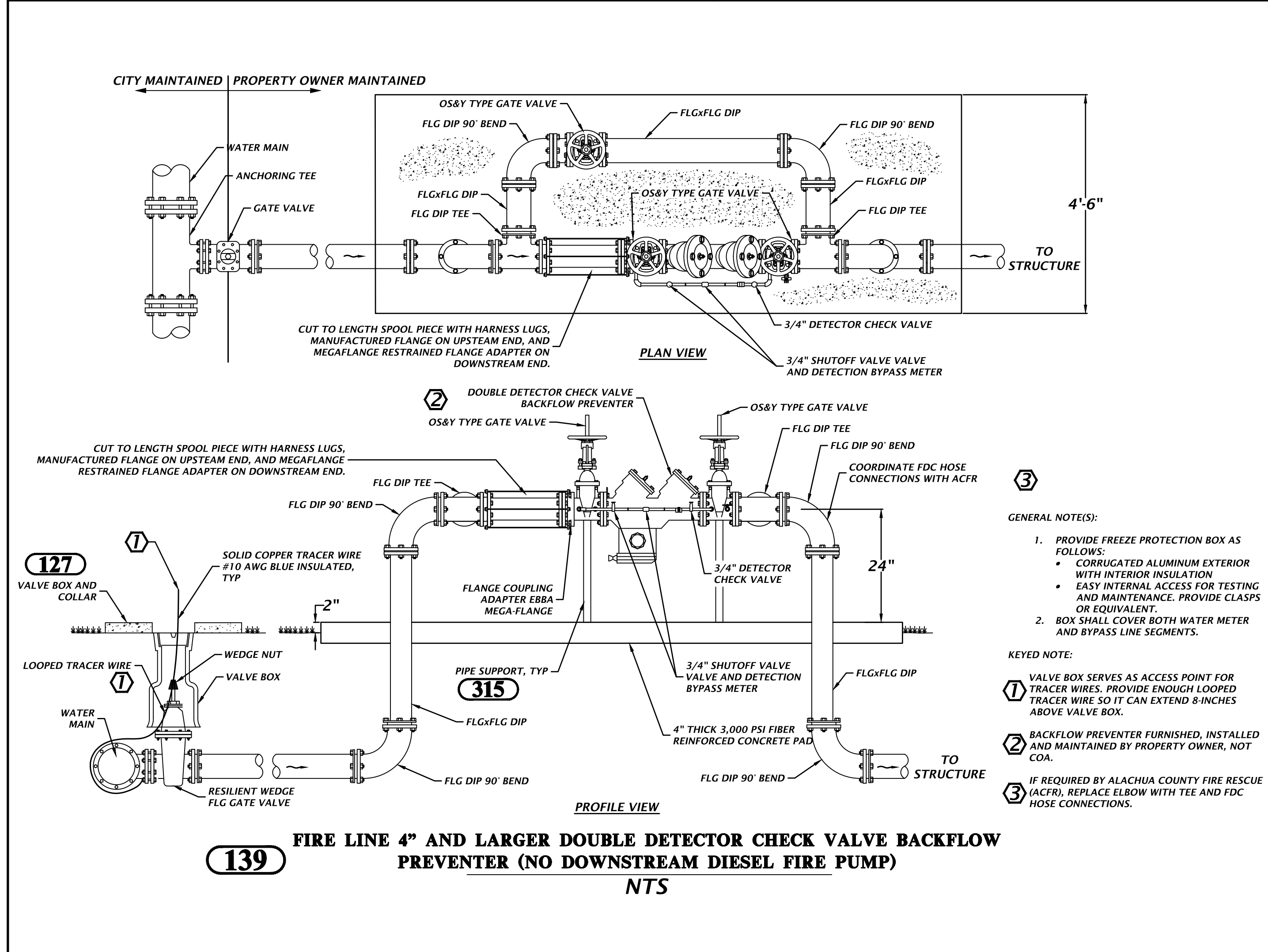
307 PAINT SYSTEM NO. 5 NTS

PAINT SYSTEM NO. 5
SURFACE PREPARATION - PRESSURE WASH SURFACE TO BE PAINTED
OPTIMAL APPLICATION CONDITIONS
AMBIENT TEMPERATURE BETWEEN 55 AND 75 DEGREES F.
HUMIDITY BELOW 60 PERCENT
IF OUTSIDE THESE LIMITS, REQUEST PERMISSION TO APPLY PAINT FROM COA INSPECTOR OR SERVICES DURING CONSTRUCTION ENGINEER
APPLY (SPRAY) FIRST COAT
APPLY (SPRAY) SECOND COAT EITHER WITHIN TWO HOURS OR MORE THAN 48 HOURS AFTER APPLYING FIRST COAT.
PRODUCT
KRYLON SPRAY PAINT
FUSION ALL-IN-ONE
PAINT PLUS PRIMER
COLORS
POTABLE WATER - GLOSS PATRIOTIC BLUE
WASTEWATER - GLOSSY SPRING GRASS
RECLAIMED - GLOSSY ICY GRAPE



SCALES:
AS SHOWN

No.	Date	Comment



Professional Engineer of Record:

06/30/2025

Claudia S. Vega, P.E. 51532
Engineer Certificate No.

Project No: 25-048

Project phase: CONSTRUCTION PLANS

Project title: SAN FELASCO TECH CITY PHASE 5 SITE PLAN CITY OF ALACHUA, FLORIDA

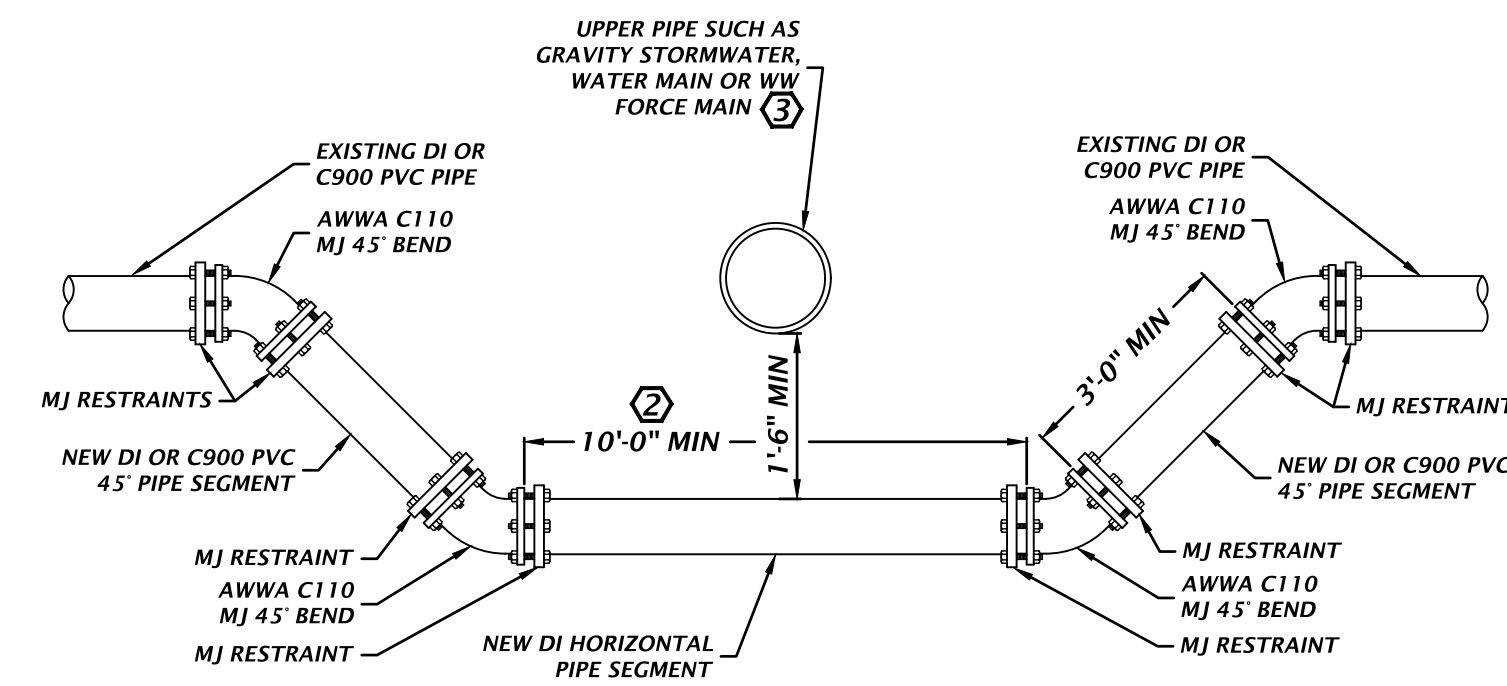
Sheet title: UTILITY DETAILS (1 OF 2)

Designed: CSV Sheet No.:
Drawn: NJG/TAR
Checked: TAR
Date: 06/30/25

C410

GENERAL UTILITY NOTES

1. CONTRACTOR IS RESPONSIBLE FOR PROTECTION AND VERIFICATION OF EXISTING UTILITIES. ANY EXISTING UTILITY TO BE MODIFIED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER.
2. WATER METER APPURTENANCES SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE WATER METER ITSELF SHALL BE FURNISHED AND INSTALLED BY THE CITY.
3. ELECTRIC SERVICE TO BE COORDINATED WITH CLAY ELECTRIC.
4. UTILITY INSTALLATION SHALL NOT TAKE PLACE WITHIN TREE BARRICADE AREA AS SHOWN ON THE PAVING, GRADING AND DRAINAGE PLAN.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF UNSUITABLE MATERIALS OFF-SITE AND FURNISH APPROVED MATERIAL PER CITY OF ALACHUA FOR SANITARY SEWER LINES BACKFILL AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR MAY DISPOSE OF UNSUITABLE MATERIAL ON-SITE BY APPROVAL OF THE OWNER.
6. NO PERMANENT STRUCTURE SHALL BE CONSTRUCTED WITHIN 10 FEET OF ANY WATER LINE OR 15 FEET OF ANY SEWER LINE.
7. CONTRACTOR SHALL PROTECT LANDSCAPE AND ANY DISTURBED AREAS SHALL BE RESTORED AS EXISTING.



- GENERAL NOTE(S)**
- A. USE THIS DETAIL TO RESOLVE CONFLICT BETWEEN UPPER AND LOWER PIPES
 - B. REFER TO **(266D)**
 - C. MAINTAIN TRACER WIRE CONTINUITY, REFER TO **(266D)**
 - D. IF THIS DETAIL IS NOT TECHNICALLY FEASIBLE AND IF APPROVED BY COA, SEPARATE PIPES AS PER RULE 62-555.314, F.A.C.

- KEYED NOTE(S)**
- ① FOR ALTERNATE TIE ROD RESTRAINT, REFER TO **(266F)** MAXIMUM ALLOWABLE TIE ROD LENGTH = 5'-0"
 - ② CENTER HORIZONTAL PIPE SEGMENT ON CENTER OF EXISTING GRAVITY PIPE
 - ③ INSTALLING WATER MAIN UNDER WW FORCE MAIN IS NOT COA PREFERENCE. CONTACT COA STAFF AND REFER TO DESIGN AND CONSTRUCTION MANUAL.

(266D)

RESOLVING UPPER AND LOWER PIPE CROSSING CONFLICTS
NTS

SCALES:
AS SHOWN

No.	Date	Comment

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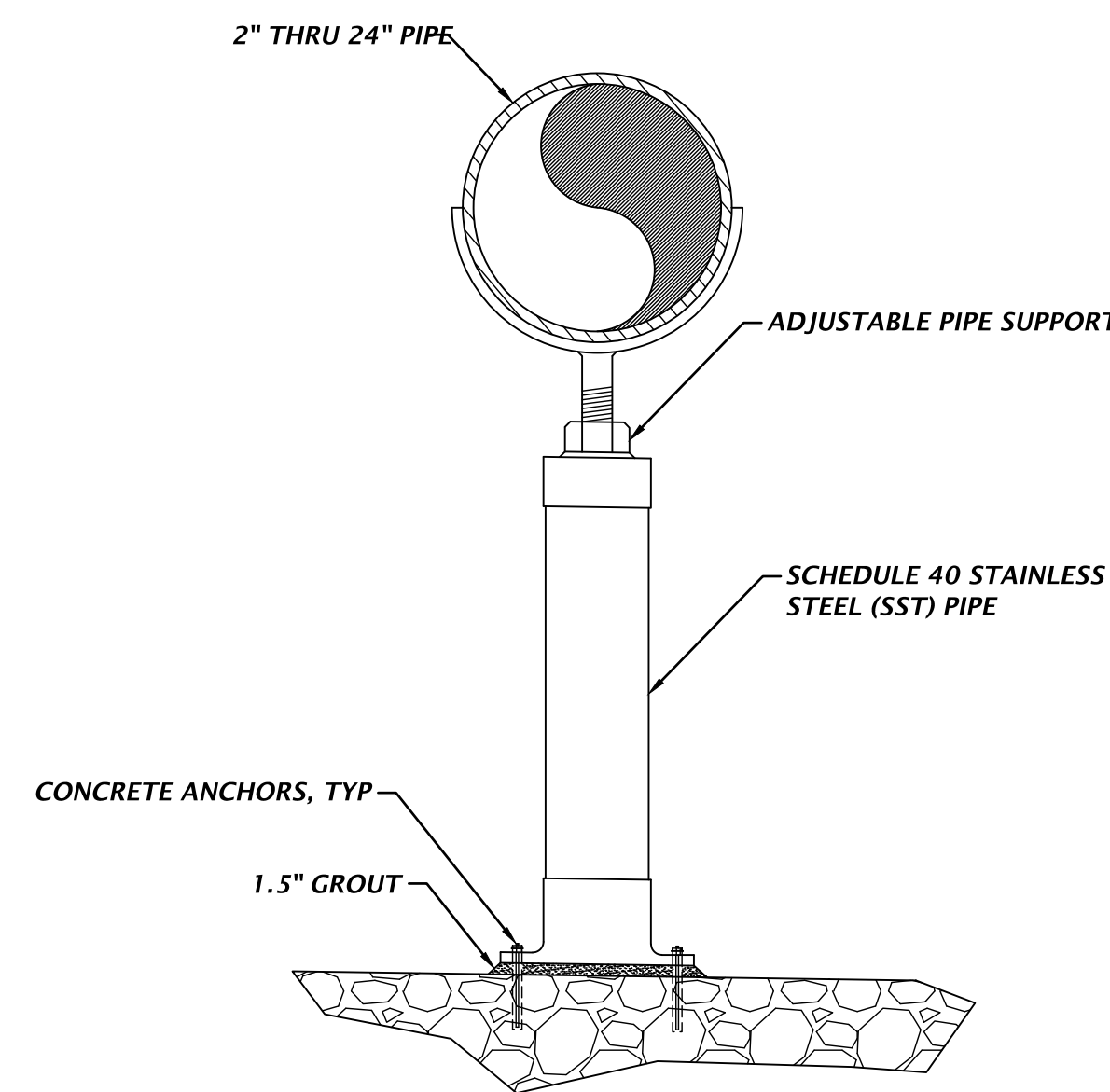
Project phase: CONSTRUCTION PLANS

Project title: SAN FELASCO TECH CITY PHASE 5 SITE PLAN CITY OF ALACHUA, FLORIDA

Sheet title: UTILITY DETAILS (2 OF 2)

Designed: CSV Sheet No.:
Drawn: NJG/TAR
Checked: TAR
Date: 06/30/25

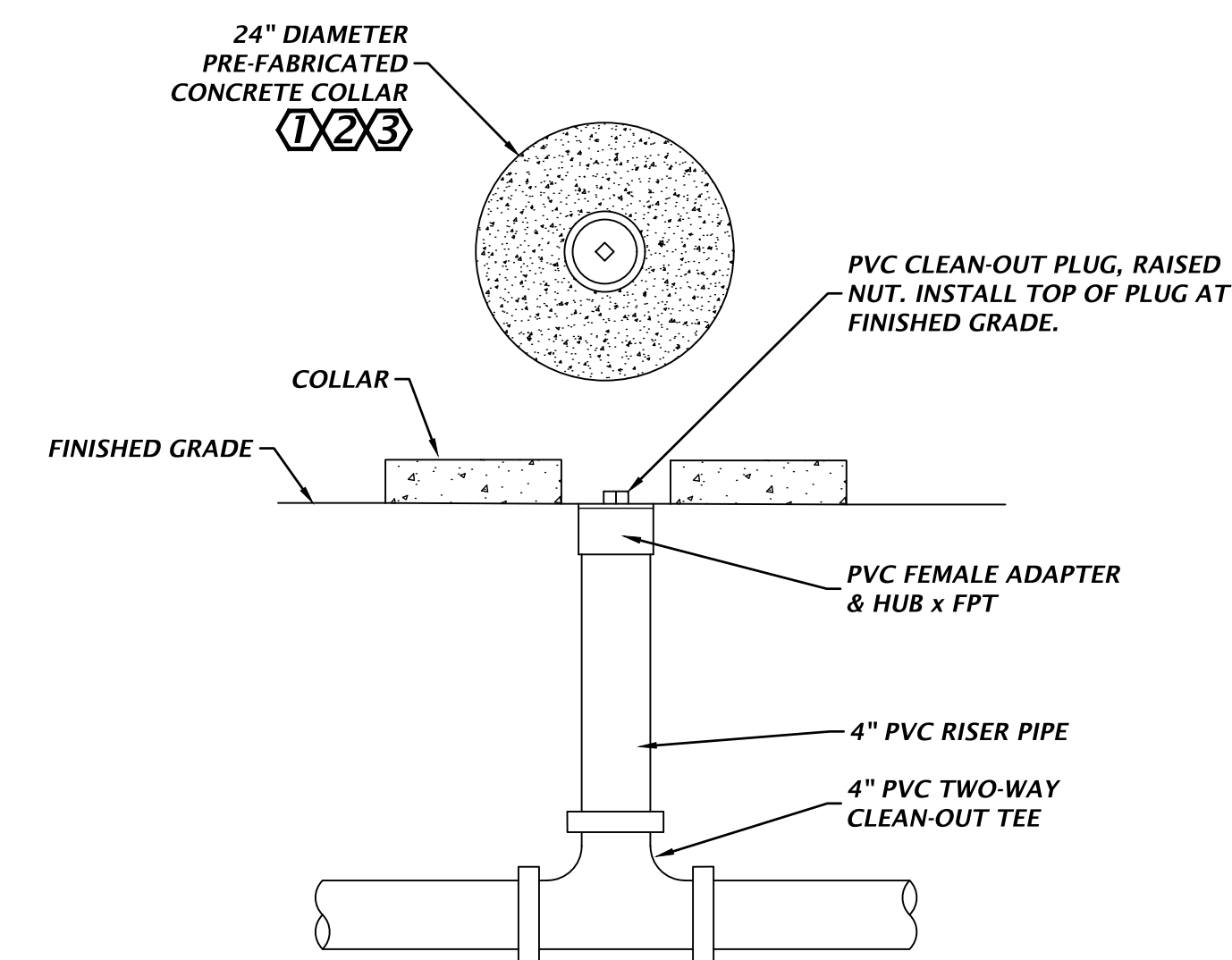
C420



- GENERAL NOTE(S):**
1. ALL PIPE SUPPORT PARTS SHALL BE 304L SST.
 2. MANUFACTURER AND PRODUCT:
 - STANDON PIPE SUPPORTS, FOREST GROVE, OREGON OR EQUAL
 - MODEL S92

(315)

PIPE SUPPORT
NTS



- KEYED NOTES:**
- ① COLLAR FEATURES:
 - 24" DIAMETER, 11" INNER OPENING
 - 4" THICK
 - TWO RINGS OF #3 REBAR
 - 4000 PSI TEST CONCRETE
 - ② SUPPLIER AND PRODUCT:
 - MASONRY SUPPLY, INC., SELMA, NC OR EQUAL
 - ITEM: 24" CONCRETE VALVE BOX COLLAR OR EQUAL
 - PART: MSVB-24 OR EQUAL
 - ③ PAINT COLLAR AS PER **(307)**
- GENERAL NOTES:**
1. REFER TO **(200)**

(263)

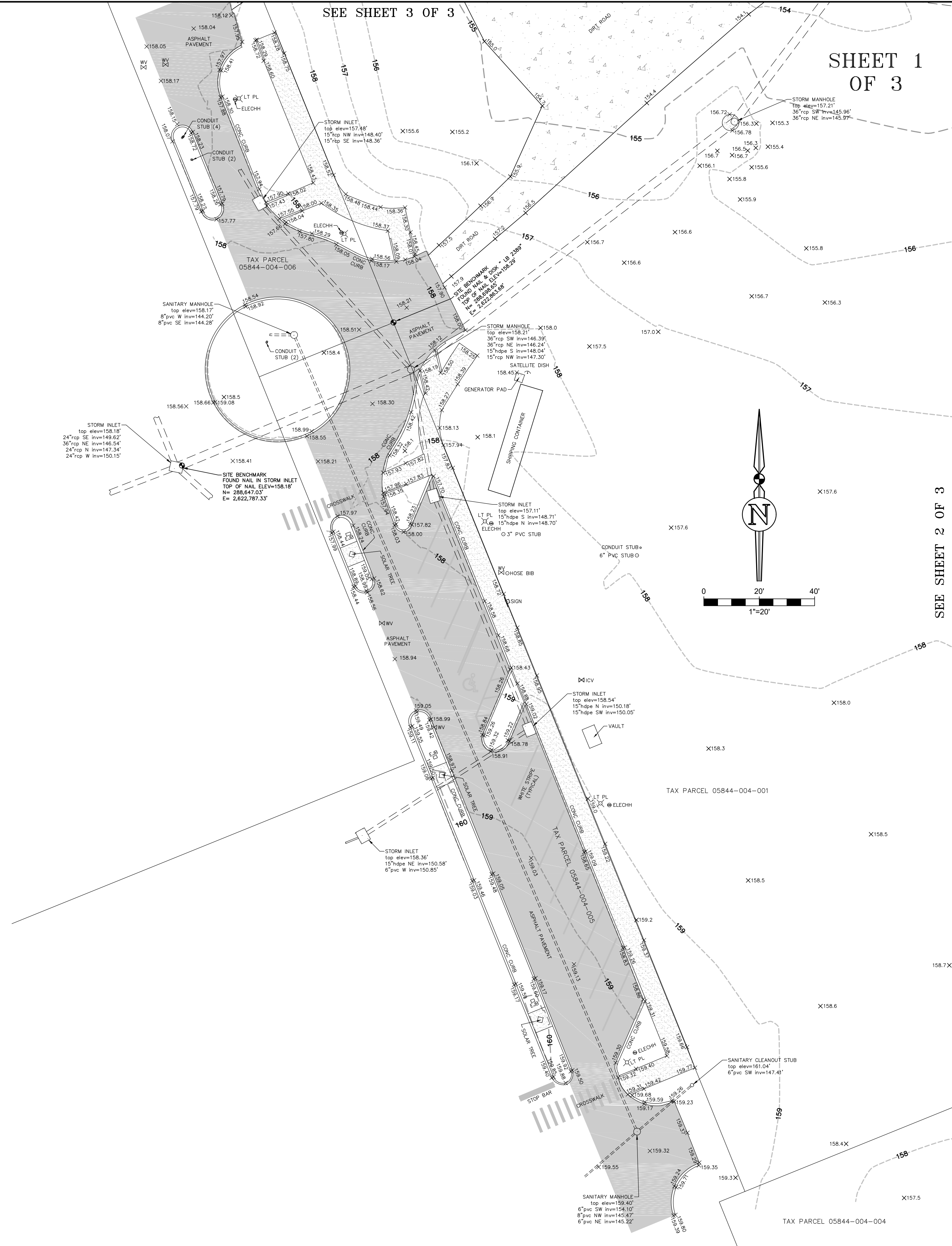
CLEAN-OUT COVER FOR UNPAVED AREAS
NTS

TOPOGRAPHIC SURVEY

IN
SECTION 20, TOWNSHIP 8 SOUTH, RANGE 19 EAST,
CITY OF ALACHUA, ALACHUA COUNTY, FLORIDA
FOR
THE LASER INVESTMENT GROUP LLC

SEE SHEET 3 OF 3

SHEET 1
OF 3



LEGEND OF SYMBOLS & ABBREVIATIONS:

- CONC = CONCRETE
 - EJB = ELECTRICAL JUNCTION BOX
 - elev = ELEVATION
 - hdpe = HIGH DENSITY POLY-ETHYLENE PIPE
 - ID. = IDENTIFICATION
 - inv = INVERT
 - M.E.S. = MITERED END SECTION
 - pvc = POLY-VINYL CHLORIDE
 - rcp = REINFORCED CONCRETE PIPE
 - W = WITH
 - ELECHH = ELECTRICAL HANDHOLE
 - ICV = IRRIGATION CONTROL VALVE
 - LT PL = LIGHT POLE
 - MANHOLE = MANHOLE
 - SIGN = SIGN
 - WV = WATER VALVE
 - ELEVATION CONTOUR LINE = ELEVATION CONTOUR LINE
 - SPOT ELEVATION = SPOT ELEVATION
 - CONCRETE = CONCRETE
 - DIRT ROAD = DIRT ROAD
 - ASPHALT PAVEMENT = ASPHALT PAVEMENT
 - STATE PLANE COORDINATES (NAD 83 DATUM) = STATE PLANE COORDINATES (NAD 83 DATUM)
- N = 288,647.03
E = 2,622,787.33

NOTES:

- 1) THIS IS NOT A BOUNDARY SURVEY.
- 2) THE ELEVATIONS SHOWN HEREON ARE NAVD 1988 DATUM. ELEVATIONS SHOWN HEREON WERE BASED ON AN ELEVATION OF 157.834 FEET (NGVD 1929 DATUM) ON FLORIDA DEPARTMENT OF TRANSPORTATION BENCHMARK "BM4", BEING A CONCRETE MONUMENT WITH BRASS DISK STAMPED "2602006 BM-26-97-A-0" AT THE APPROXIMATE SOUTH RIGHT-OF-WAY LINE OF US 441 AND +/- 1,200 SOUTHEAST OF THE CENTERLINE OF SW 89TH ST. FOR THE PURPOSES OF THIS SURVEY, THIS ELEVATION WAS CONVERTED TO 157.04 FEET (NAVD 1988 DATUM) WITH CORPSSON V6.0.1, U.S. ARMY CORPS OF ENGINEERS.
- 3) THE COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, NORTH ZONE (SPC FL N) REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD 83) (2011 ADJUSTMENT) [NAD 83 (2011)], USING THE U.S. SURVEY FOOT.
- 4) DISTANCES SHOWN HEREON ARE EXPRESSED IN U.S. SURVEY FEET AND WERE MEASURED ON A HORIZONTAL PLANE.
- 5) FOUNDATIONS THAT ARE BENEATH THE SURFACE, IF ANY, WERE NOT LOCATED AS PART OF THIS SURVEY.
- 6) THE HORIZONTAL AND/OR VERTICAL SURVEY MEASUREMENTS WITH WHICH THE SURVEY DATA, THE MAPPED FEATURES, AND THIS SURVEY PRODUCT ARE BASED UPON IS ACCURATE TO AN APPROPRIATE DEGREE IN THE OPINION OF THIS SURVEYOR BASED UPON THE TYPE & EXPECTED USE OF THIS SURVEY, APPLICABLE SURVEYING STANDARDS, AND NORMAL STANDARD OF CARE. THE HORIZONTAL AND/OR VERTICAL ACCURACY WAS VERIFIED BY CLOSED TRAVERSES/LOOPS, INDEPENDENT CHECKS, AND REDUNDANT MEASUREMENTS.
- 7) THIS SURVEY CONSISTS OF 3 SHEETS AND IS NOT VALID WITHOUT ALL SHEETS.
- 8) NO UNDERGROUND UTILITIES HAVE BEEN FIELD LOCATED.
- 9) NO SEARCH OF THE PUBLIC RECORDS WAS MADE BY THE SURVEYOR, THEREFORE, THERE MAY BE RESTRICTIONS OTHER THAN THOSE SHOWN HEREON WHICH MAY BE FOUND IN THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA. EASEMENTS AND BUILDING SETBACK REQUIREMENTS, OTHER THAN THOSE SHOWN, WERE NOT PROVIDED TO THIS SURVEYOR.

SEE SHEET 2 OF 3



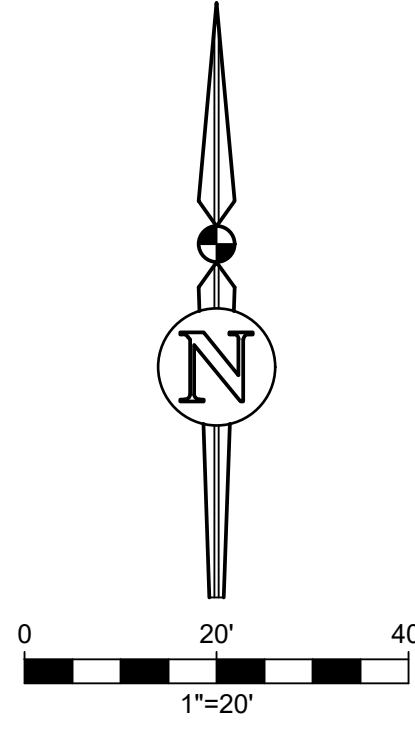
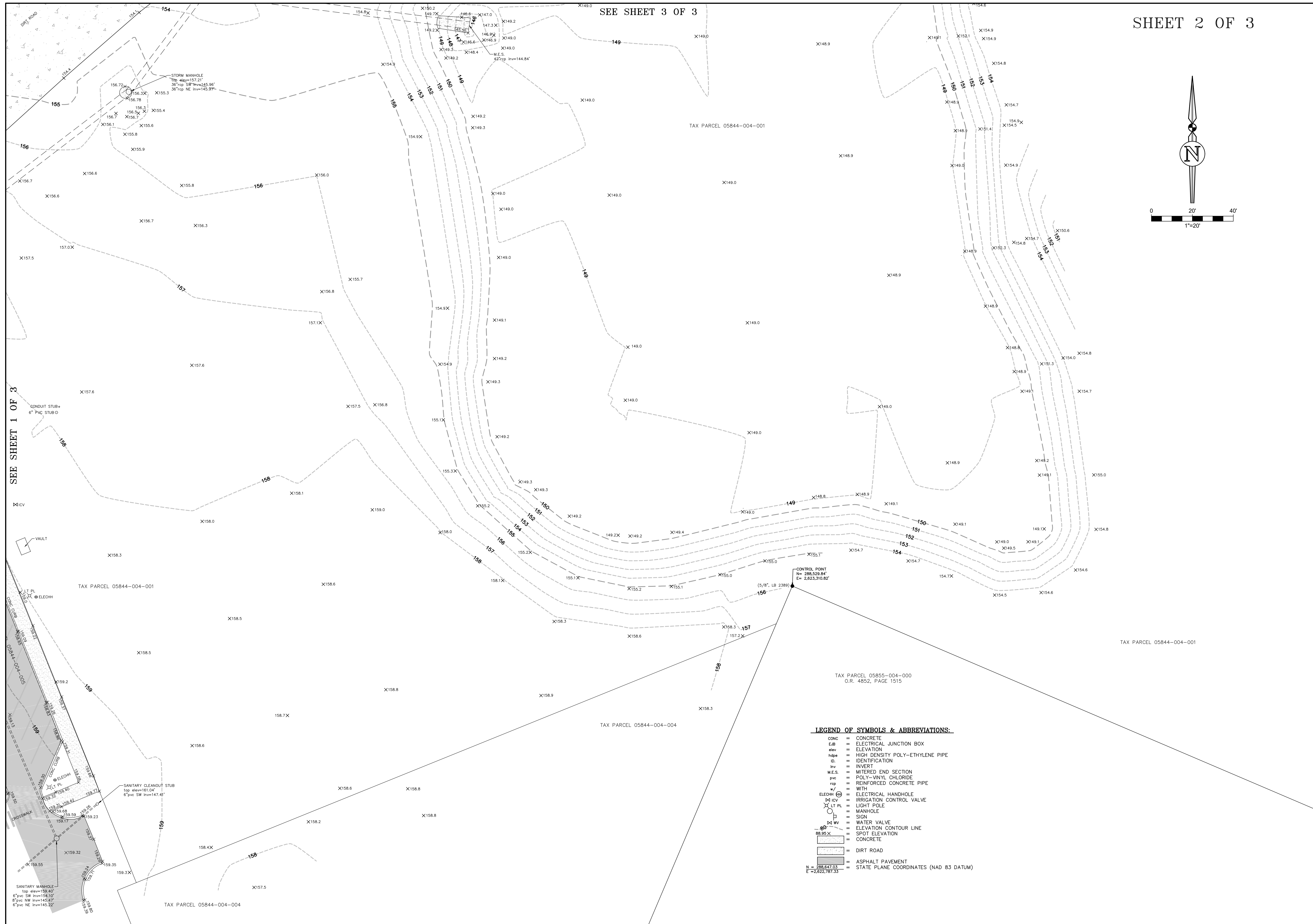
Project No.	2025-0048.S05	Client	JACOB FANTON
Drawn	AG	Checked	AG
Scale	AS SHOWN	Project	AS SHOWN

100%	100%	06/12/2025	06/09/2025
Final	Final	Survey Date	Survey Date
1-50	1-50	Drawn/Completed	Drawn/Completed
1-50	1-50	Prepared	Prepared

PREPARED FOR: THE LASER INVESTMENT GROUP, LLC

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA SURVEYING BOARD AND THE BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS OF FLORIDA. THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, UNLESS ACCOMPANIED BY AN ELECTRONIC SIGNATURE IN ACCORDANCE WITH CHAPTER 39, FLORIDA STATUTES. THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 06/09/2025.

Sheet No.: V-001



- LEGEND OF SYMBOLS & ABBREVIATIONS:**
- CONC = CONCRETE
 - EJB = ELECTRICAL JUNCTION BOX
 - elev = ELEVATION
 - hdpe = HIGH DENSITY POLY-ETHYLENE PIPE
 - id. = IDENTIFICATION
 - inv = INVERT
 - M.E.S. = MITERED END SECTION
 - pvc = POLY-VINYL CHLORIDE
 - rcp = REINFORCED CONCRETE PIPE
 - WV = WITH
 - ELEOH = ELECTRICAL HANDHOLE
 - icv = IRRIGATION CONTROL VALVE
 - LT PL = LIGHT POLE
 - MANH = MANHOLE
 - SI = SIGN
 - WV = WATER VALVE
 - EL = ELEVATION CONTOUR LINE
 - 88.95 X = SPOT ELEVATION
 - 90 = CONCRETE
 - DIRT ROAD = DIRT ROAD
 - ASPH = ASPHALT PAVEMENT
 - STATE PLN = STATE PLANE COORDINATES (NAD 83 DATUM)

No.	Date	Comment



Project No.	2025-0046.S05
Client	THE LASER INVESTMENT GROUP, LLC
Drawn	JACOB FANTON
Checked	JACOB FANTON
Scale	AS SHOWN
Sheet	2 OF 3

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA SURVEYING BOARD, PURSUANT TO SECTION 472.027 (2024), FLORIDA STATUTES. THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 06/09/2025.

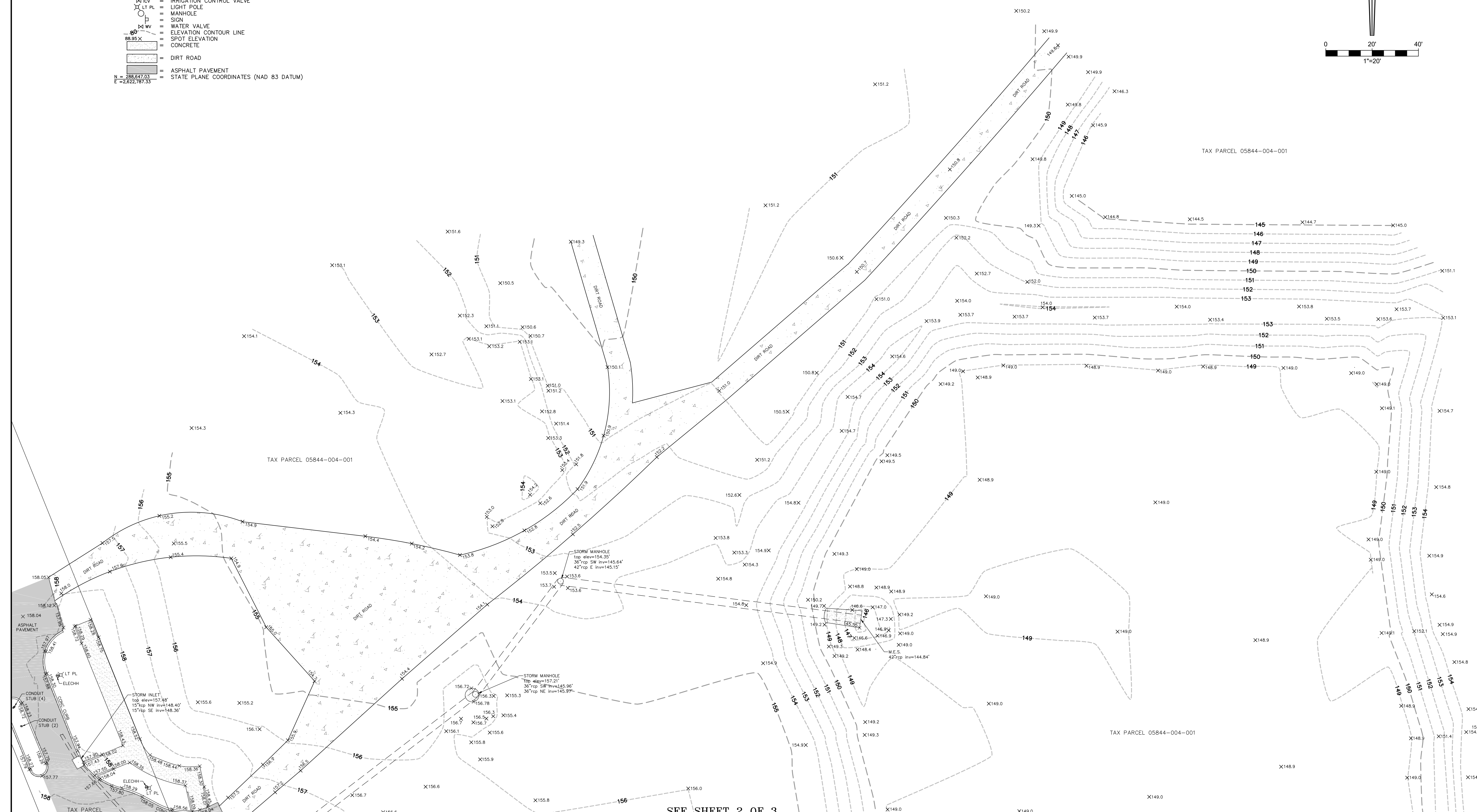
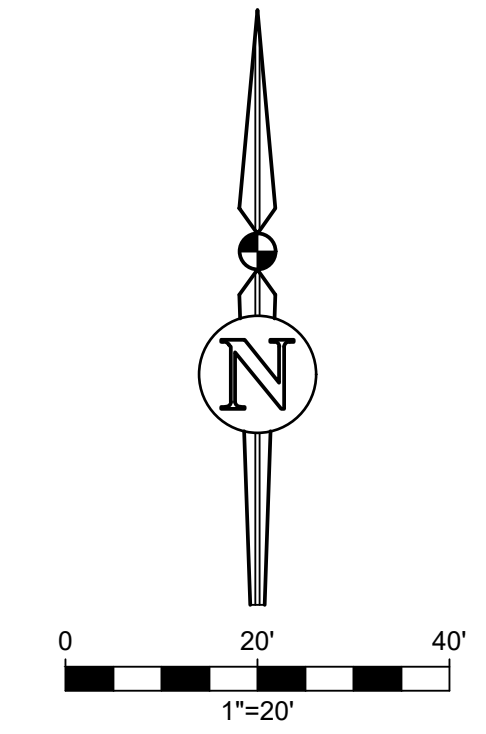
1092	06/09/2025	06/12/2025
1-50	Survey Date	Drawing Completed
1-50	Final	Revised
1-50	Final	Revised

Sheet No.: V-002

LEGEND OF SYMBOLS & ABBREVIATIONS:

- CONC = CONCRETE
- EJB = ELECTRICAL JUNCTION BOX
- elev = ELEVATION
- hdpe = HIGH DENSITY POLY-ETHYLENE PIPE
- ID. = IDENTIFICATION
- inv = INVERT
- M.E.S. = MITERED END SECTION
- pvc = POLY-VINYL CHLORIDE
- rcp = REINFORCED CONCRETE PIPE
- WT = WITH
- ELECHH = ELECTRICAL HANDHOLE
- ICV = IRRIGATION CONTROL VALVE
- LT PL = LIGHT POLE
- M = MANHOLE
- SIGN = SIGN
- WV = WATER VALVE
- EL = ELEVATION CONTOUR LINE
- SPOT ELEVATION
- CONCRETE
- DIRT ROAD
- ASPHALT PAVEMENT
- STATE PLANE COORDINATES (NAD 83 DATUM)

N = 288,647.03
E = 2,022,767.33



No.	Date



Project No.	2025-0048.S05
Drawn By	JACOB FANTON
Checked By	SEE SHEET 1 OF 3 FOR
Scale	1"=20'
Project Name	THE LASER INVESTMENT GROUP, LLC

Survey Date	06/09/2025
Drawing Completed	06/12/2025
Revised	
Prepared For	1) THE LASER INVESTMENT GROUP, LLC
Scale	1"=20'
Sheet No.	V-003

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA SURVEYING BOARD. THIS SURVEY HAS BEEN PREPARED BY A LICENSED SURVEYOR AND MAPPER, UNLESS OTHERWISE INDICATED BY AN ELECTRONIC SIGNATURE IN ACCORDANCE WITH CHAPTER 33-17.002, FLORIDA ADMINISTRATIVE CODE. DATE: 06/09/2025.

SEE SHEET 2 OF 3

GENERAL LANDSCAPE NOTES

- INVASIVE SPECIES:** REMOVE INVASIVE, NONNATIVE PLANT SPECIES AS LISTED ON THE FLORIDA PROHIBITED AQUATIC PLANTS LIST OR THE FLORIDA NOXIOUS WEED LIST FROM THE SITE PRIOR TO ISSUANCE OF THE CERTIFICATION OF OCCUPANCY. ALL HERBICIDE APPLICATIONS TO CONTROL INVASIVE, NONNATIVE PLANTS IN WETLAND OR UPLAND SET-ASIDE AREAS, INCLUDING BUFFERS, SHALL BE APPLIED BY A CONTRACTOR LICENSED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF AGRICULTURAL ENVIRONMENTAL SERVICES, WITH A CURRENT CERTIFICATION IN NATURAL AREAS WEED MANAGEMENT.
- ON-SITE LITTER REMOVAL:** REMOVE ALL EXISTING LITTER AND DEBRIS VISIBLE ON THE PROJECT SITE.
- PLANTING PREPARATION:** REMOVE ALL CONSTRUCTION DEBRIS, LIMEROCK, GRAVEL, ROAD BEDDING, LITTER, AND OTHER ITEMS POTENTIALLY DAMAGING TO PLANT GROWTH WITHIN PROPOSED LANDSCAPE AND TURF AREAS PRIOR TO PLANTING. MAINTAIN EXISTING GRADES UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. IF FILL IS REQUIRED, USE A CLEAN, SANDY LOAM WITH pH 5.5-6.5 AND EXCAVATED FROM LOCAL SOURCES AND DEEP PITS SUCH THAT IT IS FREE OF WEEDS, SEEDS, LITTER, TOXINS, AND OTHER ITEMS HARMFUL TO PLANTING.
- PRUNING:** IF TREE OR ROOT PRUNING IS REQUIRED, THESE ACTIVITIES SHALL BE PERFORMED BY AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURAL (ISA). TREE PRUNING SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS "TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE" (ANSI 300) AND "PRUNING, TRIMMING, REPAIRING, MAINTAINING, AND REMOVING TREES, AND CUTTING BRUSH - SAFETY REQUIREMENTS" (ANSI Z133). NO MORE THAN 25 PERCENT OF THE CROWN SHOULD BE REMOVED AT ONE TIME. ON YOUNG TREES, LIMB REMOVAL SHALL LEAVE NO MORE THAN 33 PERCENT OF THE TRUNK BARE OF BRANCHES.

PLANT MATERIAL QUALITY: PLANT MATERIAL TO COMPLY WITH "FLORIDA #1" GRADE QUALITY STANDARD OR BETTER AS DEFINED AND SPECIFIED WITHIN THE LATEST EDITION OF THE "FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS" AS PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRIES. PROVIDE HEALTHY, VIGOROUS STOCK GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES AND FREE OF DISEASE, PESTS, AND DEFECTS.

- NEW TREES:** NEW TREES SHALL BE INSTALLED TO REPLACE HEALTHY REGULATED TREES REMOVED PURSUANT TO SECTION 6.2.1. REGULATED TREES SHALL BE REPLACED ON A ONE-FOR-ONE BASIS. HEALTHY HERITAGE AND CHAMPION TREES REMOVED AS PROVIDED HEREIN SHALL BE REPLACED ON AN INCH-FOR-INCH BASIS. REPLACEMENT TREES SHALL BE GRADED FLORIDA NO. 1 OR BETTER, AS OUTLINED IN THE MOST RECENT PUBLICATION OF THE STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY, GRADES AND STANDARDS FOR NURSERY PLANTS, PART II, PALMS AND TREES. THE TERM "HEALTHY," AS STATED HEREIN, MEANS "GOOD" OR BETTER PER THE STANDARD DEFINITION FROM THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STATING THE TREE HAS NO MAJOR STRUCTURAL PROBLEMS, NO SIGNIFICANT DAMAGE DUE TO DISEASE OR PESTS, NO SIGNIFICANT MECHANICAL DAMAGE, A FULL BALANCE CROWN, AND NORMAL TWIG CONDITION AND VIGOR FOR ITS SPECIES. PALM TREES MAY BE UTILIZED AS REPLACEMENT TREES BUT AT AN INCREASED RATIO OF 3:1 REPLACEMENT AND SHALL BE A MINIMUM OF EIGHT FEET TALL AT THE TIME OF PLANTING.

- DURING DEVELOPMENT:** DURING DEVELOPMENT OR SITE ALTERATION ACTIVITIES, THE FOLLOWING STANDARDS SHALL BE MET:
 - PROTECTIVE BARRICADES SHALL BE PLACED TO DEFINE A PROTECTIVE AREA AROUND EXISTING TREES TO REMAIN. BARRIERS SHALL BE PLACED AROUND ALL REGULATED TREES AT A MINIMUM OF TWO-THIRDS OF THE AREA OF THE DRIPLINE OF THE TREE OR STAND OF TREES OR AT SIX FEET FROM THE TRUNK OF THE TREE, WHICHEVER IS GREATER. PROTECTIVE BARRICADES SHALL BE PLACED AT THE DRIPLINE OF ALL HERITAGE TREES, CHAMPION TREES, AND REGULATED PALM TREES. PROTECTIVE BARRICADES SHALL BE PLACED AROUND ALL TREES TO BE RETAINED ON THE SITE AND SHALL REMAIN IN PLACE UNTIL SITE CLEARING AND CONSTRUCTION ACTIVITIES ARE COMPLETE, EXCEPT WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE APPROVED WITHIN THE PROTECTED AREA. IF LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE APPROVED WITHIN THE PROTECTED AREA, THEN THE PROTECTIVE BARRICADES SHALL ONLY BE REMOVED WHEN ACTIVITIES ARE OCCURRING. PROTECTIVE BARRICADES SHALL BE REPLACED UPON COMPLETION OF THE ACTIVITIES WITHIN THE PROTECTED AREA. PROTECTIVE BARRICADES SHALL BE AT LEAST FOUR FEET HIGH AND CONSTRUCTED OF EITHER WOODEN CORNER POSTS AT LEAST FOUR INCHES IN WIDTH BY FOUR INCHES IN DEPTH BY FOUR FEET IN HEIGHT BURIED ONE FOOT DEEP WITH AT LEAST TWO COURSES OF WOODEN SIDE SLATS AT LEAST TWO INCHES IN WIDTH BY FOUR FEET WITH COLORED FLAGGING OR COLORED MESH CONSTRUCTION FENCING ATTACHED OR CONSTRUCTED OF ONE INCH ANGLE IRON CORNER POSTS WITH BRIGHTLY COLORED MESH CONSTRUCTION FENCING ATTACHED.
 - A MINIMUM DISTANCE OF TEN FEET SHALL BE MAINTAINED FROM ALL RETAINED REGULATED, HERITAGE, AND CHAMPION TREES WHEN INSTALLING UNDERGROUND UTILITIES. IF THIS RESULTS IN UNREASONABLE HARDSHIP, A SOIL AUGER SHALL BE USED TO TUNNEL UNDER THE ROOT SYSTEMS.
 - NO ATTACHMENTS SHALL BE SECURED TO TREES DESIGNATED TO REMAIN ON SITE.
 - A THREE-INCH LAYER OF MULCH SHALL BE APPLIED OVER THE SURFACE OF ANY EXPOSED ROOTS OF RETAINED REGULATED, HERITAGE, AND CHAMPION TREES AND KEPT WET DURING THE SITE CLEARING AND CONSTRUCTION PHASES.
 - RAISING OR LOWERING OF GRADE WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN SHALL NOT BE PERMITTED UNLESS OTHERWISE APPROVED BY THE LAND DEVELOPMENT REGULATIONS ADMINISTRATOR OR APPOINTEE.
 - DURING THE SITE CLEARING OR CONSTRUCTION PHASES, THE FOLLOWING ACTIVITIES SHALL BE PROHIBITED WITHIN THE PROTECTIVE AREA UNLESS APPROVED WITH THE APPROPRIATE PROTECTIVE STRATEGIES BY THE CITY DURING SITE PLAN OR CONSTRUCTION PLAN APPROVAL:
 - THE CLEARING OF VEGETATION EXCEPT BY HAND;
 - THE COMPACTION, FILLING, OR REMOVAL OF SOIL DEPOSITS;
 - THE PLACEMENT OF DEBRIS;
 - THE PLACEMENT OR DUMPING OF SOLVENTS OR OTHER CHEMICALS;
 - THE PLACEMENT OR STORAGE OF CONSTRUCTION MATERIALS, MACHINERY OR OTHER EQUIPMENT OF ANY KIND; AND
 - THE USE OF CONCRETE, ASPHALT, OR OTHER PAVING MATERIALS.
 - ANY RETAINED OR RELOCATED TREE SHALL BE REPLACED IN ACCORDANCE WITH THE REQUIREMENTS OF SUBSECTION 6.2.1(D)(1), IF THE TREE DIES WITHIN ONE YEAR AFTER SITE CLEARING AND CONSTRUCTION.
 - ANY ROOT PRUNING AND/OR PRUNING OF RETAINED REGULATED, HERITAGE, AND CHAMPION TREES DURING THE SITE CLEARING OR CONSTRUCTION PHASES SHALL BE DONE IN ACCORDANCE WITH ARBORICULTURAL STANDARDS AND DIRECTLY OVERSEEN BY AN ISA-CERTIFIED ARBORIST.
- SOD:** ALL UNPAVED AND DISTURBED AREAS OUTSIDE OF PROPOSED TREE, SHRUB, AND GROUND COVER PLANTING AREAS SHALL BE SODDED. SEE SHEET L....

- MULCHING:** THREE INCHES OF MULCH, SETTLED, SHOULD COVER TREE RING PLANTING AREAS AND ALL SHRUB AND GROUND COVER PLANTING AREAS. MULCH SHOULD BE NO DEEPER THAN ONE INCH OVER THE TOP OF TREE ROOTBALLS. USE PINE STRAW MULCH IN ALL AREAS. MULCH TO BE FREE OF DEBRIS, STICKS, AND CONES. NO PLASTIC OR NON-BIODEGRADABLE WEED CLOTH OR SURFACE COVERS TO BE USED.
- IRRIGATION:** THE IRRIGATION SYSTEM USED FOR LANDSCAPE SHALL BE DESIGNED TO CORRELATE TO THE WATER USE PLANT ZONES ESTABLISHED IN THE LANDSCAPE DESIGN. A PRELIMINARY IRRIGATION PLAN SHALL BE SUBMITTED AT TIME OF SITE PLAN OR CONSTRUCTION PLAN APPLICATION SUBMISSION WITH A NOTE THAT THE FOLLOWING STANDARDS FOR IRRIGATING THE SITE SHALL BE USED IN THE DESIGN OF THE SYSTEM:
 - IN THE HIGH WATER USE ZONE: ALL PORTIONS OF THE ZONE SHALL BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM WITH LOW VOLUME HEADS THAT ARE TIMED TO PRODUCE NO MORE THAN TWO INCHES OF WATER PER WEEK IN ESTABLISHED LANDSCAPES.
 - IN THE MODERATE WATER USE ZONE: ALL PORTIONS OF THE ZONE SHALL BE PROVIDED WITH A READILY AVAILABLE WATER SUPPLY WITHIN 100 FEET, TO SUPPLEMENT NATURAL RAINFALL WHEN NEEDED, AND TO HELP ENSURE THAT WATERING WILL TAKE PLACE UNTIL THE PLANT MATERIAL IS ESTABLISHED.
 - IN LOW WATER USE ZONES: ALL PORTIONS OF THE ZONE SHALL BE PROVIDED WITH A READILY AVAILABLE WATER SUPPLY WITHIN 50 FEET, TO SUPPLEMENT NATURAL RAINFALL WHEN NEEDED, AND TO HELP ENSURE THAT WATERING WILL TAKE PLACE UNTIL THE PLANT MATERIAL IS ESTABLISHED.
 - RAIN SENSOR DEVICES SHALL BE REQUIRED ON ALL AUTOMATIC IRRIGATION SYSTEMS TO AVOID IRRIGATION DURING PERIODS OF SUFFICIENT RAINFALL.
 - THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE IRRIGATION OVERTHROW ONTO IMPERVIOUS SURFACES AND TO NEGATE ANY PONDING EFFECTS.
 - A FINAL IRRIGATION PLAN SHALL BE SUBMITTED AT THE TIME OF BUILDING PERMIT APPLICATION OR CONSTRUCTION PLAN APPLICATION AND SHALL BE REVIEWED TO ENSURE THAT THE DESIGN STANDARDS FOUND IN THIS SUBSECTION HAVE BEEN MET.
- RESPONSIBILITY:** THE OWNER OF THE PARCEL SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PRESERVED, RELOCATED, OR REPLACEMENT TREES. ALL TREES WILL BE INSPECTED BY AN ARBORIST, FORESTER, OR REGISTERED LANDSCAPE ARCHITECT, HIRED BY THE OWNER, WITHIN SIX MONTHS AFTER PLANTING TO ENSURE THE TREES ARE SURVIVING IN A HEALTHY CONDITION. A CERTIFIED REPORT SHALL BE PROVIDED TO THE LAND DEVELOPMENT REGULATIONS ADMINISTRATOR DESCRIBING THE CONDITION OF TREES. TREES FOUND TO BE IN DECLINING CONDITION SHALL BE REPLACED BY THE OWNER OF THE PARCEL WITHIN 30 DAYS OF SUBMITTAL OF THE REPORT. IF REPLACEMENT IS NECESSARY, THERE SHALL BE A REINSPECTION REPORT SUBMITTED WITHIN SIX MONTHS AFTER THE REPLACEMENT REPLANTING.
- MAINTENANCE RECOMMENDATIONS:** PER CITY OF ALACHUA ULDR, ARTICLE 6., SEC. 6.2.2.D.7.B.vii. A MAINTENANCE SCHEDULE MUST BE SUBMITTED ADDRESSING THE FOLLOWING:
 - CHECKING:** CHECK DISTRIBUTION AND SPRINKLER FUNCTION OF THE IRRIGATION SYSTEM PERIODICALLY AND MONTHLY AT A MINIMUM. MAKE REPAIRS AS NEEDED. ADJUST SPRAY HEADS TO MINIMIZE OVERTHROW ONTO PAVEMENT.
 - RESETTING:** WATER AT A FREQUENCY AS ALLOWED BY THE LOCAL JURISDICTIONS INCLUDING CITY OF ALACHUA AND SUWANNEE RIVER WATER MANAGEMENT DISTRICT. WATER AT A DURATION AS INDICATED IN IRRIGATION DESIGN INDICATED FOR EACH ZONE. ADJUST FREQUENCY AND DURATION AS NEEDED AND AS DIRECTED BY REGULATING AGENCIES.
 - REMULCHING:** MAINTAIN THE DEPTH OF MULCH IN ALL PLANTING AREAS AS SPECIFIED IN PLANS. REPLENISH A MINIMUM OF TWICE A YEAR OR AS NEEDED. DEPTH SHALL BE MEASURED WHEN MULCH IS SETTLED. REMOVE STICKS, CONES, AND DEBRIS FROM MULCH PRIOR TO PLACING. UTILIZE MULCH TYPE AS SPECIFIED IN PLANS. REMOVE DEBRIS FROM MULCH AREAS PRIOR TO REMULCHING.
 - FERTILIZING:** APPLY A SLOW-RELEASE, GRANULAR FERTILIZER WITHIN ALL PLANTING AREAS. APPLY IN A MANNER AND AT A RATE AND FREQUENCY AS RECOMMENDED BY THE MANUFACTURER AND AS PER CITY OF ALACHUA REGULATIONS, IF APPLICABLE. DO NOT APPLY ON LEAVES OR BRANCHES. DO NOT ALLOW FERTILIZER TO FALL ON PAVEMENT OR NEAR DRAINS. FERTILIZER TO MEET SPECIFICATION FOR COMMERCIAL APPLICATIONS.
 - WEEDING:** KEEP PLANTING BEDS, TREE RINGS, AND MULCH AREAS FREE OF UNDESIRABLE VEGETATION. APPLY A PRE-EMERGENT HERBICIDE AS APPROVED BY THE OWNER TO PLANTING AREAS PRIOR TO THE PLANTING SEASON IN EARLY SPRING. MANUALLY REMOVE WEEDS AND OTHER UNDESIRABLE SPECIES OVER 12" IN HEIGHT. UTILIZE A POST-EMERGENT HERBICIDE AS APPROVED BY THE REGULATING AGENCIES FOR WEEDS LESS THAN 12". WEED MONTHLY, MINIMUM.
 - PRUNING:** MAINTAIN PLANTINGS TO MAINTAIN THE CLEAR SIGHT WINDOW AS DEFINED BY THE REGULATING AGENCIES OF THE ADJACENT ROADWAYS. PRUNING TO BE DONE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE AMERICAN NATIONAL STANDARD "TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE" (ANSI A300). PRUNE FLOWERING PLANTS FOLLOWING THEIR BLOOMING PERIOD. PRUNE OTHER PLANTS IN EARLY SPRING PRIOR TO THEIR FIRST FLUSH. REMOVE DEAD OR INJURED BRANCHES. HEAD BRANCHES IF NEEDED TO MAINTAIN HEIGHT AND TRIM AT DIFFERENT LENGTHS FOR A MORE NATURAL FORM, WHERE DESIRED BY THE OWNER. DO NOT PRUNE SHRUBS INTO BALLS OR OTHER SHAPES AND INSTEAD MAINTAIN IN THEIR NATURAL FORM, AS DIRECTED BY THE OWNER.
 - MOWING:** MOW TURF AT A FREQUENCY TO MAINTAIN TURF IN A VIGOROUS AND HEALTHY STATE WITHOUT APPEARING UNKEMPT. REMOVE UNWANTED VEGETATION, AND DEBRIS FROM TURF AREAS DURING MOWING ACTIVITIES.
- EXISTING UTILITIES:** LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. CALL 811.



Know what's below.
Call before you dig.

XERISCAPE CRITERIA

Per City of Alachua ULDR, Article 6, Sec. 6.2.2.D.7.b. Xeriscape Standards

Required: Preserve and maintain native vegetation
Provided: *No existing native vegetation to preserve.*

Required: Group plant material into water use zones based on water needs.
Provided: *Plant groupings have similarly low water needs and can thus be irrigated accordingly. Irrigation plan to be provided by others.*

Required: Ensure plant types are appropriate for soils.
Provided: *All species provided are Florida Friendly species suited to the proposed site conditions.*

Required: Use of mulch.
Provided: *Mulch is proposed for all planting areas, including trees outside of main landscape beds.*

Required: Use of low water use plants.
Provided: *Plants with high drought tolerances and low water requirements are proposed.*

Required: Efficient irrigation.
Provided: *Irrigation plan to be provided by others.*

Required: Maintenance.
Provided: *Maintenance is required as per general landscape notes 12.*

Required: Drip irrigation or emitters.
Provided: *Irrigation Plan to be provided by others.*

FLORIDA FRIENDLY LANDSCAPING PRACTICES

Per City of Alachua ULDR Article 6, Sec. 6.2.2.C.8 Florida Friendly Landscaping.

- Right Plant Right Place. *Proposed plants are native species or species that are well adapted to the site conditions. Plants are chosen and placed so as to avoid utility, vehicular and pedestrian conflicts. Preference has been given to species that are well-suited for the site microclimate and the industrial use of the site. Shrubs are varied to foster diversity, create visual interest and attract a variety of wildlife. Plants are a minimum of 2' from all building facades to reduce maintenance concerns. On the west sides of the building, deciduous trees provide shade in the summer and allow natural winter light into the buildings and parking for passive heating.*
- Water Efficiently. *Irrigation Plan to be provided by others.*
- Fertilize Appropriately. *Fertilizer and application as required as per general landscape notes 12.*
- Mulch. *Mulch is to be provided in all planting areas as shown by the hatched bedlines.*
- Attract Wildlife. *Proposed plants include species that attract pollinators. All plants are well-adapted to the region.*
- Manage Yard Pests Responsibly. *Proposed pest management will be per best management practices.*
- Recycle Yard Waste. *Yard waste to be disposed of as required within Alachua County and the City of Alachua.*
- Reduce Stormwater Runoff. *Stormwater management meets regulating agency requirements. See civil plans.*
- Protect the Waterfront. *Wetland areas are protected as per Water Management District and City of Alachua requirements. See civil plans.*

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	NOTES
CANOPY TREES					
	LT	2	Liroidendron tulipifera / Tulip Poplar	2' Cal.	10' Ht.
	QV	5	Quercus virginiana / Southern Live Oak	2' Cal.	10' Ht.
	UA	1	Ulmus alata / Winged Elm	2' Cal.	10' Ht.
CANOPY/UNDERSTORY					
	AR	4	Acer rubrum / Red Maple	2' Cal.	10' Ht.
	SS	5	Sabal palmetto / Cabbage Palmetto	8' CT	
UNDERSTORY TREES					
	LI	3	Lagerstroemia indica / Crape Myrtle	1.5' Cal. Canes	10' Ht.
	ML	1	Magnolia grandiflora 'Little Gem' / Little Gem Dwarf Southern Magnolia	2' Cal.	10' Ht.
SHRUBS					
	HP	8	Hamelia patens 'Firefly' / Firefly Firebush	3 gal.	18" ht. min.
	JB	27	Juniperus conferta 'Blue Pacific' / Blue Pacific Shore Juniper	1 gal.	12"x12", Full
	MC	58	Muhlenbergia capillaris / Pink Muhly Grass	1 gal.	Full and lush
	SR	2	Strelitzia reginae / Bird of Paradise	7 gal.	24"x24", Full
	VM	57	Viburnum obovatum 'Densa' / Dwarf Walter's Viburnum	3 gal.	18" ht. min.
	ZI	139	Zamia integrifolia / Coontie	3 gal.	18" ht. min.
GROUND COVERS					
	LG	207	Liriope muscari 'Emerald Goddess' / Emerald Goddess Lilyturf	1 gal.	Full

PREPARED BY:

Contact: KALEY DUNLAP RICE

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kaley@floraviedesign.com

PREPARED FOR:

EDA CONSULTANTS

CONTACT: Claudia Vega
720 SW 2nd Ave, Suite 300
Gainesville, Florida
PHONE: (352) 373-3541

No.	Date	Comment

Professional Landscape Architect of Record:



Kaley M. Rice, PLA LA6667256
Landscape Architect Certificate No.

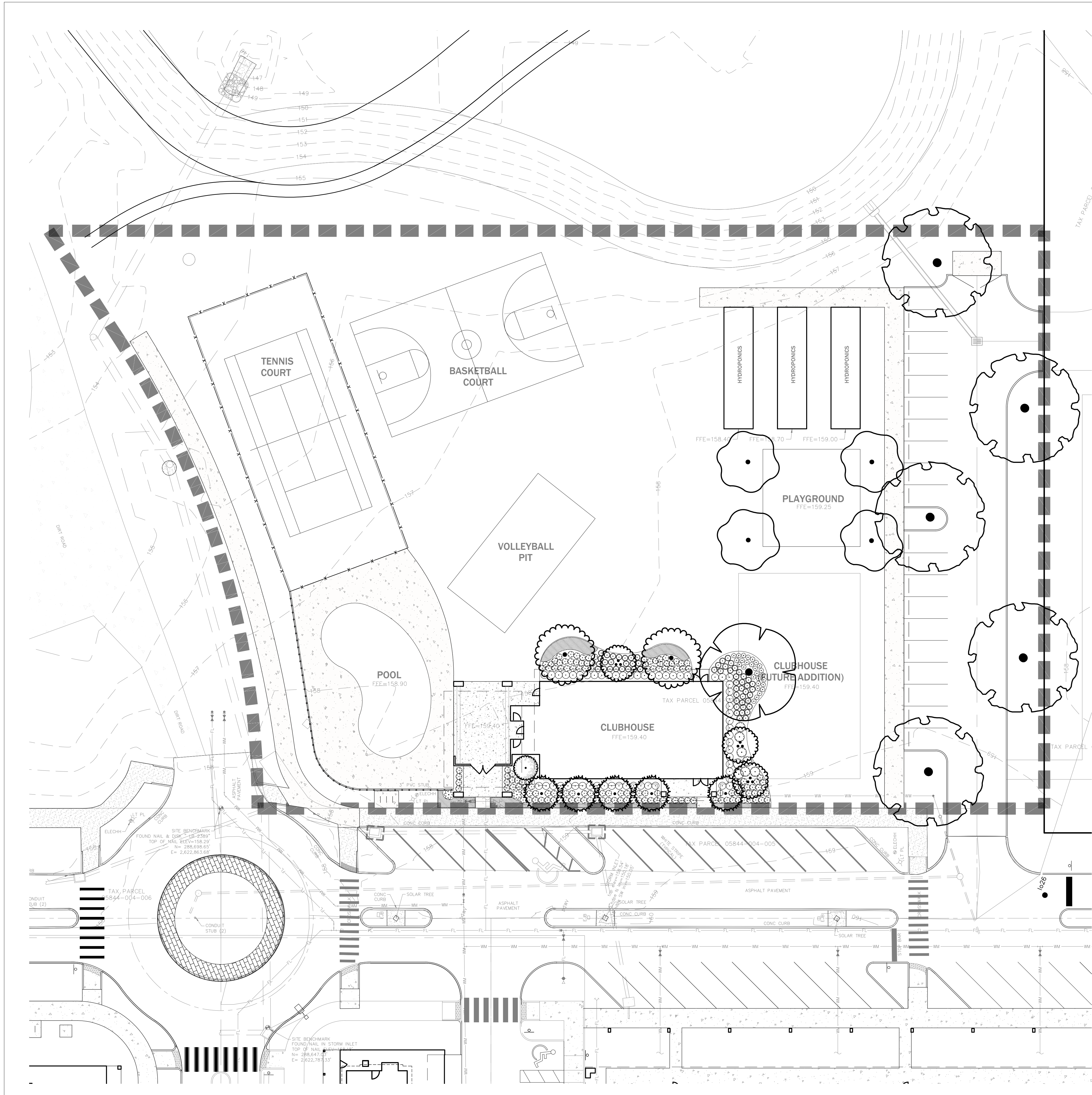
Project No: 25-029

Project Phase: CITY SUBMITTAL

Project Title: TECH CITY PHASE 5
CITY OF ALACHUA,
FLORIDA

Sheet Title: LANDSCAPE NOTES

Designed: KMR Sheet No.:
Drawn: ZRR
Checked: KMR **L100**
Date: 06/27/2025



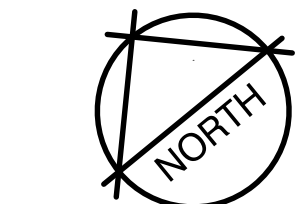
PLANT LEGEND

SYMBOL	CODE	BOTANICAL / COMMON NAME
CANOPY TREES		
	LT	Liriodendron tulipifera / Tulip Poplar
	QV	Quercus virginiana / Southern Live Oak
	UA	Ulmus alata / Winged Elm
CANOPY/UNDERSTORY		
	AR	Acer rubrum / Red Maple
	SS	Sabal palmetto / Cabbage Palmetto
UNDERSTORY TREES		
	LI	Lagerstroemia indica / Crape Myrtle
	ML	Magnolia grandiflora 'Little Gem' / Little Gem Dwarf Southern Magnolia
SHRUBS		
	HP	Hamelia patens 'Firefly' / Firefly Firebush
	JB	Juniperus conferta 'Blue Pacific' / Blue Pacific Shore Juniper
	MC	Muhlenbergia capillaris / Pink Muhly Grass
	SR	Strelitzia reginae / Bird of Paradise
	VM	Viburnum obovatum 'Densa' / Dwarf Walter's Viburnum
	ZI	Zamia integrifolia / Coontie
GROUND COVERS		
	LG	Liriope muscari 'Emerald Goddess' / Emerald Goddess Lilyturf

PREPARED BY:

 Contact: KALEY DUNLAP RICE
 PHONE: (321) 277-0826
 kaley@floraviedesign.com

PREPARED FOR:
EDA CONSULTANTS
 CONTACT: Claudia Vega
 720 SW 2nd Ave, Suite 300
 Gainesville, Florida
 PHONE: (352) 373-3541



0 0 40 feet
 SCALE: 1" = 20'

No.	Date	Comment

Professional Landscape Architect of Record:



Kaley M. Rice, PLA LA6667256
 Landscape Architect Certificate No.

Project No: 25-029

Project Phase: CITY SUBMITTAL

Project Title: **TECH CITY PHASE 5
 CITY OF ALACHUA,
 FLORIDA**

Sheet Title: **LANDSCAPE PLAN**

Designed: KMR Sheet No:
 Drawn: ZRR
 Checked: KMR **L200**
 Date: 06/27/2025

LEOTEK
LITE-ON GROUP

Project: SAN FELASCO / TECH CITY PHASE 5
Type: PL4 & PL2S
Catalog No.

ARIETA® 18 Architectural LED Area Luminaire AR18 M2 Series Specification Data Sheet

Luminaire Data
Weight: 24 lbs [10.9 kg]
EPA: 0.55 ft²

Ordering Information
Sample Catalog No. AR18 20M2 MV NW 3 DB 700 HSS

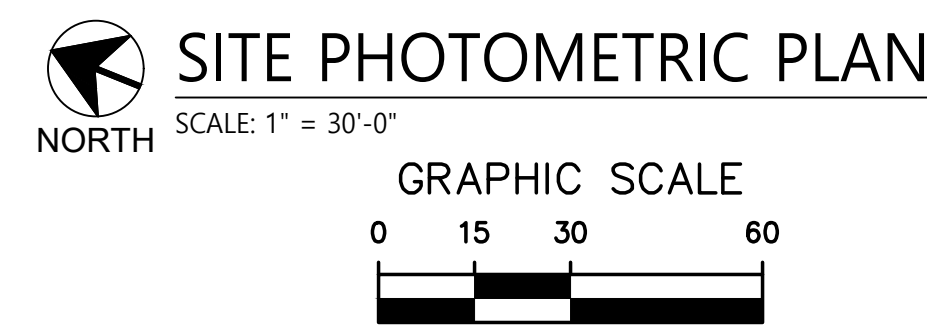
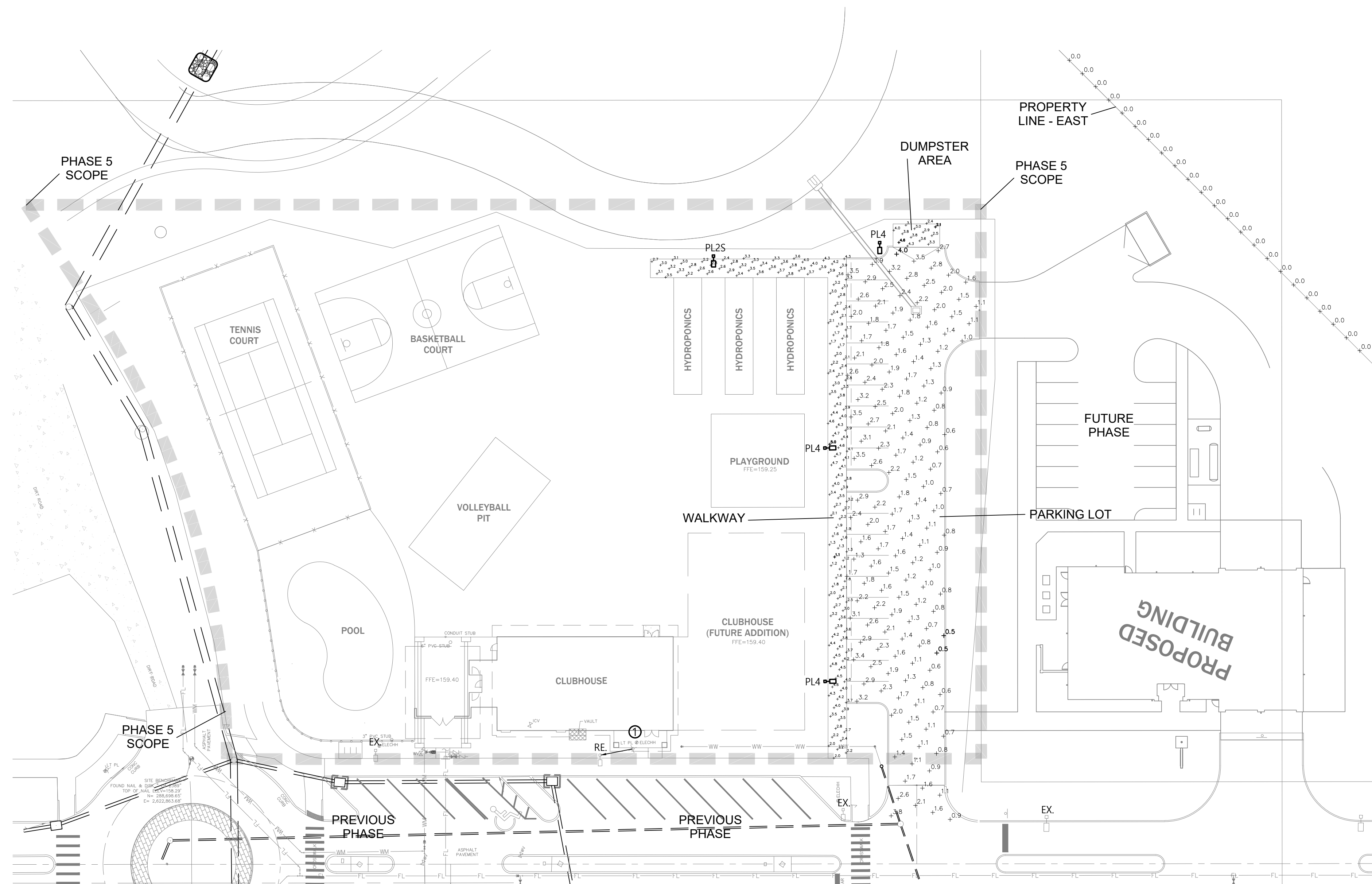
Product	LED Code	Voltage	Nominal Color Temperature	Distribution	Finish¹	Drive Current Code²	Options
AR18	6M2 10M2 15M2 18M2 20M2 24M2 30M2	MV 120-277V HV 347-480V	NW 3000K CW 5000K	2 Type 2 3 Type 3 4 Type 4 5 Type 5	BK Black DB Dark Bronze (RAL6022) DB1 Dark Bronze (RAL8029) WH White GY Gray NA Natural Aluminum	350 700	HSS³ House Side Shield (Factory Installed) FDC⁴ Fixed Drive Current FFA⁵ Full Field Adjustability PCR⁶ NEMA Photocontrol Receptacle ANSI 7-wire Photocontrol Receptacle Control Ready 7-wire Photocontrol Receptacle MSL7⁷ Motion Sensor with L7 Lens MSL3⁸ Motion Sensor with L3 Lens PND3¹ Part Night Dimming PND2² Part Night Dimming PND3³ Part Night Dimming ORR⁴ Optics Rotated Right ORL⁵ Optics Rotated Left WL⁶ Utility Wattage Label

Notes:
1. Black, Dark Bronze, White, Gray, or Natural Aluminum standard. DB (RAL6022) is our original dark bronze. DB1 (RAL8029) is a new dark bronze option. Consult factory for other finishes. See page 2 for specifications.
2. Specified drive current code is the factory set maximum drive current. Field adjustable current selector enables standard dimming to lower wattage drive currents only. Consult factory if wattage limits require a special drive current.
3. Flush mounted shield factory installed, also available for field installation. House Side Shield cuts light off at 1/2 mounting height behind luminaire.
4. Non-field adjustable drive current. Specify 350mA, 530mA or 700mA setting.
5. The FFA option enables full field adjustability from the specified drive current code to all drive currents available. This option is not DIC qualified.
6. Field adjustable current selector included to enable standard dimming to lower wattage drive currents only. Field changeable connectors included to enable connection to PCR7 (wireless node dimming is disabled by default).
7. Control-ready wired at factory for wireless node dimming. Supplied at maximum drive current. If lower drive current is required, consult factory.
8. Motion Sensor available with MV or HV. See L7 or L3 Lens coverage details on page 5. Consult factory for MS specified with ANSI 7-wire Photocontrol Receptacle. PCR option is required for On/Off control using light detection.
9. For PND profile options see page 6. Only available with MV (120-277V).
10. Specify Color (GY, DB, DB1, BK, WH, NA).
11. Specify MV (120-277V) or HV (347V or 480V).

Accessories¹
HSSAR18¹³ House Side Shield
RPA¹⁴ Round Pole Adapter
PTF1¹⁵ Square Pole Top Fitter Single
PTF2¹⁶ Square Pole Top Fitter Twin at 180°
PTF4¹⁷ Square Pole Top Fitter Quad
WM¹⁸ Wall Mount
BSK¹⁹ Bird Deterrent Spider Kit
LLPC²¹ Long Life Twist Lock Photocontrol
SC²² Twist Lock Shading Cap
FSIR100²³ Motion Sensor Configuration Tool

¹Accessories are ordered separately and not to be included in the catalog number.

© 2020 Leotek Electronics USA LLC.
AR18_M2_Series_Specification_Sheet_05-11-20. Specifications subject to change without notice.



GENERAL NOTES

- HIGHLIGHTED POINTS REPRESENT MAXIMUM/MINIMUM VALUE FOR EACH AREA.
- FIXTURES WILL BE CONTROLLED WITH PHOTOCELL AND OPERATE DUSK-TO-DAWN.
- POLES SHALL BE LOCATED MINIMUM 24" BEHIND CURB AND SHALL BE PROVIDED WITH CONCRETE POLE BASE.
- THIS DRAWING IS NOT INTENDED TO CONSTITUTE A CONSTRUCTION DOCUMENT AND SHALL BE USED FOR PERMITTING PURPOSES ONLY.

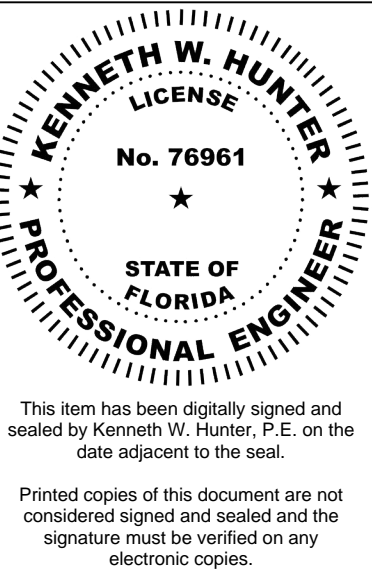
PLAN NOTES

- EXISTING POLE LIGHT TO BE RELOCATED TO LOCATION SHOWN. COORDINATE WITH OTHER UTILITIES PRIOR TO RELOCATION.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING LOT	+	1.8 fc	4.0 fc	0.5 fc	8.0:1	3.6:1
PROPERTY LINE - EAST	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
SIDEWALK	+	3.1 fc	5.0 fc	1.1 fc	4.5:1	2.8:1
DUMPSTER ENCLOSURE	+	3.3 fc	4.6 fc	2.1 fc	2.2:1	1.6:1

Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Mounting Height
PL4	PL4	3	Leotek Electronics USA LLC., 1955 Lundy Ave., San Jose, CA 95131	ARXX-18M2-MV-NW-4-XX-700 S	Leotek Electronics - Pole arm mount roadway luminaire. Product ID: ARXX-18M2-MV-NW-4-XX-700 S This IES file was scaled from AR13-6M2-MV-CW-4-XX-700.	1	17205	0.81	25FT
PL2S	PL2S	1	Leotek Electronics USA LLC., 1955 Lundy Ave., San Jose, CA 95131	ARXX-15M2-MV-NW-2-XX-700 S	Leotek Electronics - Pole arm mount roadway luminaire. Product ID: ARXX-15M2-MV-NW-2-XX-700 S This IES file was scaled from AR13-6M2-MV-NW-2-XX-700.	1	14855	0.81	25FT

NOTE: FIXTURES MARKED 'EX' ARE EXISTING TO REMAIN.



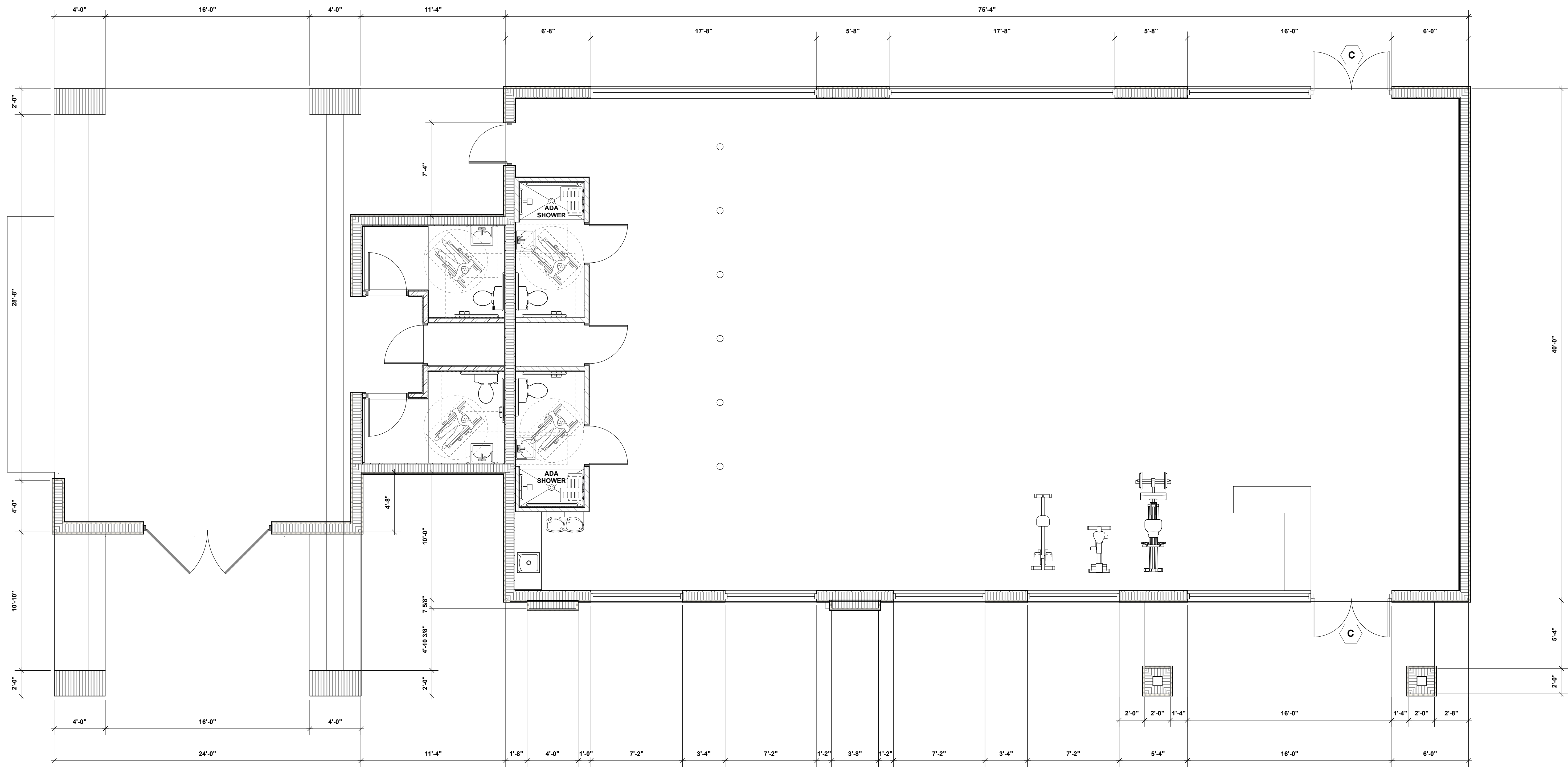
HUNTER DESIGN AND CONSULTING, INC.
696 1ST AVE N, STE 200
ST. PETERSBURG, FL 33701
352-238-6366
FLORIDA CA #31946, PE #76961

SAN FELASCO TECH CITY PHASE 5
SITE LIGHTING PLAN
CITY OF ALACHUA, FLORIDA

PROJECT INFORMATION	
PROJECT NUMBER:	25057
DRAFTED:	K. NORTHCUTT
DESIGNED:	K. NORTHCUTT
REVIEWED:	K. HUNTER
ISSUE DATE:	6/30/25
REVISIONS	

SHEET NUMBER

E-1



1 FLOOR PLAN
A100 Scale: 1/4" = 1'-0"

REVISIONS		
REV.	DATE	DESCRIPTION

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USE MAY RESULT IN LEGAL ACTION.

DONAHUE ARCHITECTURE, INC.
 1202 SW 17th Street
 Suite 201-165
 Ocala, FL 34471
 T 352.867.5148
 E john@donahue-arch.com
 FL: # AR0017495

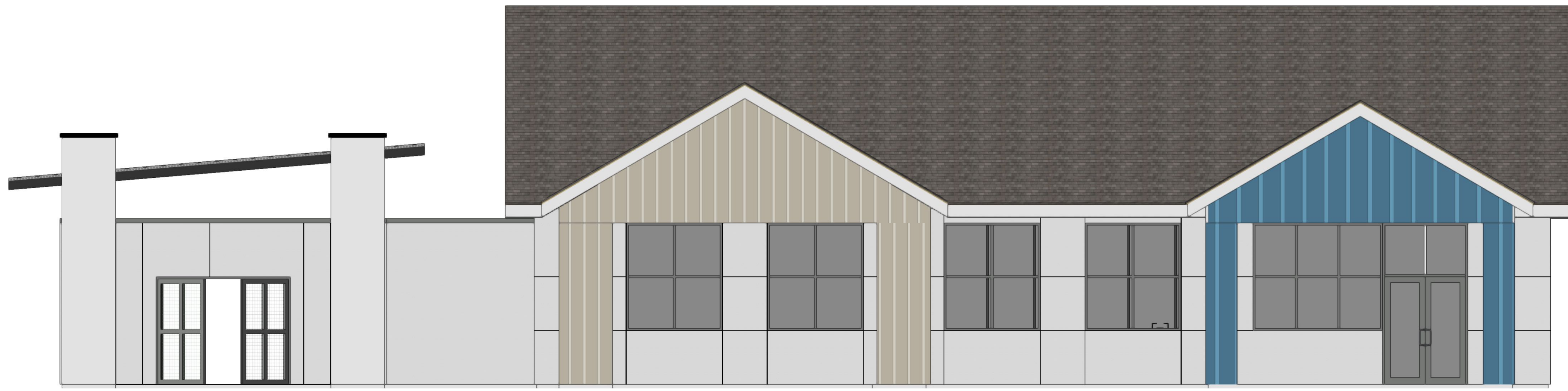
DA

Floor Plan

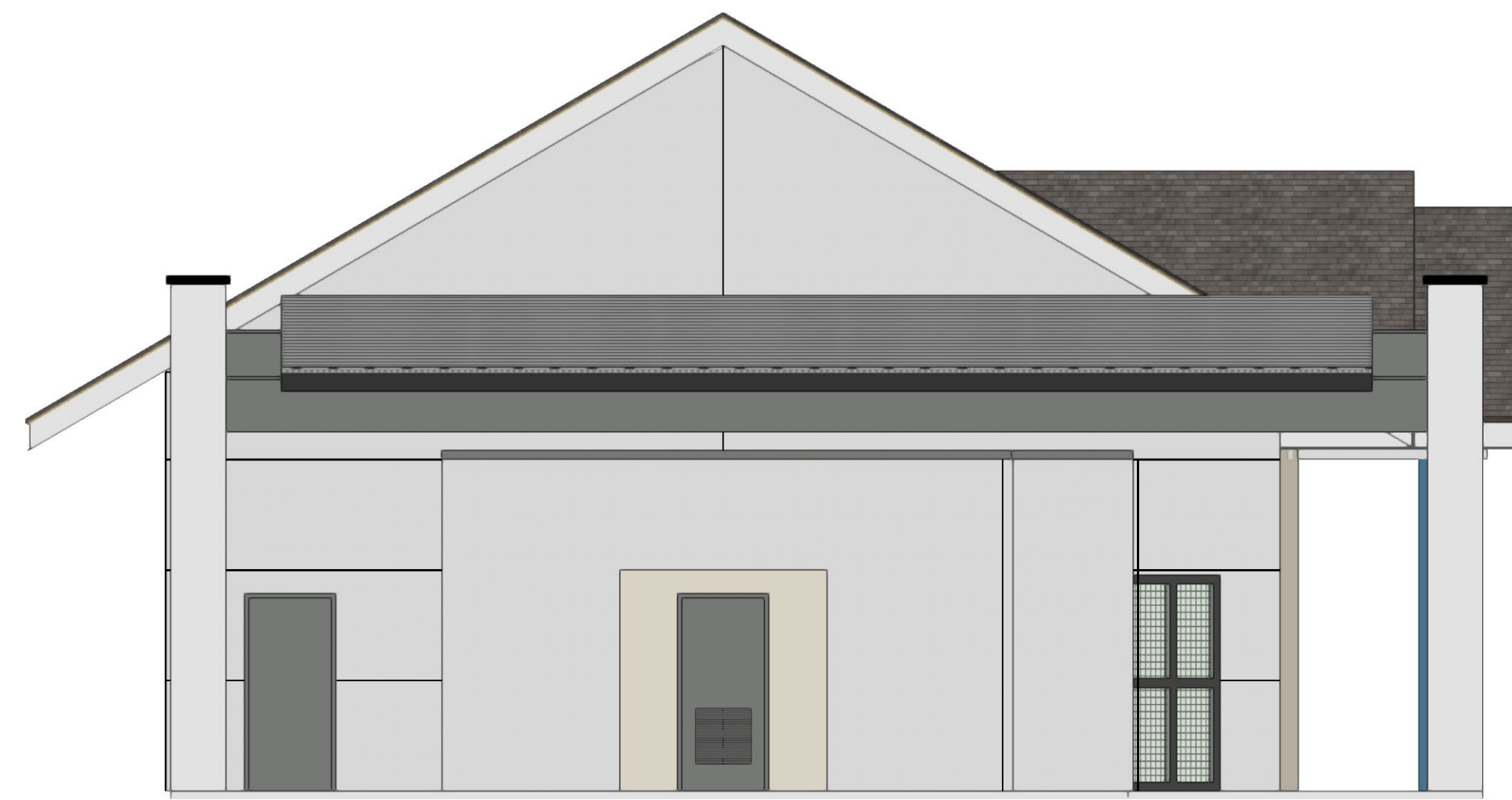
Crossfit

SAN FELASCO TECH CITY Alachua, Florida

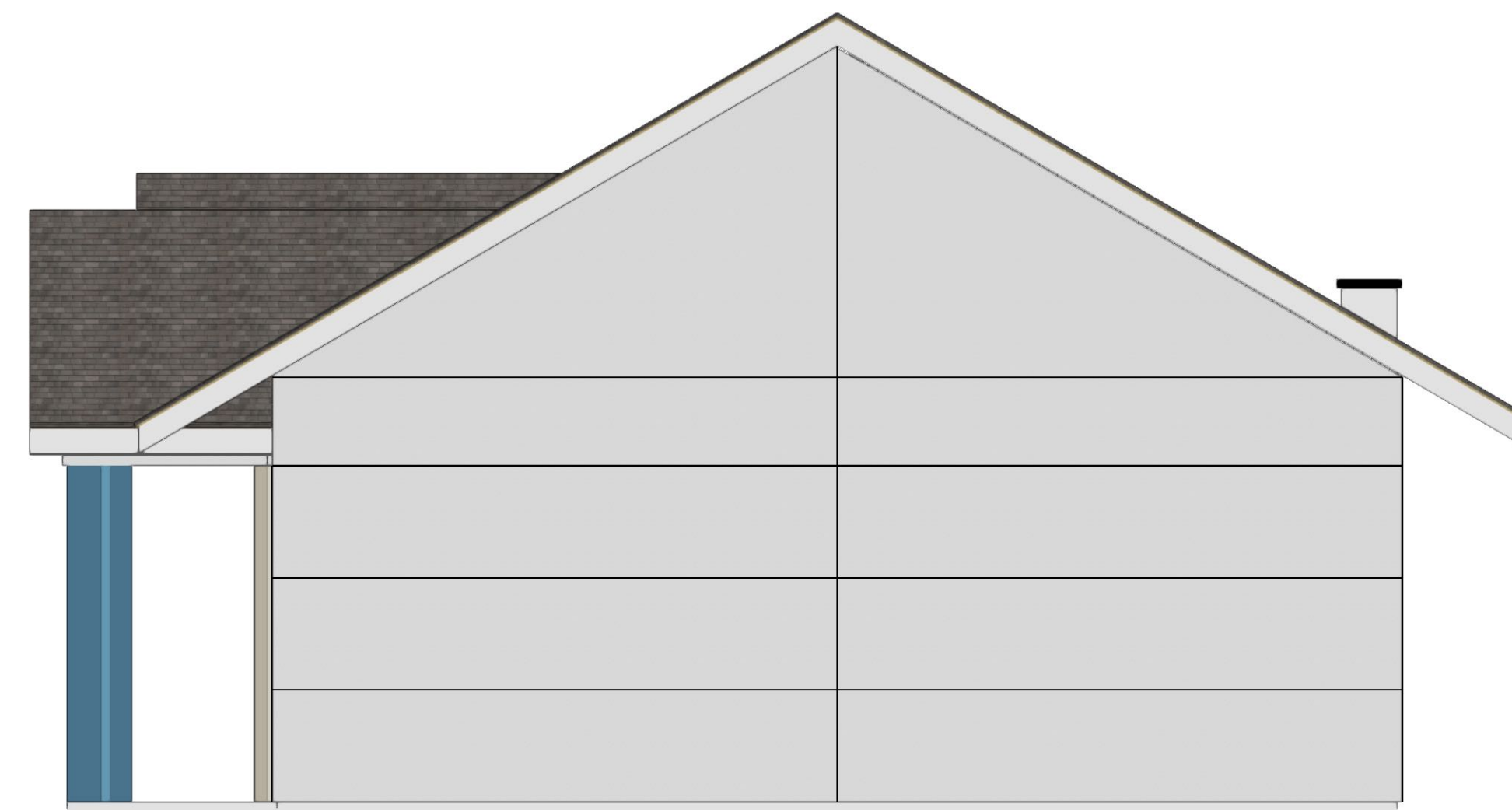
DATE	6/19/25	
JOB	D_25043	
DRAWN BY	JAD	1
CHECKED BY	JAD	1
A100		OF
		3



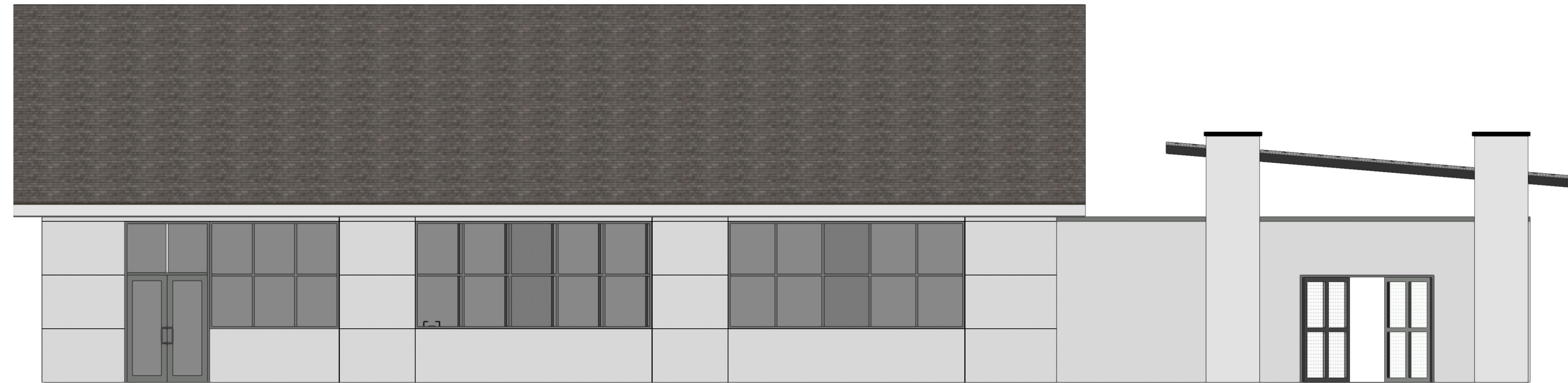
1 ELEVATION - FRONT
A200 Scale: 3/16" = 1'-0"



2 ELEVATION - LEFT
A200 Scale: 3/16" = 1'-0"



3 ELEVATION - RIGHT
A200 Scale: 3/16" = 1'-0"

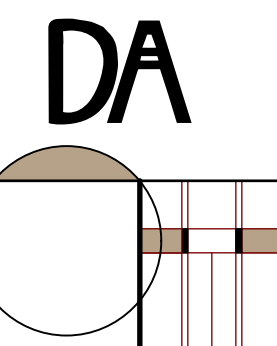


4 ELEVATION - REAR
A200 Scale: 3/16" = 1'-0"

REVISIONS		
REV.	DATE	DESCRIPTION

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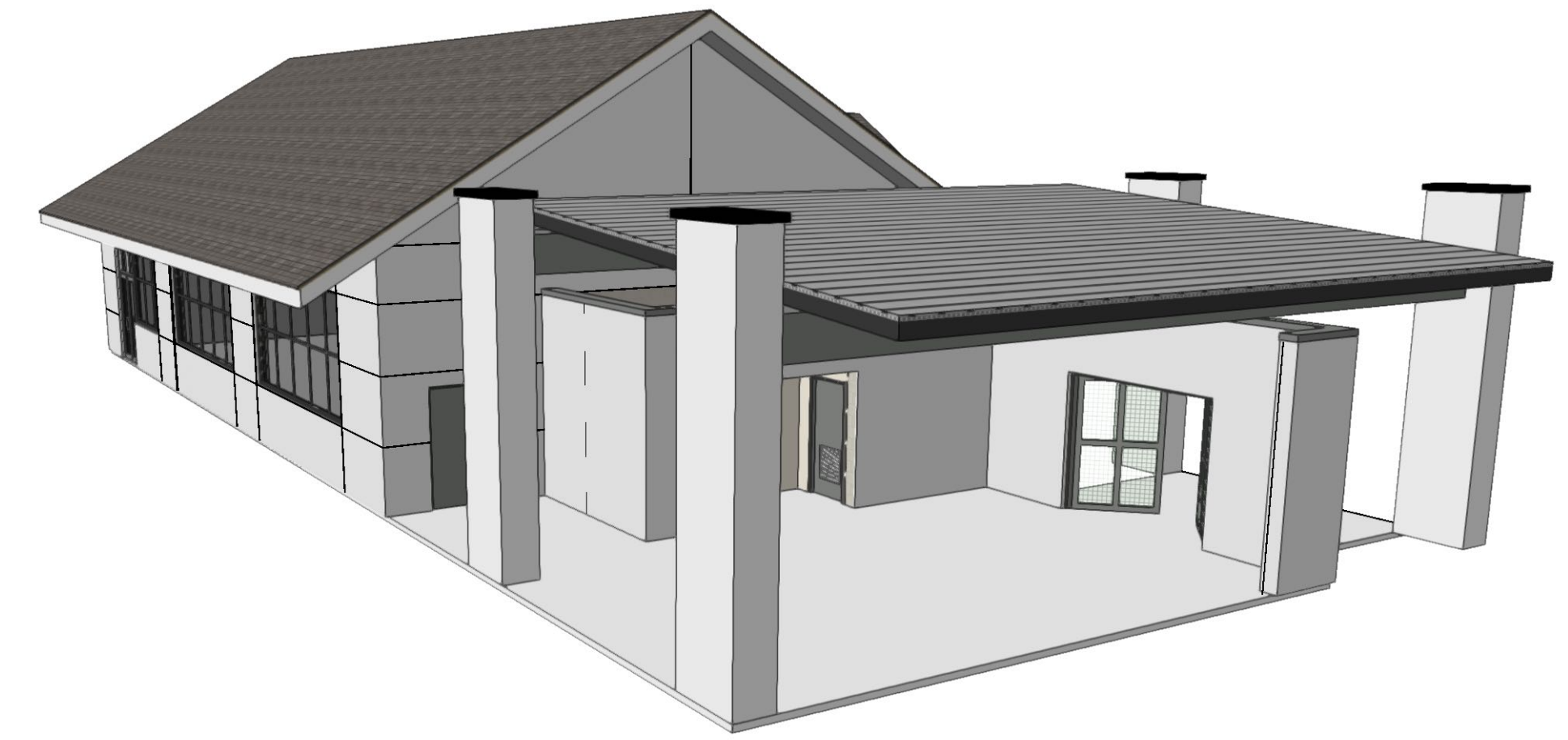
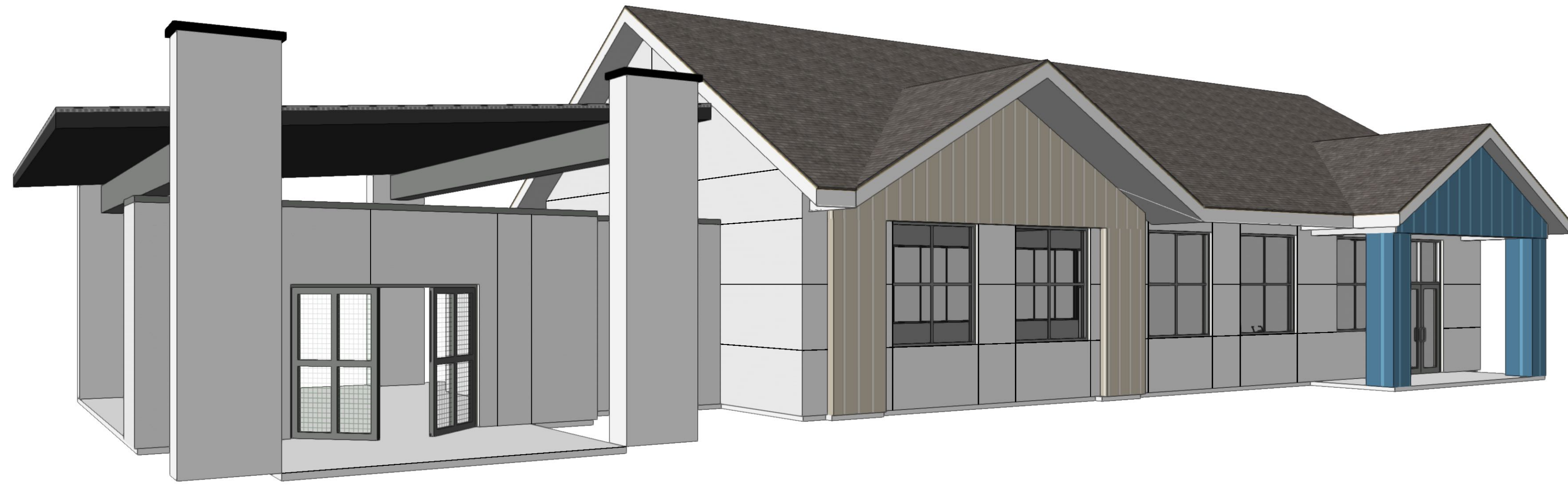
DONAHUE ARCHITECTURE, INC.
1202 SW 17th Street
Suite 201-105
Ocala, FL 34471
T 352.867.5148
E john@donahue-arch.com
FL: # AR0017486



Elevations

Crossfit
SEI
SAN FELASCO TECH CITY Alachua, Florida

DATE	6/19/25	
JOB	D_25043	
DRAWN BY	JAD	2
CHECKED BY	JAD	OF
A200		3



REVISIONS		
REV.	DATE	DESCRIPTION

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DA

DONAHUE ARCHITECTURE, INC.
 1202 SW 17th Street
 Suite 201-109
 Ocala, FL 34471
 T 352.867.5148
 E john@donahue-arch.com
 FL: # AR0017496

Renderings

Crossfit

SAN FELASCO TECH CITY Alachua, Florida

DATE	6/19/25	
JOB	D_25043	
DRAWN BY	JAD	3
CHECKED BY	JAD	
A201		OF
		3

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ONLINE AND
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ember 6, 2025)



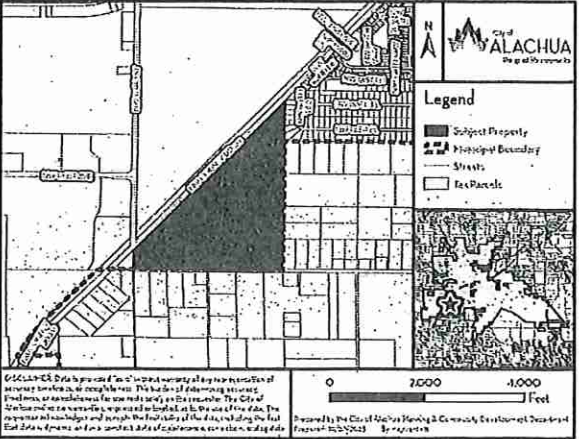
City of ALACHUA

NOTICE OF PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD OF THE CITY OF ALACHUA, FLORIDA

Notice is hereby given that the Planning and Zoning Board of the City of Alachua will hold a public hearing on November 18, 2025, at 6:00 p.m. The hearing will be held in the James A. Lewis Commission Chambers in City Hall, located 15100 NW 142nd Terrace, Alachua, Florida, to consider the following:

Application #: PPP25-0002 – Amendment to Fletcher Trace Major Subdivision Preliminary Plat

A request by NV5, Inc. (agent) on behalf of Fletcher Development, LLC (property owner) for an amendment to the Fletcher Trace Major Subdivision Preliminary Plat proposing rephasing and reducing the total number of single-family attached lots from 128 to 28 and increasing the total number of single-family detached lots from 344 to 410, for a net decrease of 34 lots on a ± 118.20-acre subject property generally located southeast of County Road 235 and north of NW 110th Avenue (tax parcel 03980-002-001); FLU: Moderate Density Residential; Zoning: Planned Development – Residential (PD-R).



At the public hearing, all interested parties may appear and be heard with respect to the application. Copies of the application are available for public inspection at the Planning and Community Development Department, 15100 NW 142nd Terrace, Alachua, Florida, on any regular business day between the hours of 7:30 a.m. to 6:00 p.m. Written comments on the application may be sent to the following address: City of Alachua, Planning and Community Development, P.O. Box 9, Alachua, FL, 32616. Notice is given pursuant to Section 286.0105, Florida Statutes, that, in order to appeal any decision made at the public hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act, any persons with a disability requiring reasonable accommodation in order to participate in this meeting should call the City Clerk at (386) 418-6100 x 1501 at least 48 hours prior to the public hearing.

(Published: Alachua County Today - November 06, 2025)



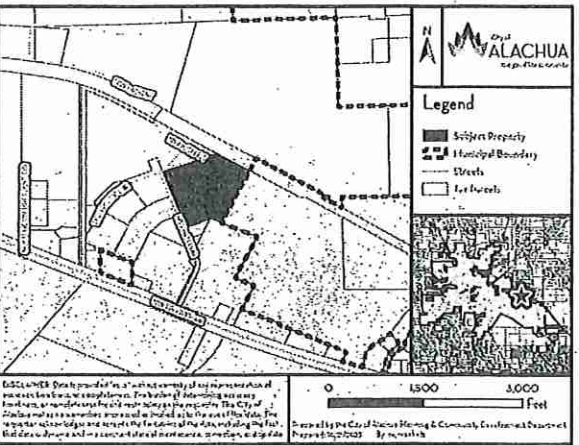
City of ALACHUA

NOTICE OF PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD OF THE CITY OF ALACHUA, FLORIDA

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Application #: PSP25-0010 – San Felasco Tech City Phase 5 Site Plan

A request by eda consultants, inc. (applicant/agent) on behalf of The Laser Investment Group, LLC (property owner) for a site plan which proposes the construction of a community amenity center including a ± 3,000 square foot clubhouse/gym, pool, playground, sports courts, and urban agriculture facilities with associated site improvements on a ± 1.5-acre subject property generally located north of US Highway 441 at the intersection of Tech City Circle and NW 86th Dr.; tax parcel: 05844-004-001; FLU: Corporate Park; Zoning: Corporate Park (CP).



At the public hearing, all interested parties may appear and be heard with respect to the application. Copies of the application are available for public inspection at the Planning and Community Development Department, 15100 NW 142nd Terrace, Alachua, Florida, on any regular business day between the hours of 7:30 a.m. to 6:00 p.m. Written comments on the application may be sent to the following address: City of Alachua, Planning and Community Development, P.O. Box 9, Alachua, FL, 32616. Notice is given pursuant to Section 286.0105, Florida Statutes, that, in order to appeal any decision made at the public hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act, any persons with a disability requiring reasonable accommodation in order to participate in this meeting should call the City Clerk at (386) 418-6100 x 1501 at least 48 hours prior to the public hearing.

(Published: Alachua County Today - November 06, 2025)

AFFIDAVIT FOR POSTED LAND USE SIGN

I, MELISSA WATSON, POSTED THE LAND USE SIGN(S)
(Print Name)

ON 11/3/2025 FOR THE PSP25-0010 SFTC Ph5 Site Plan
(Date) (Project name & type of action)

LAND USE ACTION AS PER ARTICLE 2.2.9(D) OF THE LAND DEVELOPMENT

REGULATIONS. THIS WILL BE INCLUDED IN THE STAFF REPORT.

Melissa Watson
(Signature)

3
(Number of signs)

CITY OF ALACHUA

NOTICE OF LAND USE DEVELOPMENT ACTION

PUBLIC HEARING(S) ARE SCHEDULED TO CONSIDER THE FOLLOWING:

PROJECT NAME: _____ **APPLICATION NO.:** _____

APPLICATION TYPE: _____ **CURRENT ZONING:** _____

NATURE/SCOPE OF PROPOSAL: _____

DATE OF PUBLIC HEARING(S): _____ **AT** _____ **PM**

_____ **AT** _____ **PM**

_____ **AT** _____ **PM**

LOCATION OF PUBLIC HEARING(S):
ALACHUA CITY HALL - 15100 NW 142ND TERRACE

FOR MORE INFORMATION CONTACT:
CITY OF ALACHUA PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT

386-418-6121

planning@cityofalachua.com

ALL INTERESTED PARTIES MAY APPEAR AT THE PUBLIC HEARING(S) AND BE HEARD WITH RESPECT TO THE APPLICATION. COPIES OF THE APPLICATION, STAFF REPORT, AND RELATED MATERIALS ARE AVAILABLE FOR PUBLIC INSPECTION AT THE PLANNING & COMMUNITY DEVELOPMENT, 15100 NW 142ND TERRACE, ALACHUA, FLORIDA, ON ANY REGULAR BUSINESS DAY DURING NORMAL BUSINESS HOURS. WRITTEN COMMENTS MAY BE SENT TO: CITY OF ALACHUA, PLANNING & COMMUNITY DEVELOPMENT, P.O. BOX 9, ALACHUA FL 32616. NOTICE IS GIVEN PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, THAT, IN ORDER TO APPEAL ANY DECISION MADE AT THE PUBLIC HEARING(S), YOU WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT, FOR SUCH PURPOSE, YOU MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS BASED. IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT, ANY PERSONS WITH A DISABILITY REQUIRING REASONABLE ACCOMMODATION IN ORDER TO PARTICIPATE IN THIS MEETING SHOULD CALL THE CITY CLERK AT (386) 418-6100 x 1501 AT LEAST 48 HOURS PRIOR TO THE PUBLIC HEARING(S).

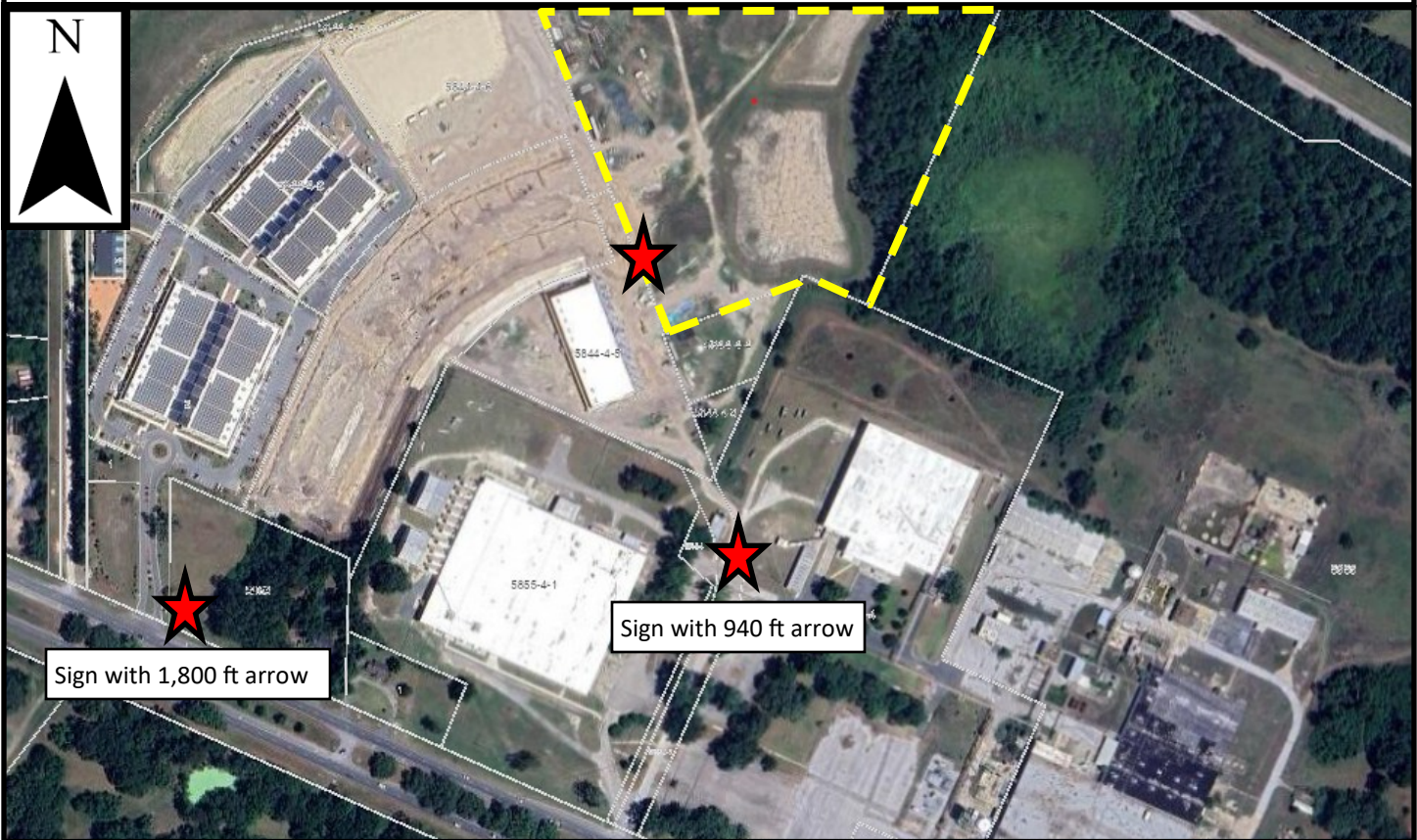
IMPORTANT INFORMATION REGARDING POSTED NOTICE SIGNS

Pursuant to Section 2.2.9(D) of the City's Land Development Regulations, posted notice signs must be placed on the land that is the subject of the application, along each street which is adjacent to or runs through the land in a manner that makes them clearly visible. Signs shall be posted at intervals of not more than 400 feet when the land subject to the application has less than 1,500 feet of road frontage. When the land subject to the application has 1,500 feet or more of road frontage, signs shall be posted at intervals of not more than 1,320 feet.

Signs shall be inspected by the City subsequent to their posting. The applicant shall be responsible for ensuring that the posted notice is maintained on the land subject to the application until the completion of the final public hearing on the application.

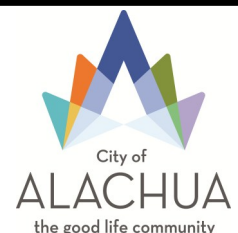
Signs must be removed by the applicant and returned to the City within ten days after the final decision on the application.

San Felasco Tech City Phase 5 Site Plan



Prepared by the City of Alachua
Planning & Community Development
Department
Prepared October 2025

DISCLAIMER: Data is provided "as is" without warranty of any representation of accuracy, timeliness, or completeness. The burden of determining accuracy, timeliness, or completeness for use rests solely on the requestor. The City makes no warranties, expressed or implied, as to the use of the data. The requestor acknowledges and accepts the limitations of the data, including the fact that the data is dynamic and in a constant state of maintenance, correction, and update.



BT

RODOLFO VALLADARES
CITY MANAGER

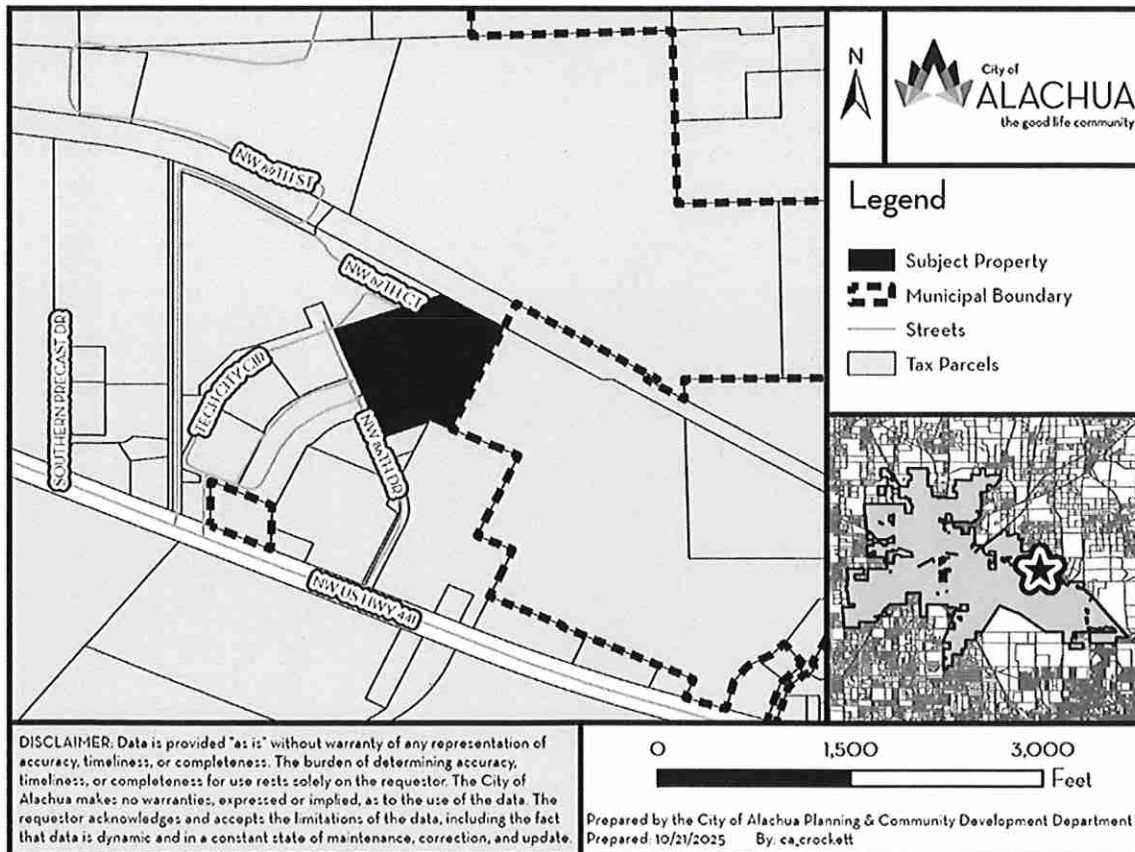
PLANNING & COMMUNITY DEVELOPMENT
BRYAN S. THOMAS, AICP

NOTICE OF PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD OF THE CITY OF ALACHUA, FLORIDA

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Application #: PSP25-0010 - San Felasco Tech City Phase 5 Site Plan

A request by eda consultants, inc. (applicant/agent) on behalf of The Laser Investment Group, LLC (property owner) for a site plan which proposes the construction of a community amenity center including a ± 3,000 square foot clubhouse/gym, pool, playground, sports courts, and urban agriculture facilities with associated site improvements on a ± 1.5-acre subject property generally located north of US Highway 441 at the intersection of Tech City Circle and NW 86th Dr.; tax parcel: 05844-004-001; FLU: Corporate Park; Zoning: Corporate Park (CP).



05855-004-000
IIP-FL 3 LLC
11440 W BERNARDO CT STE 100
SAN DIEGO, CA 92127

05961-002-000
MDV LINPRE 8 LLC
120 NEWPORT CENTER DR
NEWPORT BEACH, CA 92660

05855-000-000
LITHIUM NICKEL ASSET HOLDING
12705 NW US HIGHWAY 441
ALACHUA, FL 32615

MAILED

NOV 03 2025

05961-002-004
DESIGN CABINETS & FURNITURE
13313 SOUTHERN PRECAST DR
ALACHUA, FL 32615-8548

05844-004-002
THE LASER INVESTMENT GROUP LLC
13900 TECH CITY CIR STE 100
ALACHUA, FL 32615

05857-001-001
LOWE MICHAEL S TRUSTEE
13929 NW 89TH ST
ALACHUA, FL 32615

05857-002-001
F&R HOLDINGS OF GAINESVILLE
LLC & LOWE TRUSTEE
220 NW 122ND ST
GAINESVILLE, FL 32607-1107

92060-503-901
CSX TRANSPORTATION INC
500 WATER ST TAX DEPARTMENT J-910
JACKSONVILLE, FL 32202-4422

05961-002-006
DESIGN CABINETS & FURNITURE
59 IROQUOIS AVE
ST AUGUSTINE, FL 32084

05857-001-000
C/O M FAISAL M.D.
F&R HOLDINGS OF GAINESVILLE
PO BOX 3009
LAKE CITY, FL 32056

05855-004-003
CITY OF ALACHUA
PO BOX 9
ALACHUA, FL 32616-0009

▲
sed F



Michele L. Lieberman
12 SE 1st Street
Gainesville, FL 32601

Antoinette Endelicato
5562 NW 93rd Avenue
Gainesville, FL 32653

Adam Hall, AICP
PO Box 115050
Gainesville, FL 32611

Tamara Robbins
PO Box 2317
Alachua, FL 32616

Lynda Coon
7216 NW 126 Avenue
Alachua, FL 32615

Joseph & Phyllis Strickland
14103 NW 156th Place
Alachua, FL 32615

Jean Calderwood
14095 NW 174th Ave
Alachua, FL 32615

Lynn Horton
19005 NW 138th Avenue
Alachua, FL 32615

Stephen Hofstetter
14 NE 1st Street
Gainesville, FL 32601

Soorya Lindberg
16630 NW 173rd Terrace
Alachua, FL 32615

Constance Meyer
4720 NW 104th Lane
Gainesville, FL 32653



Bryan S. Thomas, AICP
Director of Planning & Community Development
Planning and Community Development Department

As Director Bryan oversees the operations of the Planning & Community Development and Code Enforcement Departments for the City of Alachua. Bryan strives to help the city attain its vision of providing a vibrant, growing and diverse community through the implementation of smart growth planning principals. Bryan worked in the private sector in economic development and real estate, and earned a master's degree in Urban & Regional Planning from Florida State University and a bachelor of arts degree from the University of Florida.

EDUCATION

University of Florida

Bachelor of Arts in Liberal Arts & Sciences,
Major in Economics, Minor in Philosophy
Graduated: 1989

Gainesville High School

High School Diploma
Graduated: 1981

Florida State University

Master of Urban and Regional Planning
Graduated: 1992

WORK EXPERIENCE

City of Alachua, FL | Director of Planning & Community Development | June 2025 to present

City of Lake City, FL | Principal Planner | Sept. 2024-June 2025

City of Newberry, FL, | Director of Planning & Economic Development | Jan. 2014-June 2025

North Central Florida Regional Planning Council, Gainesville, FL | Economic Development
Director | 2008-Dec. 2013

City of Jacksonville, FL, | Associate Planner | July 1992-1995

Apalachee Regional Planning Council, Tallahassee FL | Associate Planner | 1991-1993

PROFESSIONAL ORGANIZATIONS

American Planning Association | San Felasco Section, Florida Chapter
Fl. Redevelopment Association

CERTIFICATES AND OTHER SKILLS

American Institute of Certified Planners |

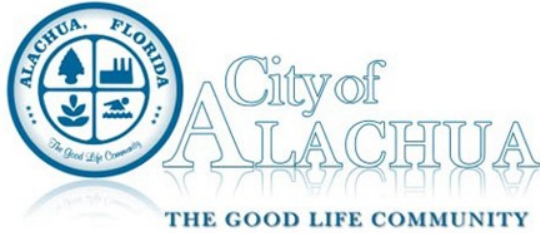
Jun 2025-Present

Fla. Society of Certified Public Managers |

Certified July 2023

Fla. Redevelopment Association |

Redevelopment Administrator (application
pending)



Board Agenda Item

MEETING DATE: November 18, 2025

SUBJECT: PPP25-0002 | Amendment to Fletcher Trace Major Subdivision Preliminary Plat - A request by NV5, Inc. (agent) on behalf of Fletcher Development, LLC (property owner) for an amendment to the Fletcher Trace Major Subdivision Preliminary Plat proposing rephasing and reducing the total number of single-family attached lots from 128 to 28 and increasing the total number of single-family detached lots from 344 to 410, for a net decrease of 34 lots on a ± 118.20-acre subject property generally located southeast of County Road 235 and north of NW 110th Avenue (tax parcel 03980-002-001); FLU: Moderate Density Residential; Zoning: Planned Development – Residential (PD-R)(Quasi-Judicial Hearing).

PREPARED BY: Carson Crockett

RECOMMENDED ACTION:

Staff recommends that the Planning & Zoning Board find the application for Fletcher Development, LLC to be consistent with the City of Alachua Comprehensive Plan and in compliance with the Land Development Regulations and transmit the application to the City Commission with a recommendation to approve, subject to the two conditions found in Exhibit "A" and located on page 22 of the staff report.

Recommended Motion: I move, based upon the competent substantial evidence, the presentation before this Board, and Staff's recommendation, that this Board find the application for Fletcher Development, LLC to be consistent with the City of Alachua Comprehensive Plan and in compliance with the Land Development Regulations and transmit the application to the City Commission with a recommendation to approve, subject to the two conditions found in Exhibit "A" and located on page 22 of the staff report.

Summary

This application is a request by NV5, Inc. on behalf of Fletcher Development, LLC for an amendment to the Fletcher Trace Major Subdivision Preliminary Plat, originally approved by the City Commission on September 26, 2022. The amendment proposes rephasing the project, reducing the total number of single-family attached lots from 128 to 28, and increasing the total number of single-family detached lots from 344 to 410. This proposed amendment would result in a net decrease of 34 lots. The ± 118.20-acre subject property is generally located southeast of County Road 235 and north of NW 110th Avenue (tax parcel 03980-002-001).

The amendment does not significantly alter the traffic circulation pattern nor stormwater management facilities as previously approved. In total, a net decrease in most impacts to public facilities is expected compared to the previously approved preliminary plat. A public facilities impact analysis has been included in the staff report.

FINANCIAL IMPACT

N/A

ADDITIONAL FINANCIAL INFORMATION

N/A

ATTACHMENTS

- 1. Staff Report & Supporting Materials
- 2. Application Materials
- 3. Amended Preliminary Plat
- 4. Boundary & Topographic Survey
- 5. Public Notice Materials
- 6. Carson J. Crockett, AICP - Resume on File



City of Alachua

Planning & Community Development Department

Staff Report

Planning & Zoning Board Hearing Date:
Quasi-Judicial Hearing

November 18, 2025
Application #: PPP25-0002

SUBJECT: A request to amend the Fletcher Trace Major Subdivision Preliminary Plat, including rephasing and reducing the total number of single-family attached lots from 128 to 28 and increasing the total number of single-family detached lots from 344 to 410, for a net decrease of 34 lots.

APPLICANT/AGENT: NV5, Inc.

PROPERTY OWNER: Fletcher Development, LLC

LOCATION: Generally located southeast of County Road 235 and north of NW 110th Avenue.

PARCEL ID NUMBER: 03980-002-001

FLUM DESIGNATION: Moderate Density Residential

ZONING: Planned Development - Residential (PD-R)

OVERLAY: N/A

ACREAGE: ± 118.20

PROJECT PLANNER: Carson J. Crockett, AICP

RECOMMENDATION: Staff recommends that the Planning & Zoning Board find the application for Fletcher Development, LLC to be consistent with the City of Alachua Comprehensive Plan and in compliance with the Land Development Regulations and transmit the application to the City Commission with a recommendation to approve, subject to the two conditions found in Exhibit "A" and located on page 22 of the staff report.

RECOMMENDED MOTION: *I move, based upon the competent substantial evidence, the presentation before this Board, and Staff's recommendation, that this Board find the application for Fletcher Development, LLC to be consistent with the City of Alachua Comprehensive Plan and in compliance with the Land Development Regulations and transmit the application to the City Commission with a recommendation to approve, subject to the two conditions found in Exhibit "A" and located on page 22 of the staff report.*

SUMMARY

This application is a request by NV5, Inc. on behalf of Fletcher Development, LLC for an amendment to the Fletcher Trace Major Subdivision Preliminary Plat, originally approved by the City Commission on September 26, 2022. The amendment proposes rephasing the project, reducing the total number of single-family attached lots from 128 to 28, and increasing the total number of single-family detached lots from 344 to 410. This proposed amendment would result in a net decrease of 34 lots. The ± 118.20-acre subject property is generally located southeast of County Road 235 and north of NW 110th Avenue (tax parcel 03980-002-001).

The amendment does not significantly alter the traffic circulation pattern nor stormwater management facilities as previously approved. In total, a net decrease in most impacts to public facilities is expected compared to the previously approved preliminary plat. A public facilities impact analysis has been included in this report.

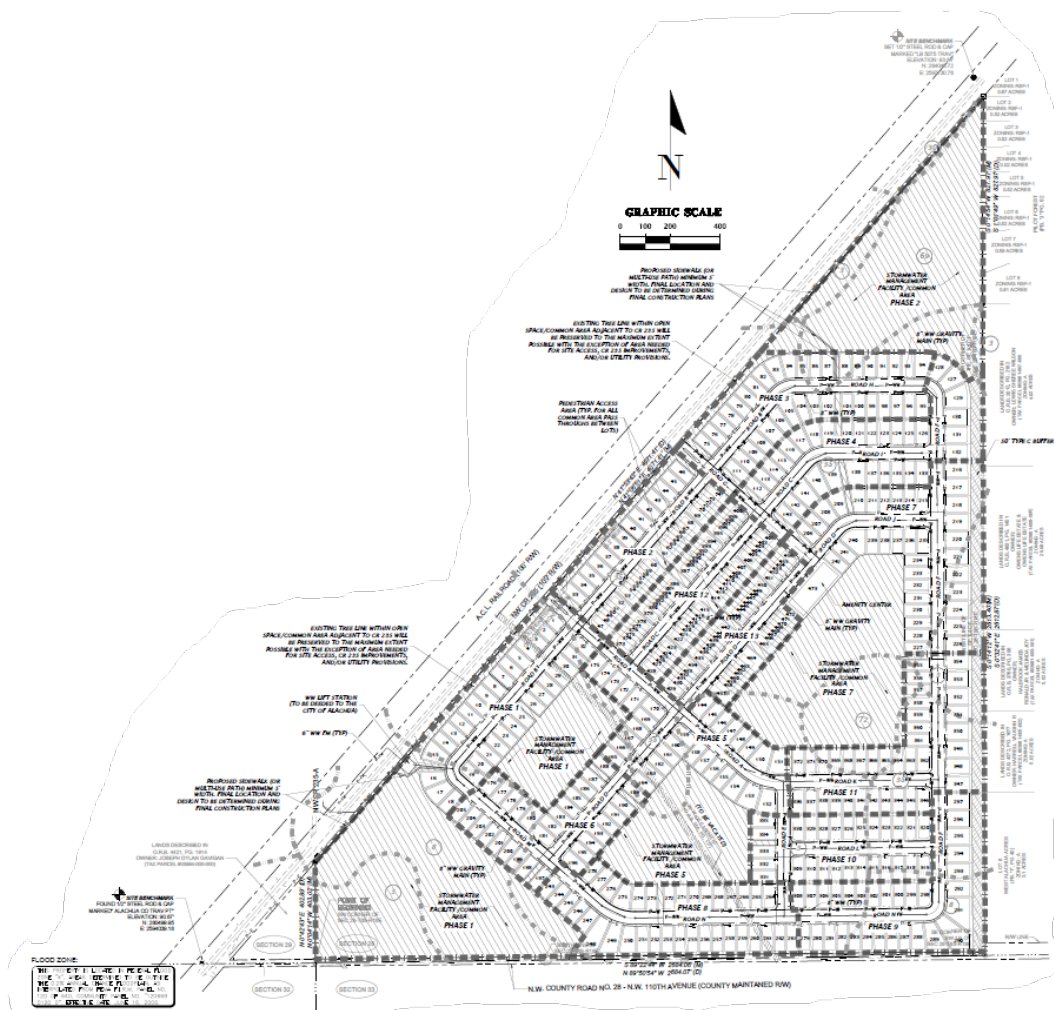


Figure 1. Existing Preliminary Plat Approved on September 26, 2022



Figure 2. Proposed Amended Preliminary Plat

EXISTING USES

The subject property primarily consisted of undeveloped lands and some naturally wooded areas when the preliminary plat was originally approved. The property is now in the process of developing as Phase 1, Phase 2, and Phase 3 of the Fletcher Trace Major Subdivision have received final plat approval and are actively under construction. This proposed amendment would not impact Phase 1, Phase 2, or Phase 3 as currently approved.

SURROUNDING USES

The existing uses, Future Land Use Map (FLUM) designations, and zoning districts of the surrounding area are identified in Table 1. Figure 3 provides an overview of the vicinity of the subject property. (NOTE: The information below is intended to provide a general overview of the area surrounding the subject property and to generally orient the reader. The information below is not intended to be all-inclusive, and may not identify all existing uses, FLUM designations, and/or zoning districts surrounding the subject property.)

Table 1. Surrounding Land Uses

Direction	Existing Use(s)	FLUM Designation(s)	Zoning District(s)
North	Warehouse & Light Industrial	Industrial	Industrial General (IG)
South	Single-Family Residential	Moderate Density Residential & Rural/Agriculture (County)	Residential Single-Family - 1 (RSF-1) & Agricultural (County)
East	Single-Family Residential	Rural/Agriculture (County)	Agricultural (County)
West	Warehouse & Light Industrial	Industrial	Industrial General (IG)

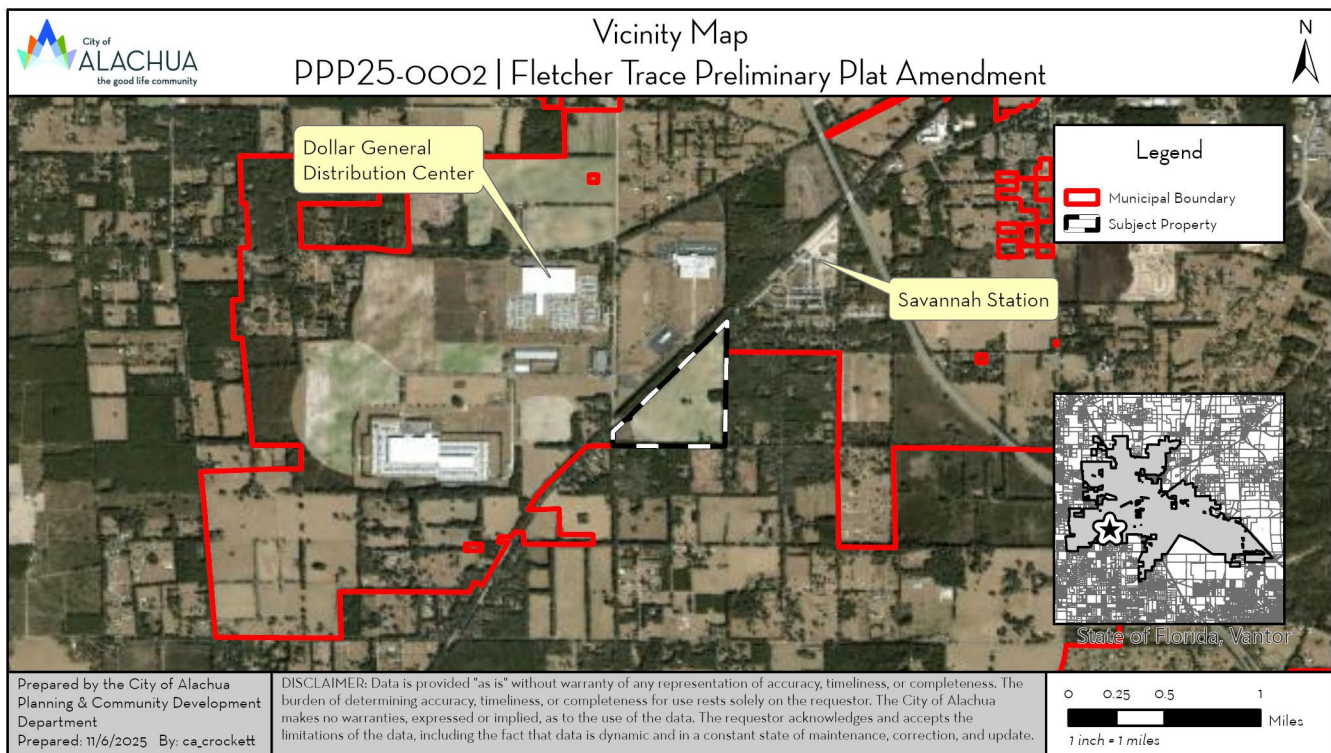


Figure 3. Vicinity Map

NEIGHBORHOOD MEETING

The purpose of a neighborhood meeting is to educate the owners of nearby land and any other interested members of the public about the project and to receive comments regarding the project. Neighborhood meetings are required for preliminary plat applications, including major amendments thereto.

A neighborhood meeting was held on September 4, 2025 at 11801 Research Drive (NV5 Offices). As required by Section 2.4.4 of the City's Land Development Regulations, all property owners within 400 feet of the subject property were notified and notice of the meeting was published in a newspaper of general circulation. The applicant was available to answer questions. Materials submitted by the applicant indicate that the meeting was attended by no members of the public.

COMPREHENSIVE PLAN CONSISTENCY ANALYSIS

The goals, objectives, and policies (GOPs) identified below are provided to establish a basis of the application's consistency with the Comprehensive Plan. There may be additional GOPs which the application is consistent with that are not identified within this report. An evaluation and findings of consistency with the identified GOPs is also provided below.

The existing approved preliminary plat was found to be consistent with the City of Alachua Comprehensive Plan. This consistency analysis only evaluates the proposed amendments to the existing approved preliminary plat.

Future Land Use Element

Goal 1: *Future Land Use Map 2035*

The City shall maintain a Future Land Use Map in order to effectively guide development in a sustainable manner and to ensure economic prosperity and stability while maintaining a high quality of life for all of its present and future citizens, businesses, and visitors.

Policy 1.2.b: *Moderate Density Residential*(0 to 4 dwelling units per acre): The Moderate Density Residential land use category allows residential development at a maximum density of 4 dwelling units per acre. The following uses are allowed in the Moderate Density Residential land use category:

1. Single family detached dwelling units;
2. Accessory dwelling units;
3. Manufactured or modular homes meeting certain design criteria;
4. Mobile homes only within mobile home parks;
5. Duplexes and quadplexes;
6. Townhomes;
7. Residential Planned Developments; and,
8. Supporting community services such as schools, houses of worship, parks, and community centers.

Evaluation & Findings: The subject property's future land use is designated as Moderate Density Residential. The proposed amendment includes reducing the number of single-family attached homes and increasing the number of single-family detached homes. Both of which are allowed uses as part of the residential planned development. The proposed amendment would result in a density of ± 3.71 units per acre, which is within the allowable density of the Moderate Density Residential land use category.

Policy 2.1.a: *Residential Planned Developments (PD)*: The City shall establish flexible development and use regulations for residential PDs for use within residential land use categories. Those regulations shall be developed to achieve the following:

1. Residential development through a mixture of housing types, prices and densities. The allowed uses within a residential PD are not subject to the permitted uses in the underlying land use category, but shall be subject to the permitted uses as set forth in the Land Development Regulations or Ordinance adopting the PD. Single-family homes, zero lot line homes, and townhomes are examples of the allowable housing types within residential PDs.
2. The opportunity to improve quality of life by placing activities necessary for daily living in close proximity to residences through the allowance of a limited amount of neighborhood commercial uses, and with special design criteria, community commercial uses, within the residential PD at appropriate densities and intensities.
3. A range of parks and open space, from playground to community gardens to active recreation facilities within the neighborhood.
4. Streets and public spaces that are safe, comfortable, and designed to respect pedestrians, non-vehicular and vehicular modes of transportation.
5. Conservation of materials, financial resources and energy through efficient design of infrastructure.

Evaluation & Findings: The proposed amendment is in compliance with the PD ordinance and PD master plan. No changes to vehicular, non-vehicular, or pedestrian configuration are proposed.

Objective 5.1: *Natural features*

The City shall coordinate Future Land Use designations with appropriate topography, soils, areas of seasonal flooding, wetlands and habitat during review of proposed amendments to the Future Land Use Map and the development review process. Natural features may be included as amenities within a development project.

Policy 5.1.a: *Topography:* The City shall protect the natural topography of the City, including steep and seepage slopes, by requiring new development to include techniques to minimize negative impacts on the natural terrain. An emphasis will be placed on retaining the natural function of seepage slopes during development. Additionally, retention of existing native vegetation will be encouraged as one method of protecting slopes.

Policy 5.1.b: *Soils:* The City shall ensure soil protection and intervention measures are included in the development review process.

- Policy 5.1.c: *Flood prone areas:* The City shall require as part of the development review process the identification of FEMA flood zone areas. Where necessary, base flood elevations and minimum finished floor elevations shall be established. The City shall also require finished floor elevations on subdivision plats, site plans and building permit plans when necessary to determine compliance with flood prone area regulations. The City shall establish standards for a limitation on filling in flood prone areas.
- Policy 5.1.d: *Wetlands:* The City shall utilize statewide wetland delineation methodology in accordance with Florida Administrative Code (FAC) and regulations adopted by the FDEP and the Suwannee River Water Management District.
- Policy 5.1.e: *Habitat:* The City shall require as part of the development review process, an inventory of listed species for all new developments in areas identified as known habitat for listed species if listed species are known to exist in close proximity to the development. The survey shall include detailed information regarding type, quantity, location, and habitat requirements for any listed species identified. A de minimus threshold for properties required to complete the inventory shall be established in the City's Land Development Regulations.

Evaluation & Findings: The proposed amendment would not alter the configuration of the approved preliminary plat or how the preliminary plat interacts with the natural conditions of the site. A full environmental conditions analysis has been included in this report.

Objective 5.2: *Availability of facilities and services*

All new development shall be planned and constructed concurrently with the availability of facilities and services necessary for the development.

Evaluation & Findings: The proposed amendment would result in a net decrease of most public facility impacts when compared to the existing preliminary plat. All lots in the preliminary plat will still connect to City water and wastewater utilities as required by this Comprehensive Plan. A full public facilities impact analysis has been included in this report.

Transportation Element

Objective 1.1: *Level of Service*

The City shall establish a safe, convenient, and efficient level of service standard for all motorized and non-motorized transportation systems.

Evaluation & Findings: The proposed amendment would result in a net increase of transportation impacts when compared to the existing preliminary plats; however, the level of service is not expected to be adversely impacted on any roadway segment. A full public facilities impact analysis has been included in this report.

Housing Element

Policy 1.1.a: The City shall encourage development of a variety of housing types including conventional single family homes, accessory dwelling units, multi-family units, group homes, assisted living facilities, foster care facilities, mobile homes, and manufactured housing, and shall ensure that appropriate land use designations and zoning districts exist to accommodate each type.

Evaluation & Findings: The proposed amendment to the preliminary plat increases the number of single-family detached lots, but decreases the number of single-family attached lots; however, a functional mix of housing types is still present in the overall development and all lots are still designated as single-family of some type.

Community Facilities Element

Policy 1.2.a: The City shall establish a Community Wastewater Service Area, which includes all areas where wastewater service is available. Wastewater service shall be deemed available if:

1. A gravity water main exists within 100 feet of the property line of any lot with a residential land use category or an existing single family residence and wastewater service is accessible through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.
2. Gravity wastewater main exists with 500 feet of the property line of any proposed residential subdivision consisting of 5 units or less and the gravity wastewater system is accessible through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.
3. A gravity wastewater main, wastewater pumping station, or force main exists within 2,640 feet of the property line of any proposed residential subdivision comprised of more than 5 units, or any multi-family residential development, or any commercial development, or any industrial development and the gravity wastewater system, wastewater pumping station, or force main is accessible through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.

Evaluation & Findings: The proposed amendment would result in a net decrease of most public facility impacts when compared to the existing preliminary plat. All lots in the preliminary plat will still connect to City water and wastewater utilities as required by this Comprehensive Plan. A full public facilities impact analysis has been included in this report.

Policy 4.1.b: The City shall establish a Community Potable Water Service Area, which includes all areas where potable water service is available. Water service shall be deemed available if:

1. A water main exists within 100 feet of any lot within a residential land use category or an existing single family residence water service is accessible through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.
2. A water main exists within 500 feet of any proposed residential subdivision consisting of 5 units or less and water service is accessible through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.
3. A water main exists within 2,640 feet of any residential subdivision with more than 5 units, or any multi-family residential development, or any commercial development, or any industrial development and water service is accessible through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.

Evaluation & Findings: The proposed amendment would result in a net decrease of most public facility impacts when compared to the existing preliminary plat. All lots in the preliminary plat will still connect to City water and wastewater utilities as required by this Comprehensive Plan. A full public facilities impact analysis has been included in this report.

Conservation and Open Space Element

Objective 1.3: *Listed Species*

The City shall protect species listed by State and Federal agencies as endangered, threatened or of special concern, and their habitats.

Evaluation & Findings: A condition of approval of the existing preliminary plat requires a 100% gopher tortoise survey be conducted of the site as construction of phases progress. The original condition will not be altered as part of the proposed amendment. A full environmental conditions analysis has been included in this report.

Objective 1.10: *Wetlands*

The City shall protect and preserve wetland values and functions from adverse, human caused, physical and hydrologic disturbances.

Evaluation & Findings: There are no known wetlands on the subject property. If wetlands are discovered, applicable goals, objectives, and policies of the City of Alachua Comprehensive Plan as well as applicable requirements of Alachua County will have to be conformed to. A full environmental conditions analysis has been included in this report.

ENVIRONMENTAL CONDITIONS ANALYSIS

Wetlands

Wetlands are areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal conditions do support, a prevalence of vegetation typically adapted for life in saturated soil conditions. Wetlands generally include swamps, marshes, bogs, and similar areas.

Evaluation & Findings: There are no identifiable wetlands on the subject property; therefore, there are no issues related to wetland protection. If wetlands are discovered, applicable goals, objectives, and policies of the City of Alachua Comprehensive Plan as well as applicable requirements of Alachua County will have to be conformed to.

Strategic Ecosystems

Strategic ecosystems were identified by an ecological inventory project in a report prepared for Alachua County Department of Growth Management in 1987 and updated in 1996. The purpose of the inventory was to identify, inventory, map, describe, and evaluate the most significant natural biological communities in private ownership in Alachua County.

Evaluation & Findings: The subject property is not located within or adjacent to a strategic ecosystem; therefore, there are no issues related to strategic ecosystems.

Regulated Plant & Animal Species

The Florida Natural Areas Inventory (FNAI) has identified areas throughout the State of Florida which may contain good quality natural communities. This data layer is known as the Potential Natural Areas (PNA) data layer, and identifies privately owned lands that are not managed or listed for conservation purposes. These areas were delineated by FNAI scientific staff through interpretation of natural vegetation from 1988-1993 FDOT aerial photographs and from input received during Regional Ecological Workshops held for each regional planning council. These workshops were attended by experts familiar with natural areas in the region.

Potential Natural Areas were assigned ranks of Priority 1 through Priority 5 based on size, perceived quality, and type of natural community present. The areas included in Priority 5 are exceptions to the above criteria. These areas were identified through the same process of aerial photographic interpretation and regional workshops as the PNA 1 through 4 ranked sites, but do not meet the standard criteria.

Evaluation & Findings: One listed species, the gopher tortoise, was identified on the site during the development review process for the existing approved preliminary plat. A condition of approval was included as part of the existing approved preliminary plat that a 100% gopher tortoise survey will be required for each final plat and evidence of coordination with the Florida Fish and Wildlife Conservation Commission must be provided. This condition will remain in effect and will not be altered by the proposed amendment.

Soil Survey

The hydrologic soil group is an indicator of potential soil limitations. The hydrologic soil group, as defined for each specific soil, refers to a group of soils which have been categorized according to their runoff-producing characteristics. These hydrologic groups are defined by the Soil Survey of Alachua County, Florida, dated August 1985. The chief consideration with respect to runoff potential is the capacity of each soil to permit infiltration (the slope and kind of plant cover are not considered, but are separate factors in predicting runoff.) There are four hydrologic groups: A, B, C, and D. “Group A” soils have a higher infiltration rate when thoroughly wet and therefore have a lower runoff potential. “Group D” soils have a lower infiltration rate and therefore a higher runoff potential.

There are six soil types found within the subject property, shown in Table 2.

Table 2. Soil Types

Soil Type	Hydrologic Group	Drainage Class	Limitations		% of Subject Property (may not total to 100% due to rounding)
			Dwellings Without Basements	Small Commercial Buildings	
Gainesville Sand; 0 - 5% Slopes	A	Well Drained	Slight	Slight	46.5%
Arredondo Fine Sand; 0 - 5% Slopes	A	Well Drained	Slight	Slight	32.8%
Millhopper Sand; 0 - 5% Slopes	A	Well Drained	Slight	Slight	10.8%
Arredondo Fine Sand; 5 - 8% Slopes	A	Well Drained	Slight	Moderate (Slope)	6.8%
Lochloosa Fine Sand; 5 - 8% Slopes	B	Somewhat Poorly Drained	Slight	Slight	3.0%
Kendrick Sand; 2 - 5% Slopes	A	Well Drained	Slight	Slight	0.2%

Evaluation & Findings: The soil types present on the site do not present any significant limitations for the type of development proposed by the proposed amendment; therefore, there are no issues related to soils.

Flood Potential

Panel 12001CO120D of the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Series, dated June 16, 2006 indicates that the development area is in Flood Zone X (areas determined to be outside of the 500-year floodplain).

Evaluation & Findings: No portion of the site appears to be located within a regulatory floodplain; therefore, there are no issues related to flood potential.

Karst-Sensitive Features

Karst sensitive areas include geologic features, such as fissures, sinkholes, underground streams, and caverns, and are generally the result of irregular limestone formations.

Evaluation & Findings: Additional geotechnical analysis was provided by the applicant in accordance with the conditions of the approved PD ordinance as part of the development review process for the existing approved preliminary plat. A condition of approval was included with the existing approved preliminary plat that will require additional analysis of stormwater in this area as stormwater facilities are proposed to be constructed. This condition will remain in effect and will not be altered by the proposed amendment. Additionally, no alterations to stormwater management facility locations or site configuration are proposed as part of this application.

Wellfield Protection Zones

Policy 7.2.1 of the Future Land Use Element of the City's Comprehensive Plan establishes a 500-foot radius area around each city-owned potable water well.

Evaluation & Findings: The subject property is not located within a wellfield protection zone; therefore, there are no issues related to wellfield protection zones.

Historic Structures/Markers and Historic Features

The State of Florida and the Alachua County Historic Resources Inventory identify historic structures in addition to the City's Historic Overlay District, as established by Section 3.7 of the City's Land Development Regulations.

Evaluation & Findings: The subject property does not contain any historic structures or markers as determined by the State of Florida and the Alachua County Historic Resources Inventory; therefore, there are no issues related to historic structures or markers.

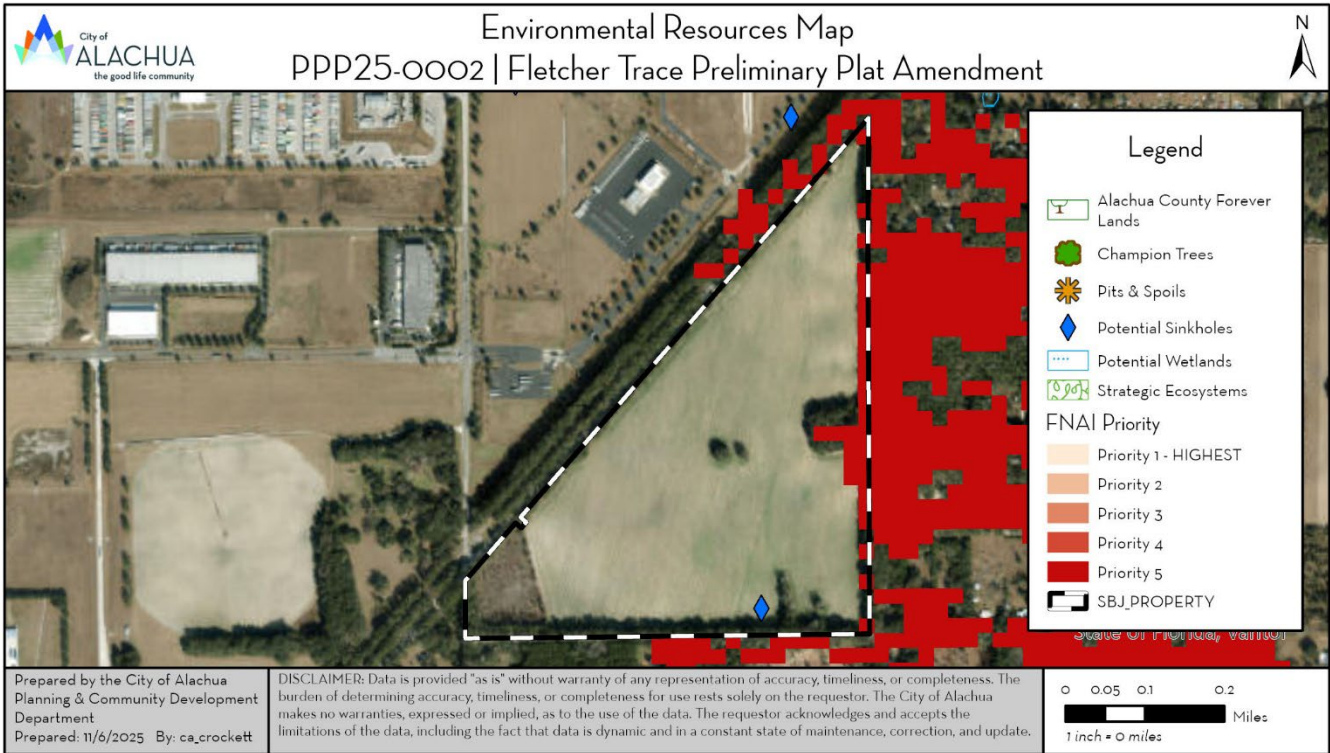


Figure 4. Environmental Resources Map

FINDINGS OF FACT: COMPLIANCE WITH LAND DEVELOPMENT REGULATIONS

Preliminary Plat Standards

Section 2.4.10(G)(3)(e) of the City's Land Development Regulations (LDRs) establishes the standards with which all preliminary plat applications, including amendments, must be found compliant. The application has been reviewed for compliance with the standards of Section 2.4.20(G)(3)(e). An evaluation of the findings of the applicant's compliance with the standards is provided below.

- (e) **Preliminary plat standards.** A preliminary plat shall be approved upon a finding the application complies with the standards in Article 7, Subdivision Standards, all other relevant provisions of these LDRs, and all other relevant City ordinances and regulations.

Evaluation & Findings: The proposed amendment has been reviewed against, and found to comply, with all applicable standards in Article 7, Subdivision Standards. The proposed amendment was also reviewed against, and found to comply with, PD Ordinance 22-10, including standards for density, intensity, lot size, pedestrian network, and utilities. A Comprehensive Plan Consistency Analysis has been included within this report. Staff has found the application to be consistent with the City of Alachua Comprehensive Plan.

PUBLIC FACILITIES IMPACT ANALYSIS

Section 2.4.14 of the City’s Land Development Regulations (LDRs) establishes the standards for a Certificate of Concurrency Compliance which applies to all development orders unless exempted by Section 2.4.14(C). The application has been reviewed for impacts to roads, sanitary sewer, solid waste, stormwater management, potable water, and recreation facilities to ensure the application’s potential impacts do not negatively impact the level of service (LOS) for those public facilities.

This analysis shows the net change of the existing capacity reservations held by the Fletcher Trace Major Subdivision Preliminary Plat and the proposed amendment thereto. A final PD plan is a final development order, and as such, concurrency will be reserved.

Traffic Impact

The following impacts are expected on the roadway segments identified in Table 3-1.

Table 3-1. Affected Comprehensive Plan Roadway Segments¹

Segment Number ²	Segment Description	Lanes	Functional Classification	Area Type	LOS
11	CR 235 from NW 143 rd Place to South City Limit	2/U	Major Collector	Comm	D
17	CR 235A from US 441 to CR 235	2/U	Major Collector	Comm	D

¹ City of Alachua Comprehensive Plan, Transportation Element.
² For developments generating less than 1,000 trips, affected roadway segments are identified as all those wholly or partially located within 1/2 mile of the development’s ingress/egress, or to the nearest intersecting major street, whichever is greater [Section 2.4.14(H)(2)(a)of the LDRs].

Table 3-1. Projected Impact on Affected Comprehensive Plan Roadway Segment

Traffic System Category	Segment 11 CR 235		Segment 17 CR 235A	
	AADT	Peak Hour	AADT	Peak Hour
Maximum Service Volume ¹	15,120	1,359	15,120	1,359
Existing Traffic ²	8,307	622	6,048	536
Reserved Trips (Less Phase 1-3) ³	0	0	3,880	396
Available Capacity (Less Phase 1-3) ³	6,813	737	5,192	427
Original Final PD Plan Reservation ⁴	4,493	481	2,247	241
Net Change by Amendment ⁵	(-57)	12	(-29)	6
Total Increase/Decrease in Trips Generated by Amended Development ⁶	4,436	493	2,218	247
Residual Capacity	2,377	244	2,974	180
Residual Percentage of Permitted Design Capacity Utilized	84.28%	82.05%	80.33%	13.25%

¹ AADT & Peak Hour MSVs calculated using LOSPLAN 2012. County Facilities reflect a 10 percent reduction in the MSV calculated within LOSPLAN 2012 as set forth in the Generalized Tables for AADT / Peak Hour Volumes, FDOT 2018 Q/LOS Handbook.
² Florida Department of Transportation. (2025). *2024 Count Data*. Accessed via Florida Traffic Online April 2025.
³ Source: City of Alachua October 2025 Development Monitoring Report. Final plat reservations for phase 1-3 were subtracted to ensure no double counting of data as the original final PD plan reservations account for all phases.
⁴ Retrieved from 9/13/2022 staff report.
⁵ Trip Generation Formula: ITE Trip Generation 11th edition; Trip Distribution: Segment 11 - 100%; Segment 17 - 50%.
⁶ Formula: Original Final PD Plan Reservation + Net Change by Amendment

Evaluation & Findings: The net change of expected traffic impacts by the proposed amendment is a negligible increase in PM peak hour trips from the original approval and does not adversely impact the level of service standard. A final PD plan is a final development order, and as such, concurrency will be reserved.

Potable Water Impacts

Table 4. Potable Water Impacts

System Category	Gallons Per Day
Current Permitted Capacity ¹	2,300,000
Less Actual Potable Water Flows ¹	1,565,500
Reserved Capacity (Less Phase 1-3) ²	307,674
Available Capacity (Less Phase 1-3) ²	426,526
Original Final PD Plan Reservation ³	127,440
Net Change by Amendment ³	(-9,350)
Total Increase/Decrease in Potable Water Demand from Amended Application ⁴	118,090
Residual Capacity	308,436
Residual Percentage of Permitted Design Capacity Utilized	86.59%
¹ City of Alachua Public Services Department, April 2025 ² Source: City of Alachua October 2025 Development Monitoring Report. Final plat reservations for phase 1-3 were subtracted to ensure no double counting of data as the original final PD plan reservations account for all phases. ³ Formula: Per City of Alachua Comprehensive Plan, Community Facilities Element Policy 4.1.c(2): 275 GPD / Unit ⁴ Formula: Original Final PD Plan Reservation + Net Change by Amendment	

Evaluation & Findings: The net change of expected potable water impacts by the proposed amendment is a slight decrease in potable water demand from the original approval and does not adversely impact the level of service standard. A final PD plan is a final development order, and as such, concurrency will be reserved.

Sanitary Sewer Impacts

Table 5. Sanitary Sewer Impacts

System Category	Gallons Per Day
Treatment Plant Permitted Capacity ¹	1,500,000
Less Actual Treatment Plant Flows ¹	813,000
Reserved Capacity (Less Phase 1-3) ²	286,635
Available Capacity (Less Phase 1-3) ²	400,365
Original Final PD Plan Reservation ³	118,000
Net Change by Amendment ³	(-8,500)
Total Increase/Decrease in Sanitary Sewer Demand from Amended Application ⁴	109,500
Residual Capacity	290,865
Residual Percentage of Permitted Design Capacity Utilized	80.61%
¹ City of Alachua Public Services Department, April 2025 ² Source: City of Alachua October 2025 Development Monitoring Report. Final plat reservations for phase 1-3 were subtracted to ensure no double counting of data as the original final PD plan reservations account for all phases. ³ Formula: Per City of Alachua Comprehensive Plan, Community Facilities Element Policy 1.1.d(b): 250 GPD / Unit ⁴ Formula: Original Final PD Plan Reservation + Net Change by Amendment	

Evaluation & Findings: The net change of expected sanitary sewer impacts by the proposed amendment is a slight decrease in sanitary sewer demand from the original approval and does not adversely impact the level of service standard. A final PD plan is a final development order, and as such, concurrency will be reserved.

Solid Waste Impacts

Table 6. Solid Waste Impacts

System Category	Pounds Per Day	Tons Per Year
Existing Demand ¹	44,060.00	8,040.95
Reserved Capacity (Less Phase 1-3) ²	25,683.83	4,687.30
Original Final PD Plan Reservation ³	4,909.00	895.90
Net Change by Amendment ³	(-341.37)	(-62.30)
Total Increase/Decrease in Demand Generated by Amended Application ⁴	4,567.63	833.60
New River Solid Waste Facility Anticipated Capacity ⁵	30+ Years	
<p>1 Bureau of Economic & Business Research, University of Florida, Estimates of Population by County and City in Florida (2024); Policy 2.1.a, Community Facilities Element. Formula: 11,296 Persons x 0.73 tons per year.</p> <p>2 Source: City of Alachua October 2025 Development Monitoring Report. Final plat reservations for phase 1-3 were subtracted to ensure no double counting of data as the original final PD plan reservations account for all phases.</p> <p>3 Formula: Per City of Alachua Comprehensive Plan, Community Facilities Element Policy 2.1.a: 0.73 tons / year per capita</p> <p>4 Formula: Original Final PD Plan Reservation + Net Change by Amendment</p> <p>5 New River Solid Waste Association, April 2025</p>		

Evaluation & Findings: The net change of expected solid waste impacts by the proposed amendment is a slight decrease in solid waste demand from the original approval and does not adversely impact the level of service standard. A final PD plan is a final development order, and as such, concurrency will be reserved.

Recreation Facilities

Table 7-1. Recreational Impacts

System Category	Acreage
Existing City of Alachua Recreation Acreage ¹	135.48
Acreage Required to Serve Existing Population ²	56.48
Reserved Capacity (Less Phase 1-3) ¹	10.36
Available Capacity (Less Phase 1-3) ¹	68.64
Original Final PD Plan Reservation ³	6.14
Net Change by Amendment ³	(-0.43)
Total Increase/Decrease in Recreation Acreage Demand by Amended Application ⁴	5.71
Residual Capacity	62.93
Residual Percentage of Recreation Acreage Capacity Utilized	53.55%
<p>1 City of Alachua October 2025 Development Monitoring Report. Final plat reservations for phase 1-3 were subtracted to ensure no double counting of data as the original final PD plan reservations account for all phases.</p> <p>2 Bureau of Economic & Business Research, University of Florida, Estimates of Population by County and City in Florida (2024); Policy 1.2.b, Recreation Element. Formula: 11,296 Persons x (5 acres / 1,000 persons).</p> <p>3 Formula: Per City of Alachua Comprehensive Plan, Recreation Element Policy 1.2.b: 2.37 persons per unit * (5 acres / 1,000 persons)</p> <p>4 Formula: Original Final PD Plan Reservation + Net Change by Amendment</p>	

Table 7-2. Passive Recreational Impacts

System Category	Acreage
Existing Improved Passive Park Space ¹	34.82
Minimum Improved Passive Park Space Required to Serve Existing Population ^{1,2}	11.30
Reserved Capacity (Less Phase 1-3) ^{1,2}	2.07
Available Improved Passive Park Space (Less Phase 1-3) ^{1,2}	21.45
Original Final PD Plan Reservation ³	1.23
Net Change by Amendment ³	-0.09
Total Increase/Decrease in Improved Passive Park Space Demand by Amended Application ⁴	1.14
Residual Capacity	20.31
Residual Percentage of Improved Passive Park Space Capacity Utilized	41.67%
¹ City of Alachua October 2025 Development Monitoring Report. Final plat reservations for phase 1-3 were subtracted to ensure no double counting of data as the original final PD plan reservations account for all phases. ² Formula: Per City of Alachua Comprehensive Plan, Recreation Element Policy 1.2.b: Acreage Required * 0.20 ³ Formula: Per City of Alachua Comprehensive Plan, Recreation Element Policy 1.2.b: 2.37 persons per unit * (5 acres / 1,000 persons) * 0.20 ⁴ Formula: Original Final PD Plan Reservation + Net Change by Amendment	

Evaluation & Findings: The net change of expected recreation impacts by the proposed amendment is a slight decrease in recreation demand from the original approval and does not adversely impact the level of service standard. A final PD plan is a final development order, and as such, concurrency will be reserved.

Public School Facilities

A School Capacity Review was submitted to The School Board of Alachua County (SBAC) in accordance with the City’s Comprehensive Plan, specifically Policies 1.1.b, 1.1.c, 1.1.e, and 1.1.f of the Public School Facilities Element, as part of the original approval of the final PD plan. According to the School Capacity Review report submitted to the City by the School Board of Alachua County on October 2, 2025, capacity is currently available at the elementary, middle, and high school levels to support the proposed development.

**EXHIBIT “A”
TO
PPP25-0002 | AMENDMENT TO FLETCHER TRACE
MAJOR SUBDIVISION PRELIMINARY PLAT
STAFF REPORT**

CONDITIONS

1. The applicant acknowledges and agrees that all conditions of approval associated with the original approval for the Fletcher Trace Major Subdivision Preliminary Plat (#PPP22-0002) approved on September 26, 2022, remain unchanged and in full force and effect and apply to this amended preliminary plat.
2. The applicant acknowledges and agrees that Condition 1 as stated above does not inordinately burden the land and shall be binding upon the property owner, including any subsequent property owners, successors, or assigns, and that the preliminary plat/final PD plan shall comply with Conditions 1-2 as stated herein.

EXHIBIT "B"
TO
PPP25-0002 | AMENDMENT TO FLETCHER TRACE
MAJOR SUBDIVISION PRELIMINARY PLAT
STAFF REPORT

SUPPORTING MATERIALS
SUBMITTED BY CITY STAFF TO THE
PLANNING AND ZONING BOARD

City of Alachua

PUBLIC SCHOOL STUDENT GENERATION CALCULATION FORM

PROJECT #

APPLICATION DATE

NAME & DESCRIPTION OF PROJECT

Fletcher Trace

Multi-phase single and multi-family development

PROJECT ADDRESS (Contact 911 Addressing @ 352.338.7361)

11305 NW 173rd St, Alachua, FL

Tax Parcel Numbers

03980-002-001

Acreage

118.20

DEVELOPMENT DATA (check all that apply)

Single Family

Multi Family

Exempt (See exemptions on page 2)

Number of Units

410

Number of Units

28

Level of Review

Pre-Application Conference

Preliminary

Final

Revised

Staff Administrative Review

A determination that there is adequate school capacity for a specific project will satisfy requirements for review for school concurrency for the periods of time consistent with the Interlocal Agreement and specified in local government land development regulations; an agreement by the School Board with the developer and local government is required to extend the period for approvals for phased projects beyond the generally applicable time period

EXPLANATION OF STUDENT GENERATION CALCULATION

Student Generation is calculated based on the type of residential development and the type of schools. The number of student stations (by school type - Elementary, Middle and High School) used for calculating the school concurrency impacts is equal to the number of dwelling units by housing type multiplied by the student generation multiplier (for housing type & school type) established by the School Board. Calculations are rounded to the nearest whole number. Student Generation for each school type is calculated individually to assess the impact on the **School Concurrency Service Area (SCSA)** for each school type (Elementary, Middle and High School).

SCHOOL CONCURRENCY SERVICE AREAS (SCSA) FOR PROJECT LOCATION

Based on the project location, please identify the corresponding School Concurrency Service Areas for each school type. Maps of the SCSAs may be viewed on the Alachua County Public Schools website.

SCHOOL CONCURRENCY SERVICE AREAS (SCSA)

Elementary

Northwest Alachua

Middle

Mebane

High

Santa Fe

SINGLE FAMILY RESIDENTIAL DEVELOPMENT STUDENT GENERATION CALCULATIONS

ELEMENTARY	<input type="text" value="410"/>	units X 0.12 Elementary School Multiplier	<input type="text" value="50"/>	Student Stations
MIDDLE	<input type="text" value="410"/>	units X 0.06 Middle School Multiplier	<input type="text" value="25"/>	Student Stations
HIGH	<input type="text" value="410"/>	units X 0.09 High School Multiplier	<input type="text" value="37"/>	Student Stations

MULTI FAMILY RESIDENTIAL DEVELOPMENT STUDENT GENERATION CALCULATIONS

ELEMENTARY	<input type="text" value="28"/>	units X 0.06 Elementary School Multiplier	<input type="text" value="2"/>	Student Stations
MIDDLE	<input type="text" value="28"/>	units X 0.03 Middle School Multiplier	<input type="text" value="1"/>	Student Stations
HIGH	<input type="text" value="28"/>	units X 0.03 High School Multiplier	<input type="text" value="1"/>	Student Stations

Source: School Board of Alachua County 2021 Student Generation Multiplier Analysis

EXEMPT DEVELOPMENTS (click all that apply)

- Existing legal lots eligible for a building permit
- Development that includes residential uses that has received final development plan approval prior to the effective date for public school concurrency, or has received development plan approval prior to June 24, 2008, provided the development approval has not expired
- Amendments to final development orders for residential development approved prior to the effective date for public school concurrency, and which do not increase the number of students generated by the development
- Age-restricted developments that prohibit permanent occupancy by persons of school age, provided this condition is satisfied in accordance with the standards of the Public School Facilities Element or the ILA
- Group quarters that do not generate public school students, as described in the ILA

AUTHORIZED AGENT

Name:

Mailing Address:

Phone:

Email:

PROPERTY OWNER

Name:

Mailing Address

Phone:

Email

CERTIFICATION

PROJECT NAME : **PROJECT #:**

This application for a determination of the adequacy of public schools to accommodate the public school students generated by the subject development has been reviewed for compliance with the school concurrency management program and in accordance with the ILA. The following determinations have been made:

Approved based upon the following findings (see 09.14.2022 Capacity Table)

Elementary SCSA Capacity Required

- Capacity Available Available Capacity
- Capacity Available in 5 yrs* Available Capacity
- Capacity Available in Adjacent SCSA Available Capacity

Middle SCSA Capacity Required

- Capacity Available Available Capacity
- Capacity Available in 5 yrs* Available Capacity
- Capacity Available in Adjacent SCSA Available Capacity

High SCSA Capacity Required

- Capacity Available Available Capacity
- Capacity Available in 5 yrs* Available Capacity
- Capacity Available in Adjacent SCSA Available Capacity


Denial for reasons stated

Approved by

City of Alachua Staff

School Board Staff Certification

A complete application for the development project was accepted on


Suzanne M. Wynn
 Director, Facilities Planning and Construction
 Alachua County Public Schools
 352.955.7400 x 1445
 Date:

Date:
 Signed:
 Printed Name:

*163.3180(6)(g), F.S. (2023)



RODOLFO VALLADARES
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR BRYAN S. THOMAS, AICP

October 20, 2025

Submitted electronically to travis.hastay@nv5.com

Travis Hastay, P.E.
NV5, LLC
11801 Research Drive
Alachua, FL 32615

Application #: PPP25-0002

RE: Notice of Hearing to be Scheduled for Amendment to Fletcher Trace Preliminary Plat

Dear Travis Hastay,

On October 9, 2025, the City of Alachua received your revised application materials for a major amendment to an approved preliminary plat for the Fletcher Trace Major Subdivision. The amendment proposes rephasing and reducing the total number of single-family attached lots from 128 to 28 and increasing the total number of single-family detached lots from 344 to 410, for a net decrease of 34 lots on a ± 118.20-acre subject property (tax parcel 03980-002-001). The original preliminary plat was approved by the City Commission on September 26, 2022.

Based on review of the materials submitted, the City has determined that this application can now be scheduled for a hearing before the Planning & Zoning Board. The application has been scheduled for the **November 18, 2025**, Planning & Zoning Board meeting and the **December 8, 2025**, City Commission meeting.

You must provide two *double sided, three-hole punched, color sets* of each **complete** application package, seven full size sets of site plans, and a digital copy of all materials in PDF format on a CD or by emailing a Cloud/FTP link to download the materials to planning@cityofalachua.org *no later than 10 business days prior to the Planning & Zoning Board meeting at which your application is scheduled to be heard*; therefore, the above referenced materials must be submitted to the City no later than **Monday, November 3, 2025**. Materials may be submitted earlier than this date.

Additionally, Section 2.2.9(D) of the Land Development Regulations requires the applicant to place posted notice signs on the subject property at least 14 days prior to the public hearing; therefore, posted notice signs must be placed on the property no later than **Monday, November 3, 2025**. These signs will be ready for pickup after 12:00 PM on Thursday, October 23, 2025. You will be notified again when the signs are available.

If you plan to utilize a PowerPoint presentation or would like other materials to be available for reference during the public hearing, please submit the presentation or materials no later than 12:00 PM on the last business day prior to the Planning & Zoning Board meeting; therefore, the presentation or materials must be submitted no later than 12:00 PM on **Monday, November 17, 2025**. Any presentation or materials may be submitted electronically by emailing them to planning@cityofalachua.org.

If you have any questions regarding the information above, please contact me at (386) 418-6137 or at ccrockett@cityofalachua.org.

Sincerely,



Carson J. Crockett, AICP
Principal Planner

CC: Rodolfo Valladares, Interim City Manager *(by electronic mail)*
Scott Walker, Interim City Attorney *(by electronic mail)*
Kiersten Ballou, Assistant Interim City Attorney *(by electronic mail)*
Jazzlyn Shannon, Legal Assistant *(by electronic mail)*
Bryan Thomas, AICP, Planning & Community Development Director *(by electronic mail)*
Bernadette Fisher, Principal Planner *(by electronic mail)*
Brenda Flieger, Planning Assistant *(by electronic mail)*
Project File

October 2, 2025

Submitted electronically to travis.hastay@nv5.com

Travis Hastay, P.E.
NV5, LLC
11801 Research Drive
Alachua, FL 32615

Application #: PPP25-0002

RE: Project Assistance Team (PAT) Comments for Major Amendment to an Approved Preliminary Plat – Fletcher Trace Major Subdivision

Dear Travis Hastay,

On September 11, 2025, the City of Alachua received your revised application materials for a major amendment to an approved preliminary plat for the Fletcher Trace Major Subdivision. The amendment proposes rephrasing and reducing the total number of single-family attached lots from 128 to 28 and increasing the total number of single-family detached lots from 344 to 410, for a net decrease of 34 lots on a ± 118.20-acre subject property (tax parcel 03980-002-001). The original preliminary plat was approved by the City Commission on September 26, 2022.

The application has been reviewed by the City's Planning Assistance Team (PAT). Upon review of the application materials, the following insufficiencies must be addressed. A meeting may be scheduled to review these comments by request.

Please address all insufficiencies in writing and provide an indication as to how they have been addressed by **5:00 PM on Tuesday, October 14, 2025**. A total of four copies of the application package, plans, and a digital copy of all materials in PDF format on a CD or sent by emailing a Cloud/FTP link must be provided by this date. Upon receipt of your revised application, Staff will notify you of any remaining insufficiencies which must be resolved, if any, before the item may be scheduled for a public hearing before the Planning & Zoning Board. Please note that if Staff determines that the revised submission requires outside technical review by the City, your application may be delayed in order to allow for adequate review time. If all comments are addressed by the resubmission date above, the application may be scheduled for the **November 18, 2025 Planning & Zoning Board (PZB) Meeting**.

Address the following insufficiencies:

Deficiencies to be Addressed

** Unless otherwise noted, references to code sections are to the City of Alachua Land Development Regulations **

1. Concurrency Impact Analysis

- a. The concurrency impact analysis claims a net decrease of 116 lots and uses calculations/formulas that reflect a net decrease of 50 lots in other cases. The net decrease is of 34 lots according to the plat itself and other application materials. Clarify and ensure consistency across all application materials. Revise the concurrency impact analysis to reflect a net decrease of 34 lots.

2. Article 7 - Subdivision Standards

- a. Include lot sizes in square feet on preliminary plat.

3. Outside Review

- a. Review and address comments from outside reviewer dated 10/01/2025 (attached).

4. Miscellaneous

- a. Sheet 6 contains a note "(Amenity Center)" on a lot that appears to be a residential lot. Clarify and revise as needed.
- b. Call out locations of required pedestrian mid-block crossings and traffic calming measures.
- c. Final submitted set should be signed and sealed.

If you have any questions regarding the information above, please contact me at (386) 418-6137 or at ccrockett@cityofalachua.org. We look forward to receiving your revised application.

Sincerely,



Carson J. Crockett, AICP
Principal Planner

Attachments: Comments from outside reviewer 10/01/2025
Letter from Public Services 09/30/2025

CC: Bryan S. Thomas, AICP, Planning & Community Development Director *(by electronic mail)*
Carson J. Crockett, AICP, Principal Planner *(by electronic mail)*
Bernadette Fisher, Principal Planner *(by electronic mail)*
Brenda Flieger, Planning Assistant *(by electronic mail)*
Project File

October 1, 2025

Carson J. Crockett, Planner
Office of Planning and Community Development
ccrockett@cityofalachua.org | 386-418-6137
City of Alachua, Florida.

Ref: Preliminary Plat for Fletcher Trace Subdivision

Dear Mr. Crockett:

The following are our comments for the Preliminary Plat for Fletcher Trace Subdivision.

1. General Comments

- a. Individual Lot Areas should be stated since not every lot is uniformly shaped
- b. No striping was shown along the proposed road intersections
- c. No proposed Fire Hydrant locations are shown

2. Sheet 1

- a. Zoning and Acreage of all adjacent properties must be shown per the Preliminary Plat Application
- b. No Trip Generation and/or Traffic Study included despite being stated in the Preliminary Plat Application

3. Sheet 5

- a. Proposed connection to existing R/W and/or road should be shown.

4. Survey

- a. Survey Signature and Seal not shown despite being required in the Preliminary Plat Application

Please do not hesitate to contact me if you have any questions/comments.

Sincerely,

Claudia Vega, P.E.
Director of Engineering
cvega@edafl.com
edafl.com



RODOLFO VALLADARES, P.E.
CITY MANAGER

INTER-OFFICE COMMUNICATION

DATE: Sept 30th, 2025

TO: Bryan Thomas
Planning & Community Development Director

FROM: Michael Carrillo, P.E.
Public Services Director

Tom Ridgik, P.E.
Engineering Supervisor

*TR
9/22/2025*

RE: Fletcher Trace Preliminary Plat – Major Amendments

Public Services has reviewed the subject project (Submittal Received in Sept) and offer the following comments. Review was specific to the Public Services Utilities.

NO.	COMMENTS
1.	<p>Comment on Sept Submittal</p> <p>Public Services approves this submittal.</p> <p>Approved</p>
2	
3	
4	
END OF COMMENTS	

Please advise if you have any questions or require additional information.

September 15, 2025

Submitted electronically to travis.hastay@nv5.com

Travis Hastay, P.E.
NV5, LLC
11801 Research Drive
Alachua, FL 32615

Application #: PPP25-0002

RE: Major Amendment to an Approved Preliminary Plat - Fletcher Trace Major Subdivision

Dear Travis Hastay,

On September 11, 2025, the City of Alachua received your revised application materials for a major amendment to an approved preliminary plat for the Fletcher Trace Major Subdivision. The amendment proposes rephasing and reducing the total number of single-family attached lots from 128 to 28 and increasing the total number of single-family detached lots from 344 to 410, for a net decrease of 34 lots on a ± 118.20-acre subject property (tax parcel 03980-002-001). The original preliminary plat was approved by the City Commission on September 26, 2022.

According to Section 2.2.6 of the Land Development Regulations (LDRs), upon receipt of an application, a completeness review shall be conducted to determine that the application contains all the necessary information and materials, is in proper form and of sufficient detail, and is accompanied by the appropriate fee. The Planning Department has reviewed the aforementioned application for completeness and finds that the application is now complete.

This letter is based solely on a preliminary review of your application for completeness. An in-depth review of the content of the application will now be performed, and the findings transmitted under separate cover.

If you have any questions regarding the information above, please contact me at (386) 418-6137 or at ccrockett@cityofalachua.org.

Sincerely,

A handwritten signature in blue ink, appearing to read "Carson Crockett".

Carson J. Crockett, AICP
Principal Planner

CC: Bryan Thomas, AICP, Planning & Community Development Director *(by electronic mail)*
Bernadette Fisher, Principal Planner *(by electronic mail)*
Brenda Flieger, Planning Assistant *(by electronic mail)*

September 11, 2025

Submitted electronically to travis.hastay@nv5.com

Travis Hastay, P.E.
NV5, LLC
11801 Research Drive
Alachua, FL 32615

Application #: PPP25-0002

RE: Major Amendment to an Approved Preliminary Plat - Fletcher Trace Major Subdivision

Dear Travis Hastay,

On September 9, 2025, the City of Alachua received your application for a major amendment to an approved preliminary plat for the Fletcher Trace Major Subdivision. The amendment proposes rephrasing and reducing the total number of single-family attached lots from 128 to 28 and increasing the total number of single-family detached lots from 344 to 410, for a net decrease of 34 lots on a ± 118.20-acre subject property (tax parcel 03980-002-001). The original preliminary plat was approved by the City Commission on September 26, 2022.

According to Section 2.2.6 of the Land Development Regulations (LDRs), upon receipt of an application, a completeness review shall be conducted to determine that the application contains all the necessary information and materials, is in proper form and of sufficient detail, and is accompanied by the appropriate fee. The Planning Department has reviewed the aforementioned application for completeness and finds that the application is ***incomplete***.

In accordance with Section 2.2.6(B) of the LDRs, the applicant must correct the deficiencies and resubmit the application for completeness determination. *Plans and application materials may be made available for return in order to revise and resubmit as needed.*

The time frame and cycle for review shall be based upon the date the application is determined to be complete. If the applicant fails to respond to the identified deficiencies within 45 calendar days, the application shall be considered withdrawn.

Please note that if an additional completeness review is required, a resubmittal fee equal to 10% of the application fee will be assessed for each additional completeness review and must be paid prior to further review of the application.

The comments below are based solely on a preliminary review of your application for completeness. An in-depth review of the content of the application will be performed, and the findings transmitted under separate cover after the application is determined to be complete.

Deficiencies to be Addressed

** Unless otherwise noted, references to code sections are to the City of Alachua Land Development Regulations **

1. Preliminary Plat Application Attachment #4, Mailing Labels

- a. Ensure up to date mailing labels are provided as property owners and the City's list of registered recipients may have changed since the original application filed in 2022.

2. Preliminary Plat Application Attachment #5, Neighborhood Meeting Materials

- a. Neighborhood meeting materials submitted are for the original neighborhood meeting that took place on June 23, 2022. A new neighborhood meeting must be noticed and held covering the proposed amendment to the preliminary plat. Ensure up to date mailing labels are used when noticing as property owners and the City's list of registered recipients may have changed since the original application filed in 2022.

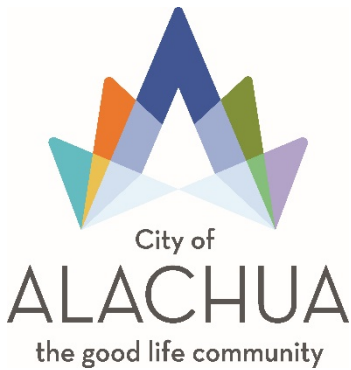
If you have any questions regarding the information above, please contact me at (386) 418-6137 or at ccrockett@cityofalachua.org.

Sincerely,



Carson J. Crockett, AICP
Principal Planner

CC: Bryan Thomas, AICP, Planning & Community Development Director *(by electronic mail)*
Bernadette Fisher, Principal Planner *(by electronic mail)*
Brenda Flieger, Planning Assistant *(by electronic mail)*



<p>FOR OFFICE USE ONLY</p> <p>Case #: _____</p> <p>Application Fee: \$ _____</p> <p>Filing Date: _____</p> <p>Completeness Date: _____</p> <p>Review Type: P&Z; CC</p>

Major Subdivision – Preliminary Plat Application

Reference City of Alachua Land Development Regulations (LDRs) Section 2.4.10

A. PROJECT

1. Project Name: _____
2. Pre-Application Conference Date: _____
3. Neighborhood Meeting Date: _____
4. Phase/Unit Number (if applicable): _____
5. Number of proposed lots/dwelling units: _____
6. Housing Type (i.e., attached/detached units): _____
7. Address of Subject Property: _____
8. Parcel ID Number(s): _____
9. Existing Use of Property: _____
10. Future Land Use Map Designation: _____
11. Zoning Designation: _____
12. Acreage: _____

B. APPLICANT

1. Applicant's Status Owner (title holder) Agent
2. Name of Applicant(s) or Contact Person(s): _____ Title: _____
 Company (if applicable): _____
 Mailing address: _____
 City: _____ State: _____ ZIP: _____
 Telephone: _____ FAX: _____ e-mail: _____
3. If the applicant is agent for the property owner*:
 Name of Owner (title holder): _____
 Mailing Address: _____
 City: _____ State: _____ ZIP: _____

** Must provide executed Authorized Agent Affidavit or other acceptable documentation (as deemed acceptable by the City in its sole discretion) which authorizes the agent to act on behalf of the property owner.*

C. ADDITIONAL INFORMATION

1. Is there any additional contact for sale of, or options to purchase, the subject property? Yes No
 If yes, list names of all parties involved: _____
2. Has the applicant discussed possible utility/infrastructure fees with the Public Services Department?

If no, contact the Public Services Department at 386-418-6140.

Yes No

D. ATTACHMENTS

1. Plans, to include the following information and be prepared in accordance with the following criteria:
 - a. Sheet Size: 24" X 36" with 3" left margin and ½" top, bottom, and right margins.
 - b. Graphic scale, not to exceed one (1) inch equal to 200 feet and one (1) inch equal to 50 feet for detailed plan sheets.
 - c. Proposed name of subdivision.
 - d. Name, address, telephone number, and email address of the property owner, agent (if applicable), and developer.
 - e. Name, address, telephone number, email address, and registration numbers of surveyor of record and professional engineer of record.
 - f. Boundary and topographic survey. Survey shall be signed and sealed by the surveyor, and shall be no older than two (2) years.
 - g. Vicinity map - indicating general location of the site and major adjacent streets and all adjacent properties, section lines and quarter section lines. The vicinity map shall be drawn to show clearly the information required, but not less than one (1) inch to 2,000 feet.
 - h. Legal description of the property to be subdivided.
 - i. Zoning of all adjacent property.
 - j. Acreage of adjacent land. If adjacent land is within a subdivision, identify the subdivision name, and recording information.
 - k. Preliminary layout of subdivision including, at a minimum, the location of streets, easements, lot lines with approximate dimensions, building setbacks for all lots, and land to be reserved or dedicated for public or common uses.
 - l. Lot numbers. Additional phases of existing subdivisions shall continue numbering from previous phases.
 - m. Proposed method of water supply, sanitary sewer disposal, and electric service.
 - n. Natural features, including streams; lakes; wetlands; water courses; and required buffers from such features dimensioned on the preliminary plat; wooded areas; and land designated as a special flood hazard area on FEMA FIRM panels.
 - o. Surface drainage and direction of flow and method of detention and retention.
 - p. Inscription stating "NOT FOR FINAL RECORDING".
2. Concurrency Impact Analysis showing the impact on public facilities, including potable water, sanitary sewer, transportation, solid waste, recreation (for residential development), stormwater, and public schools (for residential development) in accordance with Section 2.4.14 of the LDRs.
3. Analysis of Consistency with the City of Alachua Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies and describe in detail how the application complies with the noted Goal, Objective, or Policy).
4. Two (2) sets of mailing labels for all property owners within 400 feet of the subject property boundaries – even if property within 400 feet falls outside of City limits (obtain from the Alachua County Property Appraiser's web site) – and all persons/organizations registered to receive notice of development applications (current list may be obtained from the Planning & Community Development Department).
5. Neighborhood Meeting Materials, including:
 - i. Copy of the required published notice (advertisement) – must be published a newspaper of general circulation, as defined in Article 10 of the City's Land Development Regulations;
 - ii. Copy of written notice (letter) sent to all property owners within 400 feet and to all persons/organizations registered with the City to receive notice, and a copy of the mailing labels or list of those who received written notice; and,
 - iii. Written summary of meeting – must include (1) those in attendance; (2) a summary of the issues related to the development proposal discussed; (3) comments by those in attendance about the development proposal; and, (4) any other information deemed appropriate.
6. If the development will include single family or multifamily residential uses, City of Alachua Public School Student Generation Form.
7. Legal description with tax parcel number: (1) on 8.5" x 11" paper; and (2) electronic file in Word format.
8. Proof of ownership (i.e., copy of deed).
9. Proof of payment of taxes.

10. Traffic Impact Analysis or Statement, as deemed applicable to the project by the City of Alachua in its sole discretion.
11. Environmental Assessment or Study, as deemed applicable to the project by the City of Alachua in its sole discretion.
12. **Fee.** Please see fee schedule for fee determination. No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any costs associated with outside professional consulting services deemed necessary by the City in its sole discretion will be billed to the applicant at the rate of the consultant. The invoice for such services shall be paid in full prior to any public hearings on the application.

All applicable attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

Under penalty of perjury, I/we certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge.



Signature of Applicant

Travis Hastay, PE - Director of Land Development

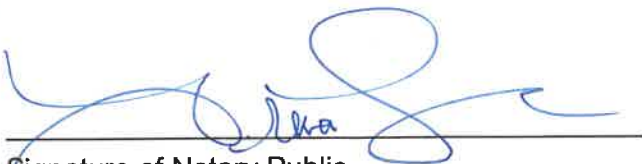
Typed or printed name and title of applicant

Signature of Co-applicant

Typed or printed name and title of co-applicant

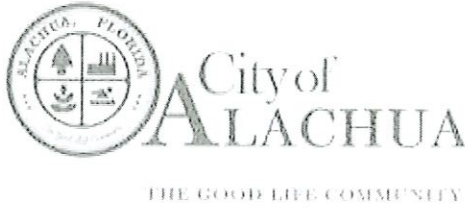
STATE OF Florida
 COUNTY OF Alachua

This affidavit is acknowledged before me by means of physical appearance or ___ online notarization on this 9th day of September, 2025 by Travis Hastay, who is/are personally known to me, or ___ who has/have produced _____ as identification.


 Signature of Notary Public

TRINA LEMNAH
 Notary Public - State of Florida
 Commission # HM 368686
 My Comm. Expires Mar 21, 2027
 Bonded through National Notary Assn.

(Seal)



Authorized Agent Affidavit

A. PROPERTY INFORMATION

Address of Subject Property: 11305 NW 173RD ST, ALACHUA, FL 32615
Parcel ID Number(s): 03980-002-001
Acreage: ±118.20 ac.

B. PERSON PROVIDING AGENT AUTHORIZATION

Name: Blake Fletcher Title: Manager
Company (if applicable): Fletcher Development, LLC
Mailing Address: 4510 NW 6th Place, 3rd Floor
City: Gainesville State: FL ZIP: 32607
Telephone: _____ FAX: _____ e-mail: _____

C. AUTHORIZED AGENT

Name: Travis Haslay, PE Title: Director of Land Development
Company (if applicable): NV5
Mailing address: 11801 Research Drive
City: Alachua State: FL ZIP: 32615
Telephone: 352-331-1976 FAX: 352-331-2476 e-mail: travis.haslay@nv5.com

D. REQUESTED ACTION:

To obtain approvals from the City of Alachua, Suwannee River Water Management District, Alachua County, and Florida Department of Environmental Protection

I hereby certify that I am the property owner of record, or I have received authorization from the property owner of record to file an application for a development permit related to the property identified above. I authorize the agent listed above to act on my behalf for purposes of this application.

[Signature]
Signature of Applicant

Signature of Co-applicant

Richard Exline Blake Fletcher
Typed or printed name and title of applicant

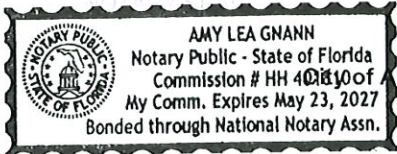
Typed or printed name of co-applicant

State of Florida County of Alachua

The foregoing application is acknowledged before me this 8 day of September, 2025, by Blake Fletcher

_____, who is/are personally known to me, or who has/have produced _____ as identification.

[Signature]
Signature of Notary Public, State of Florida



Alachua ♦ Planning and Community Development Department
PO Box 9 ♦ Alachua, FL 32616 ♦ (386) 418-6121
Revised 9/30/2014

MEMORANDUM

To:	City of Alachua	Date:	October 9, 2025
From:	Matthew Cantrell	Project:	Fletcher Trace
CC:	Travis Hastay		
Subject:	Fletcher Trace Preliminary Plat		

This memorandum is provided in support of the proposed modification to the Preliminary Plat for the Fletcher Trace subdivision. The project previously included a mix of townhome and single-family residential units. The applicant is requesting to revise the unit mix by converting a portion of the townhome units to standard single-family detached homes.

As part of this revision, the total number of residential units will be reduced by 34 units. The new development mix will be 410 single-family residential and 28 multi-family residential units. Based on the trip generation rates published by the Institute of Transportation Engineers (ITE) Trip Generation Manual, 11th Edition, this change results in a net reduction in daily trips. The peak hour trips will increase by 9 in the AM Peak and 14 in the PM Peak. The intersections analyzed have sufficient capacity to handle this minor increase in trips. The CR 235 and NW 78th Avenue intersection that has a deficiency in the 2029 background condition will only have 2 added PM peak trips. The 2 trips will be added to the southbound through movement and not cause an impact.

Given the reduction in total trips generated and minor increase in peak hour trips by the project, the proposed modification does not result in any increase in traffic impacts compared to the previously approved Traffic Impact Study. There will be no changes to the off-site improvements that have been previously identified. The original conclusions and mitigation measures remain valid.

CONCURRENCY ANALYSIS

Fletcher Trace

21-0297



To: Bryan Thomas, AICP, CPM, Director of Community Planning & Community Development
 From: April Dotson, Project Planner
 Date: September 8, 2025
 RE: Fletcher Trace – Preliminary Plat Revision

The Fletcher Trace Subdivision received Preliminary Plat approval on September 26, 2022, for a total of 344 single family detached units and 128 single family attached units. The applicant is now requesting to revise the preliminary plat to change some of the attached units to detached units. The proposed change will result in a total of 410 single-family detached units and 28 single-family attached units. This is a net increase of 66 additional single-family detached lots and a net decrease of 100 single family attached lots from the original preliminary plat, which is a total net decrease of 34 lots. The following analysis estimates the reduction of impacts on City of Alachua public facilities that may result from the proposed application changes. The following tables include data from the City of Alachua July 2025 Development Monitoring Report, as well as data obtained within the City Comprehensive Plan and Florida Administrative Code (F.A.C.).

Phases 1, 2, and 3 of the Fletcher Trace Subdivision have already received Certificates of Concurrency Compliance and are reflected in the City of Alachua July 2025 Development Monitoring Report. The following capacity is reserved for these phases:

Phase	Traffic (AADT)	Water (GPD)	Sewer (GPD)	Solid Waste (lbs/day)	Parks (ac)	Schools	Drainage
1	302 (11); 151 (17)	8,800	8,000	303.36	0.34	OK	OK
2	334 (11); 167 (17)	11,550	10,500	398.16	0.5	OK	OK
3	349 (11); 175 (17)	10,175	9,250	350.76	0.44	OK	OK

Traffic

Trip generation: Figures are based on the Institute of Transportation Engineers (ITE) Trip Generation Manual, 12th Edition.

Table 1: Projected Trip Generation

Land Use ¹ (ITE)	Units	Daily		AM Peak		PM Peak	
		Rate	Trips	Rate	Trips	Rate	Trips
Proposed							
Single-Family Detached Housing (ITE 210)	66	9.09	600	0.75	50	0.97	64
Single-Family Attached Housing (ITE 215)	-100	6.57	-657	0.57	-57	0.52	-52
Total			-57		-7		12

1. Source: ITE Trip Generation 12th Edition

Conclusion: Approval of this revision decreases the total number of dwelling units on the site and thus results in a net decrease of daily vehicle trips generated by the site. Approval of this application *will not* negatively impact the adopted LOS for adjacent and nearby roadways.

Affected roadways: Maximum development is estimated to generate less than 1,000 external average daily trips (ADT). LDR §2.4.14(H)(2)(a) identifies affected roadways as those located partially or wholly within one-

N:\2021\21-0297\Departments\02_Planning\Reports\Engineering\Overall\2025 Revision\RP 250903 Fletcher Trace Prelim Plat Revision - Concurrency Analysis.docx

half mile of the development’s ingress/egress, or the nearest major intersection, whichever is greater. **Tables 2a and 2b** calculate projected impacts on adjacent roadways based on the proposed development.

Table 2a: Projected Impacts on Roadways, CR 235

	AADT	Peak Hour
Traffic System Category	CR 235	
	From NW 143rd Place to South City Limit (Segment 11)	
Maximum Service Volume ¹	15,120	1,359
Existing Demand ¹	8,307	622
Reserved Trips ¹	985	100
Available Capacity	5,828	637
Projected Trip Generation ²	-57	12
Available Capacity w/ Application approval	5,885	625

1. Source: City of Alachua July 2025 Development Monitoring Report
2. NOTE: Projected trip distribution percentage is estimated to be **100%**.

Table 2b: Projected Impacts on Roadways, CR 235A South

	AADT	Peak Hour
Traffic System Category	CR 235A South	
	From US 441 to CR 235 (Segment 17)	
Maximum Service Volume ¹	15,120	1,359
Existing Traffic ¹	6,048	536
Reserved Trips ¹	4,373	447
Available Capacity	4,699	376
Projected Trip Generation ²	-29	6
Available Capacity w/ Application Approval	4,728	370

1. Source: City of Alachua July 2025 Development Monitoring Report
2. NOTE: Projected trip distribution percentage is estimated to be **50%**.

Conclusion: The only affected roadways are CR 235, which the project site is directly fronting, and CR 235A South, which is estimated to receive 50% of the total projected ADT. The affected roadway segments will continue to retain sufficient roadway capacity during both ADT and PM Peak. No roadway segments will experience a failing roadway LOS because of this application’s approval. Additionally, the revision will reduce trip generation for the subdivision as a whole.

Potable Water / Sanitary Sewer / Solid Waste

The following tables evaluate potential impacts to potable water, sanitary sewer, and solid waste.

Table 3: Projected Potable Water Impacts

System Category	Gallons Per Day (GPD)
Current Permitted Capacity ¹	2,300,000
Less actual Potable Water Flows ¹	1,565,500
Reserved Capacity ¹	338,499
Available Capacity ¹	396,001
Percentage of Permitted Design Capacity Utilized ¹	82.78%
Projected Potable Water Demand from Proposed Application ²	-9,350
Residual Capacity after Proposed Project	405,351

1. Source: City of Alachua July 2025 Development Monitoring Report

2. Source: City of Alachua Comprehensive Plan & Chapter 64-E, F.A.C. Formula used: (-34 du x 275 gallons per unit per day)

Conclusion: The project site will be served by existing City of Alachua potable water infrastructure. The potential net impacts from the intended residential development *will not* negatively impact the City’s adopted LOS for potable water, and the reduction in dwelling units from the previously permitted application will reduce gallons used per day.

Table 4: Projected Sanitary Sewer Impacts

System Category	Gallons Per Day (GPD)
Treatment Plant Current Permitted Capacity ¹	1,500,000
Less actual Treatment Plant Flows ¹	813,000
Reserved Capacity ¹	365,723
Available Capacity ¹	314,615
Percentage of Permitted Design Capacity Utilized ¹	75.16%
Projected Sanitary Sewer Demand from Proposed Project ²	-8,500
Residual Capacity after Proposed Project	323,115

1. Source: City of Alachua July 2025 Development Monitoring Report

2. Source: City of Alachua Comprehensive Plan & Chapter 64-E, F.A.C. Formula used: (-34 du x 250 gallons per unit per day)

Conclusion: The project site will be served by existing City of Alachua wastewater infrastructure. The potential net impacts from the intended residential development *will not* negatively impact the City’s adopted LOS for sanitary sewer, and the reduction in dwelling units from the previously permitted application will reduce gallons used per day.

Table 5: Projected Solid Waste Impacts

System Category	LBs Per Day	Tons Per Year
Existing Demand ¹	45,184.00	8,246.08
Reserved Capacity ¹	26,736.11	4,879.34
New River Solid Waste Facility Capacity ¹	30+ years	
Solid Waste Generated By Proposed Project²		-62.30

1. Source: City of Alachua July 2025 Development Monitoring Report

2. Source: City of Alachua Comprehensive Plan and U.S. Census Bureau Current Population Survey, 2023. Formula used: (-34 du x 2.51 persons per du x .73 per capita)

Conclusion: Solid waste facility capacity exists to adequately serve the intended residential development for the subject property. Thus, approval of this application will not negatively impact the

City's adopted LOS for this system. Additionally, the proposed reduction in dwelling units from the previously permitted application will reduce the number of tons generated per year.

Public School and Recreation Impact

The City of Alachua requires all applications involving residential developments to include an estimated Public School Generation analysis. This is conducted by completing the City's Public School Student Generation Calculation Form. A completed copy of this form has been included within this application's submittal. The development's estimated impact on the City's Public School System is found in **Table 6**.

Table 6: Projected Public School Demand

Land Use (ITE)	Units	Elem.		Middle		High	
		Rate ¹	Total	Rate ¹	Total	Rate ¹	Total
Proposed							
Single-Family Residential	-34	.12	-4	.06	-2	.09	-3

1. Source: City of Alachua School Concurrency Form

Conclusion: Approval of this application *will not* negatively impact the Public School System, and the reduction in dwelling units from the previously permitted application will decrease student generation.

Table 7a: Recreational Impacts

System Category	Acreage
Existing City of Alachua Acreage ¹	135.48
Acreage Required to Serve Existing Population ¹	56.48
Reserved Capacity ¹	11.64
Available Recreation Acreage¹	67.36
Proposed Recreational Impact ²	-0.43
Residual Recreational Capacity After Proposed Development	67.79

1. Source: City of Alachua July 2025 Development Monitoring Report

2. Source: City of Alachua Comprehensive Plan Recreation Element. Formula used: -34 units x 2.51 person per du x (5 acres/1,000 persons)

Table 7b: Improved Passive Park Space Analysis

System Category	Acreage
Minimum Improved Passive Park Space Required to Serve Existing Population & Reserved Capacity ¹	11.30
Existing Improved Passive Park Space Provided ¹	34.82
Available Capacity ¹	21.20
Improved Passive Park Space Utilized by Existing Population & Reserved Capacity¹	39.13%
Proposed Recreational Impact ²	-0.085
Improved Passive Park Space Utilized After Proposed Development	39.38%

1. Source: City of Alachua July 2025 Development Monitoring Report

2. Source: City of Alachua Comprehensive Plan Recreation Element. Formula used: -34 units x 2.51 person per du x (5 acres/1,000 persons) x 20%

Conclusion: The City of Alachua currently possesses considerable excess acreage for local recreation activities. In addition, this subdivision will have recreational facilities onsite including, but not limited to, an amenity center and passive trails. Thus, the intended residential development is expected to have a minimal impact on the City's current recreational infrastructure.

COMPREHENSIVE PLAN CONSISTENCY REPORT

Fletcher Trace

21-0297



To: Bryan Thomas, AICP, CPM, Director of Planning & Community Development
From: April Dotson, Project Planner
Date: September 4, 2025
RE: Fletcher Trace – Preliminary Plat Revision

This memorandum identifies specific City of Alachua Comprehensive Plan Goals, Objectives, and Policies and explains how this application is consistent with each. Text from the City of Alachua is provided in normal font while consistency statements are provided in **bold**.

FUTURE LAND USE ELEMENT

Policy 1.2b: Moderate Density Residential (0 to 4 dwelling units per acre): The Moderate Density Residential land use category allows residential development at a maximum density of 4 dwelling units per acre. The following uses are allowed in the Moderate Density Residential land use category:

1. Single family detached dwelling units;
2. Accessory dwelling units;
3. Manufactured or modular homes meeting certain design criteria;
4. Mobile homes only within mobile home parks;
5. Duplexes and quadplexes;
6. Townhomes;
7. Residential Planned Developments; and,
8. Supporting community services such as schools, houses of worship, parks, and community centers.

The project site is a Residential Planned Development within the Moderate Density Residential Future Land Use Category. The development contains 410 single family detached lots and 28 townhomes. Approximately 3.75 units per acre are proposed which is within the 4 du/ac allowance.

Policy 2.1.a: Residential Planned Developments (PD): The City shall establish flexible development and use regulations for residential PDs for use within residential land use categories. Those regulations shall be developed to achieve the following:

1. Residential development through a mixture of housing types, prices and densities. The allowed uses within a residential PD are not subject to the permitted uses in the underlying land use category but shall be subject to the permitted uses as set forth in the Land Development Regulations or Ordinance adopting the PD. Single-family homes, zero lot line homes, and townhomes are examples of the allowable housing types within residential PDs.

All onsite dwelling units shall be single-family homes and townhomes.

2. The opportunity to improve quality of life by placing activities necessary for daily living in close proximity to residences through the allowance of a limited amount of neighborhood commercial uses, and with special design criteria, community commercial uses, within the residential PD at appropriate densities and intensities.

No non-residential activities are proposed. Residents will be approximately 3 miles from shopping centers on US Hwy 441, including a Publix grocery store, as well as approximately 3 miles from the Downtown Alachua area. Shared recreational areas and an amenity center are included in the master preliminary plat.

3. A range of parks and open space, from playgrounds to community gardens to active recreation facilities within the neighborhood.

The PD-R exceeds the minimum amount of open space required by Policy 2.5.a. of the Comprehensive Plan. This Phase is consistent with the PD Master Plan. Onsite activities for residents will include passive trails, outdoor workout facilities, and/or community gathering spaces.

4. Streets and public spaces that are safe, comfortable, and designed to respect pedestrians, nonvehicular and vehicular modes of transportation.

The site shall be designed to support multiple methods of internal transportation by promoting pedestrian-friendly block sizes, sidewalk infrastructure, and streetlighting systems. Block lengths that exceed the maximum 600', as per LDR §7.2.3(B)(2), shall include an easement for a pedestrian way, as described in LDR §7.2.3(B)(4). In no case shall a block face exceed 1,000' in length.

5. Conservation of materials, financial resources and energy through efficient design of infrastructure.

Fletcher Trace is the logical expansion of existing City of Alachua potable water and sanitary sewer infrastructure currently serving area residential and non-residential uses.

To avoid constructing roadway infrastructure that is not necessary to enhance roadway capacity, easements for pedestrian ways are proposed on blocks that exceed 600' in length. The pedestrian ways will ensure a walkable neighborhood while the reduced roadway infrastructure will conserve materials, financial resources, and pervious surface area.

Policy 2.4.b: Landscaping: Buffering – A buffer consists of horizontal space (land) and vertical elements (plants, berms, fences, walls) that physically separate and visually screen adjacent land uses. The City shall establish buffer yard requirements that are based on the compatibility of the adjacent uses and the desired result of the buffer.

As demonstrated on the adopted PD Master Plan, Land Use Area E is a 50'-wide buffer along the east boundary, adjacent to legal non-conforming residential lots in unincorporated Alachua County.

Policy 2.5.a: There shall be a minimum of 10% percent open space required. The City shall establish incentives for the provision of open space beyond minimum requirements.

As illustrated in the adopted PD Master Plan, the proposed development far exceeds the required 10% minimum. Onsite open spaces shall be comprised of common area, stormwater management facilities, and landscaping.

Objective 4.1: Infill development shall be encouraged in order to protect the unique character of existing neighborhoods and commercial developments, provide for a safe urban environment, increase densities and intensities in a manner compatible with existing uses, provide open spaces, and restore or maintain economic vitality and cultural diversity.

The project site is located within a growing area of the City. Approval of this application will encourage urban infill development on adjacent properties with access to City of Alachua public facilities and services. The proposed residential development is consistent with the existing residential development pattern located along the CR 235 corridor and helps reduce development pressures in the urban fringe and in more rural areas of the City not served by public facilities and services.

Objective 5.1: The City shall coordinate land use categories with appropriate topography, soils, areas of seasonal flooding, wetlands and habitat during review of proposed amendments to the Future Land Use Map and the development review process. Natural features may be included as amenities within a development project.

There are no onsite wetlands or flood areas that would make this project site unable to support the proposed plan.

Policy 5.1.a: Topography: The City shall protect the natural topography of the City, including steep and seepage slopes, by requiring new development to include techniques to minimize negative impacts on the natural terrain. An emphasis will be placed on retaining the natural function of seepage slopes during development. Additionally, retention of existing native vegetation will be encouraged as one method of protecting slopes.

There are two (2) small locations on site with slopes ranging from 5-8% that are incorporated into the design for stormwater management facilities.

Policy 5.1.b: The City shall ensure soil protection and intervention measures are included in the development review process.

There are currently six (6) types of soils located onsite:

- Kendrick Sand, 2 – 5% Slopes (Hydro Group: B)
- Arredondo Fine Sand, 0 – 5% Slopes (Hydro Group: A)
- Arredondo Fine Sand, 5 – 8% Slopes (Hydro Group: A)
- Gainesville Sand, 0 – 5% Slopes (Hydro Group: A)
- Lochloosa Fine Sand 5 – 8% Slopes (Hydro group: B)
- Millhopper Sand, 0 – 5% Slopes (Hydro Group: A)

According to the NRCS soil database, each of the six (6) sandy soil types mentioned above are conducive to residential developments of this nature with minimal limitations. No soil protection or intervention measures are required.

Policy 5.1.c: Flood prone areas: The City shall require as part of the development review process the identification of FEMA flood zone areas. Where necessary, base flood elevations and minimum finished floor elevations shall be established. The City shall also require finished floor elevations on subdivision plats, site plans and building permit plans when necessary to determine compliance with flood prone area regulations. The City shall establish standards for a limitation on filling in flood prone areas.

There are no FEMA flood zone areas located on the project site.

Policy 5.1.d: The City shall utilize statewide wetland delineation methodology in accordance with Florida Administrative Code (FAC) and regulations adopted by the FDEP and the Suwannee River Water Management District.

A professional environmental scientist surveyed the site in 2022 and found no wetlands onsite. This was confirmed by the Suwannee River Water Management District in 2024 under ERP #246933-1.

Policy 5.1.e: Habitat: The City shall require as part of the development review process, an inventory of listed species for all new developments in areas identified as known habitat for listed species if listed species are known to exist in close proximity to the development. The survey shall include detailed information regarding type, quantity, location, and habitat requirements for any listed species identified. A de minimus threshold for properties

required to complete the inventory may be established in the City's Land Development Regulations.

No listed species are known onsite.

Objective 5.2: Availability of facilities and services: The City shall utilize a concurrency management system to ensure that the adopted levels of service standards are maintained.

The impacts this site will have on available facilities and services will not cause facilities and/or services to operate below the adopted level of service. Please see the Concurrency Analysis memo for additional detail.

Policy 5.2.a: All new development shall meet level of service requirements for roadways, potable water, sanitary sewer, stormwater, solid waste, and public schools in accordance with LOS standards adopted in the elements addressing these facilities.

This project will not cause City of Alachua facilities to operate below the adopted level of service.

Policy 5.2.b: The concurrency management system shall specify the period for which certification of level of service compliance shall be valid until actual development pursuant to a final development order or Chapter 163 Development Agreement has commenced.

A certification of level of service compliance shall be issued during development plan review for each phase.

CONSERVATION AND OPEN SPACE ELEMENT

Objective 1.5: The City shall protect soil resources through erosion and sedimentation control, by requiring proper design criteria on specific soils.

There are currently six (6) types of soils located onsite. According to the NRCS soil database, each of the six (6) sandy soil types mentioned above are conducive to residential developments of this nature with minimal limitations. No soil protection or intervention measures are required.

Site design addresses these soil composition limitations with properly-designed drainage and stormwater management facilities.

Objective 1.10: The City shall protect and preserve wetland values and functions from adverse, human caused, physical and hydrologic disturbances.

The subject property does not contain onsite wetland features. A professional environmental scientist has reviewed the site and determine the significance of natural features, as required by City LDR. Significant onsite natural features shall be avoided to the maximum extent practicable or mitigated consistent with City LDR requirements.

Mailed Memorandum

NEIGHBORHOOD MEETING NOTIFICATION

PN 21-0297



To: Neighbors of the County Road 235 / County Road 235A Intersection
From: Daniel Young, PE
Date: 9 June 2022
RE: Neighborhood Meeting Public Notice

A Neighborhood Meeting will be held to discuss a Preliminary Plat application on \approx 118 acres in the City of Alachua (Alachua County Tax Parcel \approx 03980-002-001). The application proposes the platting of 344 single family lots and 128 multifamily units. The property's Future Land Use classification is Moderate Density Residential. The property's zoning is Planned Development-Residential (PDR).

The site is located on the southern side of County Road 235, approximately between NW 110th Avenue and NW 164th Terrace.

Date: June 23, 2022
Time: 6:00 p.m.
Location: 11801 Research Drive, Alachua, FL, 32615
Contact: Daniel Young, PE
11801 Research Drive
Alachua, FL 32615
(352) 331-1976
Live \square CHW-inc.com

This is not a public hearing. The purpose of the neighborhood meeting is to inform the public about the nature of the proposal and seek their comments.

If you are unable to attend the meeting, please contact CHW using the information above. Meeting materials can be provided after the meeting is held. Comments may also be submitted in writing to the address or email above or by phone at the phone number above.

Mailing Labels

03980-002-000
BAUGH SOUTHEAST COOPERATIVE INC
SYSCO CORPORATION
ATTN TAX DEPARTMENT 1390 ENCLAVE
HOUSTON, TX 77077

03980-002-001
WACO OF ALABAMA INC
PO BOX 6937
JACKSONVILLE, FL 32236

03980-003-001
MCDONALD & MCDONALD
15824 OPEN SKY WAY
COLORADO SPRINGS, CO 80908

03980-003-002
CAICEDO EDGAR H & FRANCI
12012 NW 164TH TER
ALACHUA, FL 32615

03980-003-003
WAITHE SEAN L & ASHLEY M
12004 NW 164TH TER
ALACHUA, FL 32615

03980-003-004
ESKRIDGE MARTY R
14705 MAIN ST
ALACHUA, FL 32615

03980-003-005
KEDEM CECIL KAY
11920 NW 164TH TER
ALACHUA, FL 32615

03980-003-006
PARRIS R SCOTT & LYLA A
11914 NW 164TH TER
ALACHUA, FL 32615

03980-003-007
POGUE ANGELA MARIE
11908 NW 164TH TER
ALACHUA, FL 32615

03980-003-008
FREDERICK JULIE
11902 NW 164TH TER
ALACHUA, FL 32615

03980-003-009
GRISHAM & VERMILLION
16337 NW 118TH PL
ALACHUA, FL 32615

03980-003-010
BERG JEFFERY E & RENEE D
16329 NW 118TH PL
ALACHUA, FL 32615

03980-003-052
BOYETTE BETTY L LIFE ESTATE
16326 NW 118TH PL
ALACHUA, FL 32615

03980-003-053
WIGGLESWORTH ERNEST BARTOW JR
11923 NW 164TH TER
ALACHUA, FL 32615

03980-003-054
MOORE WENDY SANDRA
12017 NW 164TH TER
ALACHUA, FL 32615

03980-010-022
STEWART WILLIAM O & JOSIE P
16324 NW 120TH PL
ALACHUA, FL 32615

03980-020-000
SAVANNAH STATION
4510 NW 6TH PLACE 3RD FLOOR
GAINESVILLE, FL 32607

03981-004-005
SULAK KENNETH J & MARSHA J
16328 NW 110TH AVE
ALACHUA, FL 32615

03981-004-006
STREIT WOLFGANG J
16414 NW 110TH AVE
ALACHUA, FL 32615

03981-004-007
STREIT WOLFGANG J
16414 NW 110TH AVE
ALACHUA, FL 32615

03981-005-001
HOLDER CAITLYN ELISE
11306 NW 161ST ST
ALACHUA, FL 32615

03981-005-002
HARRELL VAUGHN R
11218 NW 161ST ST
ALACHUA, FL 32615

03981-006-000
OWENS LIFE ESTATE & OWENS LIFE ES
24552 NW 160TH AVE
HIGH SPRINGS, FL 32643

03981-007-000
LEWIS SHEREE WILSON
16008 NW 118TH PL
ALACHUA, FL 32615

03981-008-000
WEAVER WILLIAM R & BEVERLY GAIL
8461 SW 129TH TERRACE RD
DUNNELLON, FL 34432

03983-011-000
WACO PROPERTIES INC
569 EDGEWOOD AVE SOUTH
JACKSONVILLE, FL 32205

03984-000-000
GAVIGAN & GAVIGAN
25348 CARNOUSTIE DR
SORRENTO, FL 32776

03997-005-000
PADGETT CAROLYN S
10714 NW 173RD ST
ALACHUA, FL 32615

03997-006-000
MORALES DANIEL J & SHELLEY H
10945 NW COUNTY ROAD 235
ALACHUA, FL 32615

04008-001-001
AUGSPURG JASON R & JANET R
16825 NW 110TH AVE
ALACHUA, FL 32615

04008-003-000
BRANDON-TURNER & TURNER TRUSTEE
17011 NW 110TH AVE
ALACHUA, FL 32615

04008-003-001
VINCENT & VINCENT TRUSTEES
16919 NW 110TH AVE
ALACHUA, FL 32615

04008-003-005
BRODSKAYA & LERNER
4830 NORTH RIDGEWAY AVE # 2
CHICAGO, IL 60625

04008-004-000
CRUSE & CRUSE & STORMANT
PO BOX 126
ALACHUA, FL 32616

04008-005-000
CLARK CODY THOMAS & RUTH CHANCE
16357 NW 110TH AVE
ALACHUA, FL 32615

04008-005-004
JOHNS TIMOTHY CALVIN & SHANNON
16333 NW 110TH AVE
ALACHUA, FL 32615

04008-005-005
CLARK PAUL N
16341 NW 110TH AVE
ALACHUA, FL 32615

92060-517-900
CSX TRANSPORTATION INC
500 WATER ST TAX DEPARTMENT J-910
JACKSONVILLE, FL 32202

<p>Current Resident</p> <p>11926 NW 164TH TER</p> <p>ALACHUA FL 32615</p>	<p>Current Resident</p> <p>12028 NW 164TH TER</p> <p>ALACHUA FL 32615</p>	<p>Current Resident</p> <p>16415 NW 110TH AVE</p> <p>UNINCORPORATED FL 32615</p>
<p>Current Resident</p> <p>11636 NW 161ST ST</p> <p>UNINCORPORATED FL 32615</p>	<p>Current Resident</p> <p>10945 NW COUNTY RD 235</p> <p>UNINCORPORATED FL 32615</p>	

Antoinette Endelicato
5562 NW 93rd Avenue
Gainesville FL 32653

Dan Rhine
288 Turkey Creek
Alachua FL 32615

Tom Gorman
9210 NW 59th Street
Alachua FL 32653

Richard Gorman
5716 NW 93rd Avenue
Alachua FL 32653

Peggy Arnold
410 Turkey Creek
Alachua FL 32615

David Forest
23 Turkey Creek
Alachua FL 32615

President
TCMOA
1000 Turkey Creek
Alachua FL 32615

Linda Dixon, AICP
Assistant Director Planning
PO Box 115050
Gainesville FL 32611

Craig Parenteau
FL Department of Environmental
Protection
4801 Camp Ranch Road
Gainesville FL 32641

Jeannette Hinsdale
P.O. Box 1156
Alachua FL 32616

Lynn Coullias
7406 NW 126th Ave
Alachua FL 32615

Lynda Coon
7216 NW 126 Avenue
Alachua FL 32615

Tamara Robbins
PO Box 2317
Alachua FL 32616

Michele L. Lieberman
County Manager
12 SE 1st Street
Gainesville FL 32601

Bonnie Flynn
16801 NW 166th Drive
Alachua FL 32615

Hugh & Jean Calderwood
14095 NW 174th Ave
Alachua FL 32615

Lisia Jenkins
P.O. Box 1071
Alachua FL 32616

Shasta Schoellhorn
15907 NW 188th St.
Alachua FL 32615

Carrie Luke
16611 NW 138th Ave.
Alachua FL 32615

Dena Courtney
P.O. Box 1215
High Springs FL 32655

Newspaper Advertisement

PUBLIC NOTICE

A Neighborhood Meeting will be held to discuss a Preliminary Plat application on ±118 acres in the City of Alachua (Alachua County Tax Parcel # 03980-002-001). The application proposes the platting of 344 single family lots and 128 multifamily units. The property's Future Land Use classification is Moderate Density Residential. The property's zoning is Planned Development-Residential (PDR).

The site is located on the southern side of County Road 235, approximately between NW 110th Avenue and NW 164th Terrace.

This is not a public hearing. The purpose of this meeting is to inform the public about the nature of the proposals and seek their comments.

Time: 6:00 pm on June 23, 2022

Location: CHW Office, 11801 Research Drive, Alachua, FL, 32615

Contact: Daniel Young, PE

Phone Number: (352) 331-1976

Email: Live@CHW-inc.com



LOCAL&STATE

Is Gainesville a thriving city?

Survey finds more pessimism than consultants believe is warranted

Ron Cunningham
Special to Gainesville Sun
USA TODAY NETWORK

Is Gainesville a thriving city? Does Gainesville aspire to thrive? What does a thriving city even look like? "What is a thriving city and who is it thriving for?" posed Ty Buckman. "That has to be defined by the people who live in the city. What thriving means for Gainesville might not mean the same thing as it means for Portland, Ore."

Buckman, director of the University of Virginia's Institute for Advanced Studies in Culture, was at the Cade Museum on Wednesday to talk about the Gainesville Thriving Project, an initiative launched by the

Community Foundation of North Central Florida in collaboration with UVA's Thriving Cities Lab.

Work on the initiative began earlier this year when Lab personnel surveyed 106 community leaders, stakeholders and others involved in aspects of Gainesville's cultural, economic and social life.

And from those surveys, follow-up discussions and related research, the Lab was able to draw several preliminary conclusions regarding prevailing attitudes about Gainesville.

- People who have lived here for a long time have a more positive view of the city than those who arrived more recently. White residents give Gainesville a higher grade than minorities do. Similarly, those living on the west side tend to view east Gainesville in a more negative light than do the people who actually live on the east side.

"A tale of two cities is a common thread" in survey

See **THRIVING**, Page 5A



Ty Buckman, director of the University of Virginia's Institute for Advanced Studies in Culture, presents findings from a survey of Gainesville leaders and stakeholders on Wednesday at the Cade Museum. RON CUNNINGHAM

REVIEW



The cast of "The Line" includes, from left, Brenadette Harper, Steven H. Butler, Kate Clement, Zachary Simon, Saie Kurakula, Esteban Alvarez III and Dennis Clement. ACTORS WAREHOUSE

Drama of health care through pandemic hits home in 'The Line'

This may be Gainesville's most important play of the year

Ron Cunningham
Special to Gainesville Sun
USA TODAY NETWORK

I'm just going to cut to the chase. "The Line," is playing at the Actors' Warehouse through June 22. Go see it. Even if you have not attended another play this year, see this one. If you were lucky enough to get through the pandemic feeling little more than annoyance over being shut in and irritation for having to wear a mask, "The Line" is your wake-up call. And it is delivered with all

the tact and subtlety of emergency intubation performed in a rolling ambulance.

This is supposed to be amateur theater. But the seven unpaid actors who portray front-line New York City health care workers abruptly showed into a medical cataclysm stand up and deliver like pros. Perhaps because compelling material brings out the best in performers.

"The Line" is not a traditional stage performance. It unfolds in "docu-drama" style and the dialogue is entirely drawn from interviews with real health care workers conducted in the spring of 2020 when NYC hospitals were still jammed to capacity and doctors, nurses and paramedics were doing their jobs despite possibly bringing death into their homes with their families.

See **'THE LINE'**, Page 5A

Homes in Gainesville area rise in price to \$365,000, Realtor.com says

From Staff Reports
Gainesville Sun
USA TODAY NETWORK

A typical Alachua County home listed for \$365,000 in May, up 4.8% from a month earlier, an analysis of data from Realtor.com shows.

The median list home price in May was up about 22.1% from May 2021. Alachua County's median home was 1,770 square feet for a listed price of \$205 per square foot.

The Alachua County market was busy, with a median 36 days on market. A month earlier, homes had a median 45 days on market. The market added 464 new home listings in May, compared with the 520 added in May 2021. The market ended the month with some 377 listings of homes for sale.

Information on your local housing market is available through the USA TODAY Network, with more data

from Realtor.com.

Levy County's home prices fell 3.2%, to a median \$387,000, from a month earlier. The typical house was on the market for 61 days, from 58 days a month earlier. The typical 1,836-square-foot house had a list price of \$235 per square foot.

Columbia County's home prices rose 0.3%, to a median \$299,945, from a month earlier. The typical house was on the market for 44 days, from 42 days a month earlier. The typical 1,794-square-foot house had a list price of \$170 per square foot.

Gilchrist County's home prices rose 10.8%, to a median \$399,000, from a month earlier. The typical house was on the market for 24 days, from 44 days a month earlier. The typical 1,845-square-foot house had a list price of \$195 per square foot.

Across all of Florida, median home prices were

See **HOME PRICES**, Page 5A

Closure delayed for family of UF student killed in hit-and-run

Sentencing postponed for driver in fatal crash, who is hospitalized

Katie Delk
Special to Gainesville Sun
USA TODAY NETWORK

A judge on Wednesday postponed the sentencing of a driver charged with a tragic hit-and-run crash that resulted in the death of a University of Florida student.

The defendant, Joshua Figueroa, 32, of Gainesville, faces a maximum of 30 years in prison but has been in the hospital since Sunday, Fresh Take Florida reported. Attorneys in the case have not detailed the cause for his hospitalization.

Figueroa, who has changed his plea from not guilty to no contest, is accused of fleeing the scene after hitting and killing Margaret "Maggie" Paxton on

See **PLEA**, Page 5A



Friends of Sophia Lambert and Maggie Paxton, two UF students who died in pedestrian crashes along West University Avenue, listen during a press conference in March 2021. BRAD McLENNY/THE SUN

PUBLIC NOTICE

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The site is located on the southern side of County Road 235, approximately between NW 110th Avenue and NW 164th Terrace.

This is not a public hearing. The purpose of this meeting is to inform the public about the nature of the proposals and seek their comments.

Time: 6:00 pm on June 23, 2022
Location: CHW Office, 11801 Research Drive, Alachua, FL, 32615

Contact: Daniel Young, PE
Phone Number: (352) 331-1976
Email: Live@CHW-inc.com



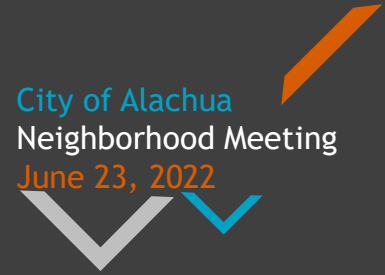
Workshop Presentation

Fletcher Trace

Preliminary Plat Application



City of Alachua
Neighborhood Meeting
June 23, 2022



21-0297.01:Fletcher Trace

1

The **purpose** of the neighborhood meeting:

The City of Alachua requires applicants to host a neighborhood meeting.

The purpose is to **inform neighbors** of the proposed action's nature and to get feedback early in the process.

This meeting provides the applicant with an opportunity to **identify concerns**.



21-0297.01:Fletcher Trace

2

PUBLIC NOTIFICATION

NEIGHBORHOOD MEETING NOTIFICATION

CHIW
Professional Consultants

To: Neighbors of the County Road 235 / County Road 235A Intersection
From: Daniel Young, PE
Date: 9 June 2022
RE: Neighborhood Meeting Public Notice

A Neighborhood Meeting will be held to discuss a Preliminary Plat application on 1118 acres in the City of Alachua (Alachua County Tax Parcel # 03980-002-001). The application proposes the platting of 344 single family lots and 128 multifamily units. The property's Future Land Use classification is Moderate Density Residential. The property's zoning is Planned Development-Residential (PDR).

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Time: 6:00 p.m.
Location: 11801 Research Drive, Alachua, FL, 32615
Contact: Daniel Young, PE
 11801 Research Drive
 Alachua, FL 32615
 (352) 331-1976
 Live@CHW-inc.com

This is not a public hearing. The purpose of the neighborhood meeting is to inform the public about the nature of the proposal and seek their comments.

If you are unable to attend the meeting, please contact CHW using the information above. Meeting materials can be provided after the meeting is held. Comments may also be submitted in writing to the address or email above or by phone at the phone number above.

10201-01-001/Parcel & Classification_03980-002-001 and 03980-002-001 20068 Future Tax Parcel PDR.docx

www.chw-inc.com

LOCAL STATE

Is Gainesville a thriving city?

Neighboring cities have more population than consultants believe is warranted.

Closure delayed for family of UF student killed in hit-and-run

Beginning preparation for delivery in final crash, who is hospitalized.

Drama of health care through pandemic hits home in 'The Line'

This may be Calver's most important play of the year.

Homes in Gainesville area rise in price to \$365,000, Realtor.com says

Real estate market shows signs of recovery.

PUBLIC NOTICE

Advertisement for public notice regarding a preliminary plat application.

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Email: Live@CHW-inc.com

CHIW
Professional Consultants

21-0297-01:Fletcher Trace

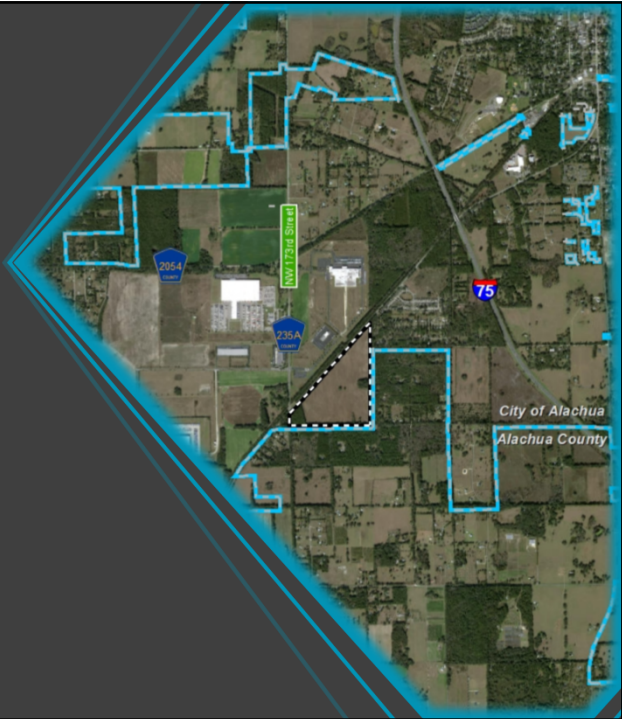
3

REQUEST:

Preliminary Plat Application

INTENT:

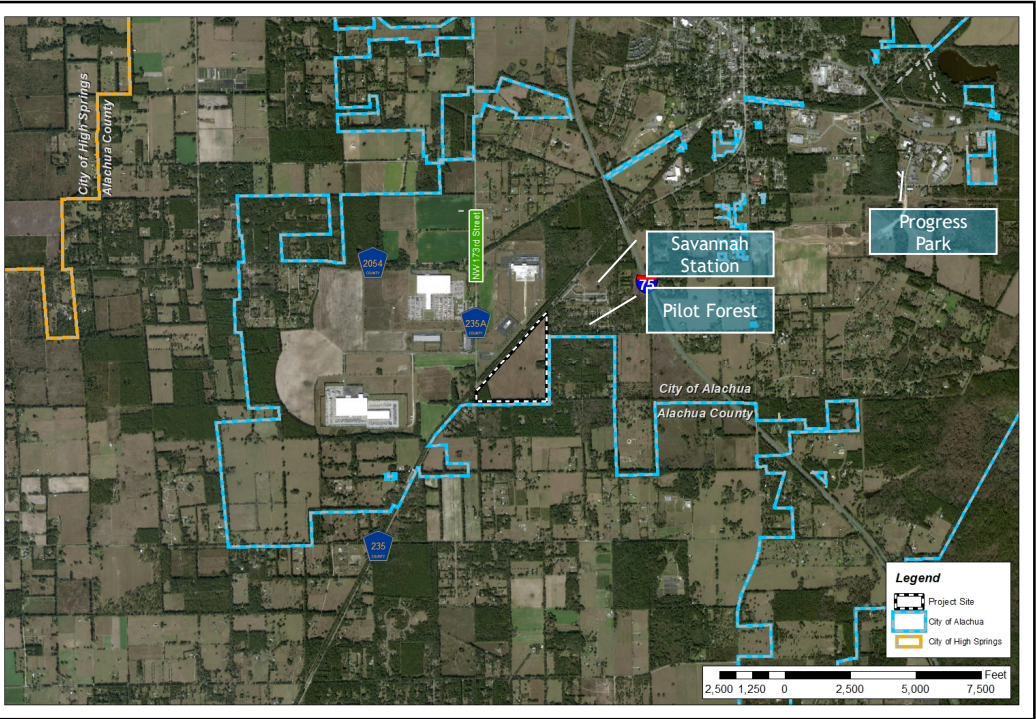
Develop a residential subdivision



21-0297-01:Fletcher Trace

4

Context Map

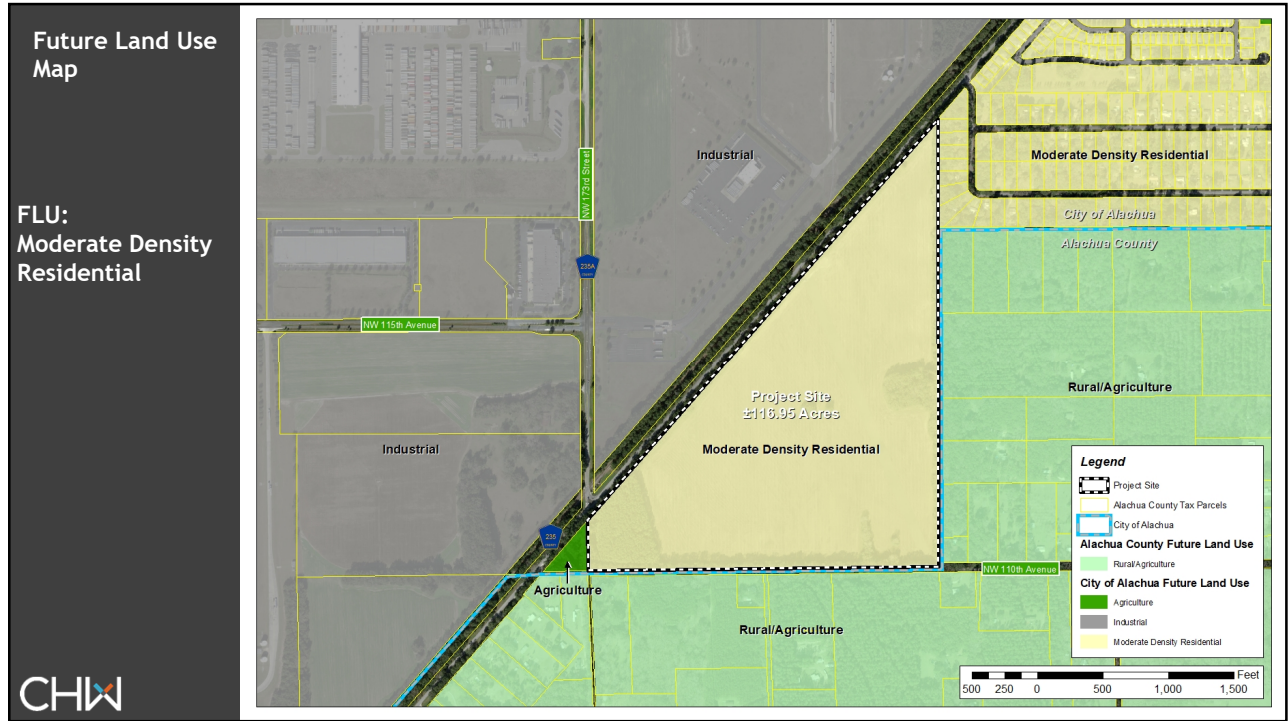



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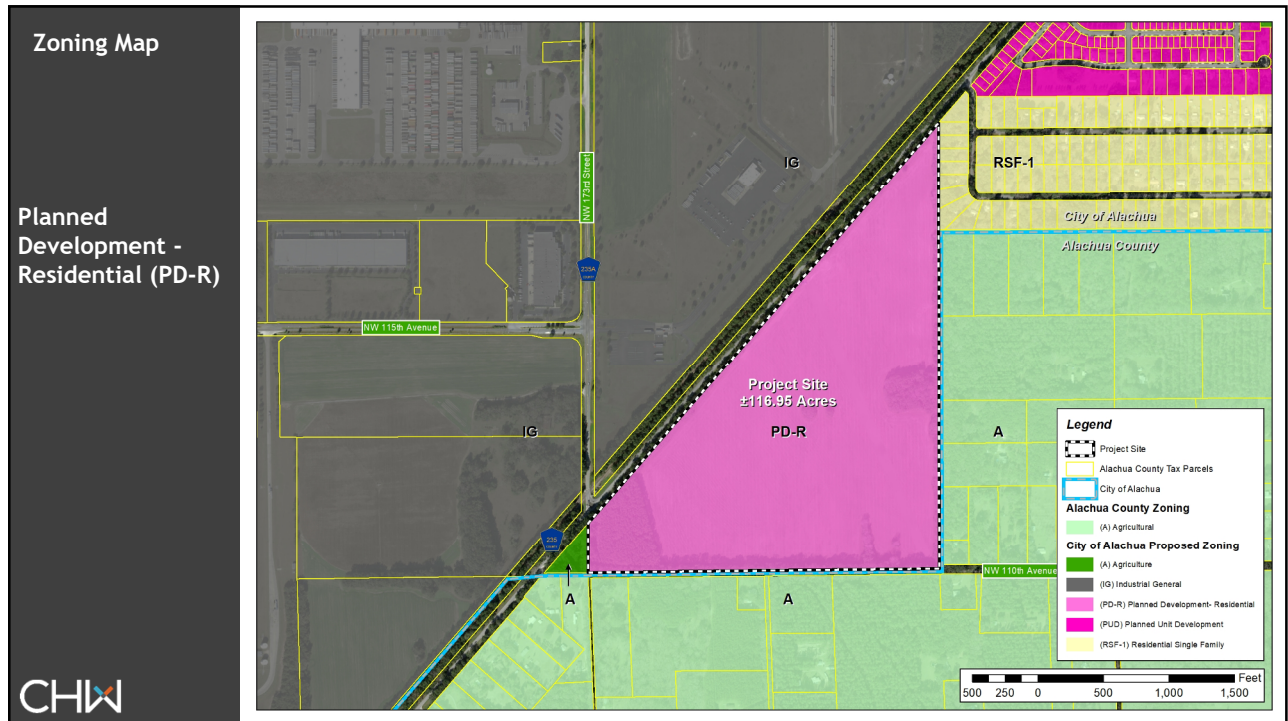
Aerial Map




6



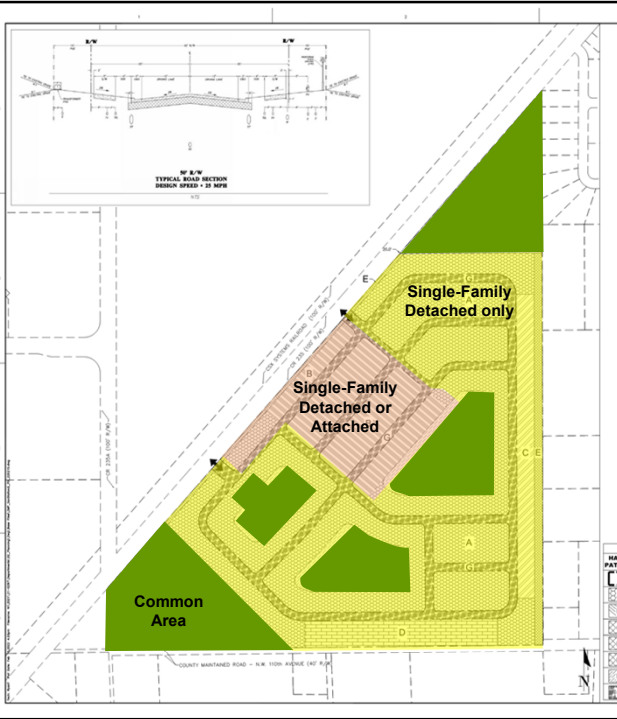
7



8

Approved PD Master Plan

CHW



SAVANNAH STATION, PHASE 3 PLANNED DEVELOPMENT MASTER PLAN

GENERAL NOTES

- LAND USE, LAND USES SHALL BE GENERALLY LOCATED AS SHOWN ON THE PD MASTER PLAN. THE FOLLOWING USES ARE ALLOWED IN ANY LAND USE AREA: RECREATIONAL, TRAILS, PARKS, AND STORMWATER MANAGEMENT FACILITIES. AN AMENITY CENTER MAY BE PROVIDED IN DEVELOPABLE AREA 'A' OR 'B'. OPEN SPACE AREAS AND RECREATIONAL USES ARE ALLOWED IN DEVELOPABLE AREAS 'A', 'B', 'C', 'D', 'E', 'F', 'G', 'H', 'I', 'J', 'K', 'L', 'M', 'N', 'O', 'P', 'Q', 'R', 'S', 'T', 'U', 'V', 'W', 'X', 'Y', 'Z'. THE DEVELOPMENT SHALL CONSIST OF ONE PHASE AND MAY BE DEVELOPED ACCORDING TO PHASE CONSTRUCTION. THE DEVELOPMENT MAY BE DIVIDED INTO SMALLER LOTS ACCORDING TO THE FINAL PLAN TO CREATE A LOCAL AND/OR FUNCTIONAL DEVELOPMENT OR INFRASTRUCTURE INFRASTRUCTURE. EACH PHASE OR UNIT SHALL CONSTRUCT NECESSARY UTILITY SERVICES AND STORMWATER MANAGEMENT FACILITIES TO ENSURE PUBLIC HEALTH, SAFETY, AND WELFARE. THE AMENITY CENTER SHALL BE PROVIDED AT THE SAME TIME AS RECREATIONAL DEVELOPMENT OR BEFORE, BUT NOT AFTER, IF ATTACHED TO BUILDING UNITS ARE PROVIDED FOR THIS PLAN. AN INFRASTRUCTURE PLAN WILL BE REQUIRED FOR UTILITY SERVICES AND RIGHT-OF-WAY ACCESS TO SOME DEVELOPMENT.
- LOT BACKS AND SEPARATIONS, HOUSING UNITS AND DESIGN SHALL AT A MINIMUM MEET THE REQUIREMENT OF THE FLORIDA BUILDING CODE. NOTWITHSTANDING THE BACKS ESTABLISHED WITHIN EACH DEVELOPABLE AREA AND DEFINED ON THE PD MASTER PLAN, AN ACCESSORY STRUCTURE, SUCH AS A DETACHED GARAGE, MAY SHOWN A COMMON WALL WITH ADJACENT UNITS ON ADJACENT LOTS.
- OPEN SPACE, OPEN SPACE, AS DETERMINED APPLICABLE SECTIONS OF THE CITY AND THE PD MASTER PLAN SHALL ACCORD FOR A MINIMUM OF 10% OF THE COMPLETED PROJECT. OPEN SPACE AREAS MAY EXIST IN ANY LAND USE AREA AND MAY BE DEVELOPED AT ANY RATE. THESE AREAS MAY CONTAIN CONVEYANCY PROVISIONS OR ACTIVE RECREATION OPPORTUNITIES SUCH AS NATURE TRAILS, WALKWAYS, BIKEWAYS, AND OTHER RECREATION ACTIVITIES.
- CIRCULATION, THE CIRCULATION COMPONENT SHALL BE DESIGNED AS LAND USE AREA 'A' AND NOT INTENDED TO BE EXACT AND MAY BE MODIFIED TO MEET THE CITY, LOCAL, OR STATE REQUIREMENTS TO BE SEPARATE TO THE PARKWAY MAY BE CONSISTENT WITH THE TYPICAL SECTION WHEN THE MASTER PLAN AND SHALL BE REQUIRED TO MEET THE APPLICABLE LOCAL DESIGN CRITERIA, UNLESS OTHERWISE AUTHORIZED BY THE CITY COMMISSION THROUGH OR AS A RESULT, THE INTENTED ROADWAY NOT SHOWN ON THE MASTER PLAN ARE INTENDED TO BE NEIGHBORHOOD STREETS AND MAY NOT MEET THE ARTERIAL OR COLLECTOR ROADWAY CRITERIA.
- LANDSCAPE/VEGETATION RESPONSIBILITY, THE LANDSCAPE/VEGETATION RESPONSIBILITY FOR THE PROPOSED RIGHT-OF-WAY AREAS AND AREAS FOR CONSTRUCTING STREET INFRASTRUCTURE LOCATED IN THE PROPOSED PD DISTRICT INCLUDING BUT NOT LIMITED TO ELECTRICAL UTILITIES, TELEPHONE LINES, CABLE TV LINES, OR THE UNDERGROUND CONDUIT FOR UTILITIES, THE LANDSCAPE/VEGETATION RESPONSIBILITY FOR PROVIDING AREAS FOR PUBLIC INFRASTRUCTURE, AS REQUIRED BY CITY ORDINANCES, TO GUARANTEE CONSTRUCTION OF NECESSARY INFRASTRUCTURE AND IF REQUIRED BY THE CITY, TO GUARANTEE THE RESPONSIBILITY FOR THE PD IS A HOME THAT COMPLETES WITH CITY REQUIREMENTS. ALL FACILITIES BEING PROVIDED BY THE CITY SHALL BE OPERATED AND MAINTAINED BY A PROPERTY OWNERS ASSOCIATION FORMED AS PART OF THE SUBDIVISION PROCESS.
- ALLOWABLE LAND USE CLASSIFICATION(S), REQUIRED FOR APPLICABLE AREAS AND HAVING BEEN REVIEWED TO THE NEAREST TENTH OF AN ACRE.
- BLACK PAVEMENT, BLACK PAVEMENT SHALL BE MINIMUM 100' IN LENGTH AND 10' IN WIDTH. BLACK PAVEMENT SHALL BE USED TO CONNECT THESE NEIGHBORHOOD LOTS WITH EACH OTHER OR OTHER ELEMENTS OF THE PROPOSED PUBLIC UTILITY NETWORK INCLUDING WALKWAYS, BIKEWAYS, CROSSINGS, CHANGE IN MATERIALS, BULKHEADS, ETC. THESE PROVISIONS SHALL BE PRIVATELY MAINTAINED UNLESS A SEPARATE AGREEMENT HAS BEEN REACHED WITH THE CITY OF ALACHUA PUBLIC SERVICES.
- ARCHITECTURAL STANDARDS, ARCHITECTURAL STANDARDS AS SET OUT IN SECTION 4.1.1 ABOVE ARE APPLICABLE TO ALL BUILDINGS TO BE CONSTRUCTED WITHIN THIS PD. DESIGN FEATURES ARE GOVERNED BY USE ORDINANCES, STANDARDS IN SECTION 4.1.1 ABOVE ARE APPLICABLE TO ALL AREAS EXCEPT THOSE SPECIFICALLY NOTED OTHERWISE.
- ROADWAY STANDARDS, REGARDLESS OF OWNERSHIP OR MAINTENANCE OF STREETS, ALL SIDEWALKS AND CROSSINGS SHALL MEET FOOT CURE MINIMUM CHAPTER 227 PROVISIONS UNLESS OTHERWISE SPECIFIED IN THE PD MASTER PLAN.
- ACCESS EASEMENTS, DEVELOPABLE AREA 'B' UNITS MAY REQUIRE EASEMENTS TO PARTIALLY BE LOCATED ON ADJACENT LOTS. IF SIDE LOTS ARE USED, ACCESS EASEMENTS TO THE RIGHT AND, IN SOME CASES, LEFT, WILL HAVE ACCESS EASEMENTS OVER THE PORTION OF ADJACENT LOTS TO BE OBTAINED.
- ENVIRONMENTAL ASSESSMENT, AN ENVIRONMENTAL ASSESSMENT SHALL BE REQUIRED AT THE TIME OF FINAL PD PRELIMINARY PLAT PER AN APPROVAL THAT INCLUDES A NON-CORPUS FOREST AND BROWNSVILLE SURVEY-A CONDITION WILL BE REQUIRED THAT STANDARD MEASURES OF PROTECTION FOR EASTERN KINGDOM SNAILS, IF APPLICABLE.

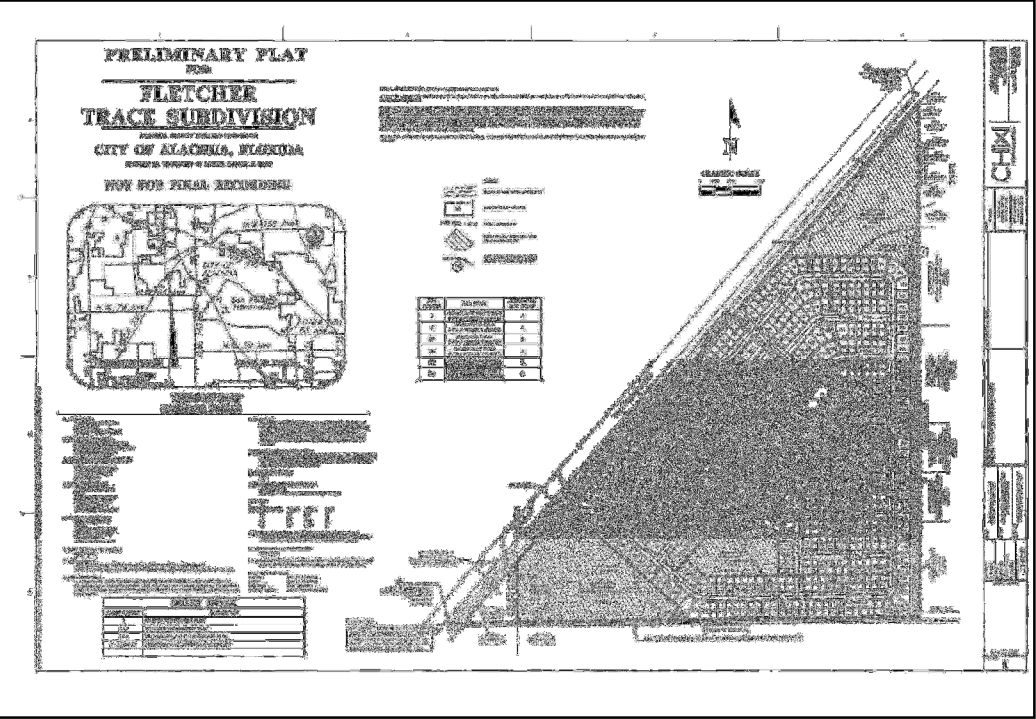
DEVELOPMENT STANDARDS					
	A	B	C	D	TOTAL
DENSITY MAX. (UNITS/ACRE)	3	5	6	5	4
DENSITY MAX. (UNITS)	379	106	28	6	472
LOT AREA, MIN. (SQ)	4,000	1,000	6,000	1,000	-
LOT WIDTH, MIN. (FT)	40	18	80	40	-
SETBACKS:					
FRONT, MIN. (FT)	10	10	10	10	-
REAR, MIN. (FT)	5	5	5	5	-
ACCESSORY SETBACKS:					
REAR, MIN. (FT)	2.5	0	2.5	2.5	-
FRONT, MIN. (FT)	2.5	0	2.5	2.5	-
AMENITY CENTER SETBACKS:					
FRONT, MIN. (FT)	20	20	-	-	-
REAR, MIN. (FT)	10	10	-	-	-
SIDE, MIN. (FT)	5	5	-	-	-
BUILDING STANDARDS:					
MINIMUM HEIGHT MAX. (FT)	45	45	45	45	-
LOT COVERAGE MAX. (% OF LOT)	60	75	60	60	-
NUMBER OF PHASES:	1	1	1	1	-
PARKING MIN. OFF-STREET (SPACES PER LOT)	2	2	2	2	-

LAND USE DATA		
HATCH	LAND USE AREA	AREA (SQ FT)
[Symbol]	PROJECT SITE	118.2
[Symbol]	DEVELOPABLE AREA 'A'	42.3
[Symbol]	DEVELOPABLE AREA 'B'	11.4
[Symbol]	DEVELOPABLE AREA 'C'	4.7
[Symbol]	DEVELOPABLE AREA 'D'	4.5
[Symbol]	BUFFER	5.5
[Symbol]	COMMON AREA	33.9
[Symbol]	RIGHTS-OF-WAY	15.8

9

Preliminary Plat

CHW



10

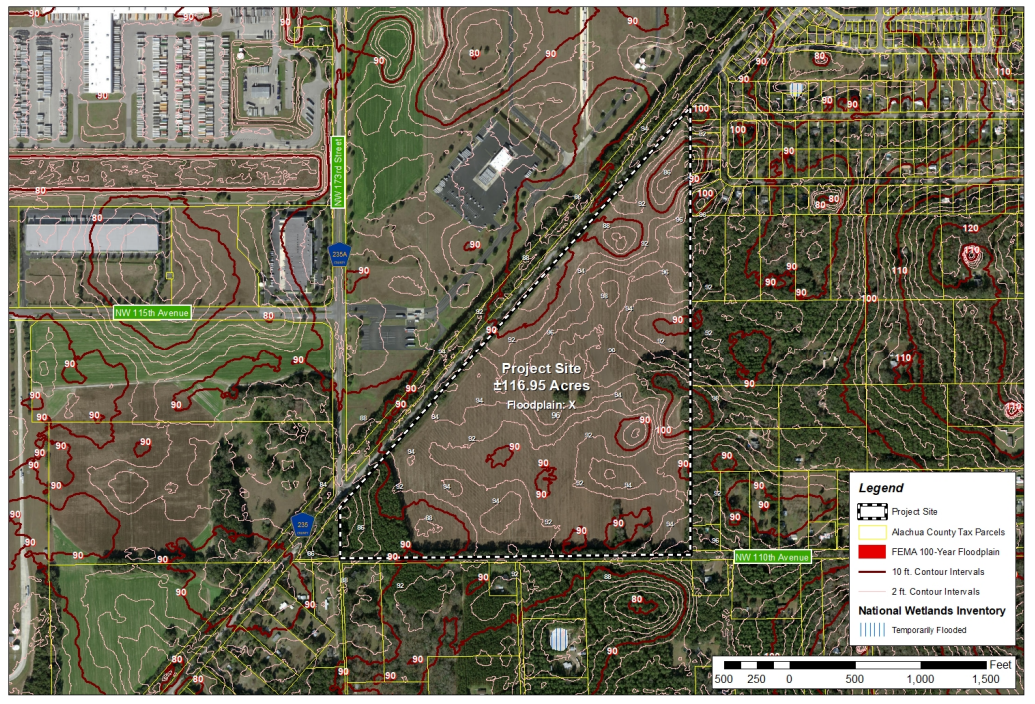
Contact Information

Address: 11801 Research Drive
Alachua, FL, 32615
Phone: (352) 331-1976
Email: Live@chw-inc.com



11

Environmental Map



12

Sign-in Sheet

SIGN-IN SHEET

Fletcher Trace

21-0297



Event: Neighborhood Meeting
Date/Time: June 23, 2022 @ 6:00 PM
Place: CHW Office – 11801 Research Drive, Alachua, FL, 32615
Re: Preliminary Plat Application

	<u>Print Name</u>	<u>Street Address</u>	<u>Signature</u>
1	Julie Frederick	11912 NW 1104 TRV	<i>Julie Frederick</i>
2	David Turner	17011 NW 110 Ave	<i>David Turner</i>
3	Eric Brandon-Turner	17011 N.W. 110 th AV	<i>Eric Brandon-Turner</i>
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			

Workshop Minutes

NEIGHBORHOOD MEETING MINUTES

Fletcher Trace Preliminary Plat

21-02-7



Event: Neighborhood Meeting
Date/Time: June 23, 2022 ☐ 6:00 PM
Place: CHW Office – 11801 Research Drive, Alachua, FL, 32615
Re: Preliminary Plat Application

CHW (Agent) Attendees: Nicola Cowap, PE ☐ Travis Hastay, PE ☐ Ryan Thompson, AICP
Public Attendees: 3

CHW, on behalf of Fletcher Family Companies, hosted the required Neighborhood Meeting and presented the following: the meeting's purpose; the application's request and intent; maps illustrating the site's regulatory and physical characteristics ☐ a conceptual master plan for the Planned Development ☐ and a preliminary plat illustration. ☐ Questions from public attendees are described below, with agent responses.

☐ Question: Will there be a front sidewalk along CR 235 ☐ Pedestrian interconnectivity is something I believe has great value so connecting sidewalks is important.

Response: We would not construct the sidewalk along our site's boundary. There are large trees along the frontage that we'd like to retain that a sidewalk would prevent. There are no sidewalks in either direction for a half a mile.

☐ Question: What does the construction timeline look like ☐

Response: The development will be constructed in phases based on market demand and the builder's ability to construct homes. Each phase will have between 30 to 50 homes and could take up to a year per phase. Each phase will be self-sufficient, meaning roads, utilities, stormwater management, etc. will serve the homes within that phase of future phases.

Comment: One of our big concerns is the traffic on CR 235. This section of CR 235 is already very backed up and the 110th and 235A intersections have wrecks frequently. On the same note, there are concerns that 110th will be used as a cut through and will make that intersection worse than it already is.

Response: A traffic study was conducted as part of this project. The traffic study indicated that we will be adding a turn lane to CR 235 to help alleviate traffic. In response to your feedback at the previous neighborhood meeting for the PD, we moved the entrance on CR 235 further away from the CR 235A intersection.

☐ Question: I have concerns about the noise from increased traffic. There are already trucks engine braking and a lack of car mufflers, is there anything to be done ☐

Response: This issue would be addressed by the City of Alachua's noise ordinance and code enforcement, which is challenging.

☐ Question: Is the applicant working with biologists with regards to wildlife habitats ☐

Response: An environmental study has been conducted and was submitted to the City. No significant environmental features were identified onsite.

☐ Question: What kind of landscaping will the development have ☐ Will the stormwater ponds be landscaped to provide habitat for wildlife ☐

Response: The stormwater basins will be dry ponds and will have grass bottoms with trees, etc. per the City's code. Our Landscape Architects will ensure that the plantings are native or well adapted species that are appropriate for the site's existing landscape. We are planning to retain as many existing trees as practicable.

Meeting was adjourned at approximately 7:15pm.

N:\2021\21-0297\Admin & Information\06-CHWS\220632 Minutes, Sign In\Minutes 220623 Fletcher Trace Prelim Plat NHWS.docx

☎ (904) 619-6521 | 8563 Argyle Business Loop, Suite 3, Jacksonville, FL 32244
☎ (352) 331-1976 | 11801 Research Drive, Alachua, FL 32615
☎ (352) 414-4621 | 101 NE 1st Avenue, Ocala, FL 34470

www.chw-inc.com

City of Alachua

PUBLIC SCHOOL STUDENT GENERATION CALCULATION FORM

PROJECT #

APPLICATION DATE

NAME & DESCRIPTION OF PROJECT

Fletcher Trace

Multi-phase single and multi-family development

PROJECT ADDRESS (Contact 911 Addressing @ 352.338.7361)

11305 NW 173rd St, Alachua, FL

Tax Parcel Numbers

03980-002-001

Acreage

118.20

DEVELOPMENT DATA (check all that apply)

Single Family

Multi Family

Exempt (See exemptions on page 2)

Number of Units

410

Number of Units

28

Level of Review

Pre-Application Conference

Preliminary

Final

Revised

Staff Administrative Review

A determination that there is adequate school capacity for a specific project will satisfy requirements for review for school concurrency for the periods of time consistent with the Interlocal Agreement and specified in local government land development regulations; an agreement by the School Board with the developer and local government is required to extend the period for approvals for phased projects beyond the generally applicable time period

EXPLANATION OF STUDENT GENERATION CALCULATION

Student Generation is calculated based on the type of residential development and the type of schools. The number of student stations (by school type - Elementary, Middle and High School) used for calculating the school concurrency impacts is equal to the number of dwelling units by housing type multiplied by the student generation multiplier (for housing type & school type) established by the School Board. Calculations are rounded to the nearest whole number. Student Generation for each school type is calculated individually to assess the impact on the **School Concurrency Service Area (SCSA)** for each school type (Elementary, Middle and High School).

SCHOOL CONCURRENCY SERVICE AREAS (SCSA) FOR PROJECT LOCATION

Based on the project location, please identify the corresponding School Concurrency Service Areas for each school type. Maps of the SCSAs may be viewed on the Alachua County Public Schools website.

SCHOOL CONCURRENCY SERVICE AREAS (SCSA)

Elementary

Northwest Alachua

Middle

Mebane

High

Santa Fe

SINGLE FAMILY RESIDENTIAL DEVELOPMENT STUDENT GENERATION CALCULATIONS

ELEMENTARY	<input type="text" value="410"/>	units X 0.12 Elementary School Multiplier	<input type="text" value="50"/>	Student Stations
MIDDLE	<input type="text" value="410"/>	units X 0.06 Middle School Multiplier	<input type="text" value="25"/>	Student Stations
HIGH	<input type="text" value="410"/>	units X 0.09 High School Multiplier	<input type="text" value="37"/>	Student Stations

MULTI FAMILY RESIDENTIAL DEVELOPMENT STUDENT GENERATION CALCULATIONS

ELEMENTARY	<input type="text" value="28"/>	units X 0.06 Elementary School Multiplier	<input type="text" value="2"/>	Student Stations
MIDDLE	<input type="text" value="28"/>	units X 0.03 Middle School Multiplier	<input type="text" value="1"/>	Student Stations
HIGH	<input type="text" value="28"/>	units X 0.03 High School Multiplier	<input type="text" value="1"/>	Student Stations

Source: School Board of Alachua County 2021 Student Generation Multiplier Analysis

EXEMPT DEVELOPMENTS (click all that apply)

- Existing legal lots eligible for a building permit
- Development that includes residential uses that has received final development plan approval prior to the effective date for public school concurrency, or has received development plan approval prior to June 24, 2008, provided the development approval has not expired
- Amendments to final development orders for residential development approved prior to the effective date for public school concurrency, and which do not increase the number of students generated by the development
- Age-restricted developments that prohibit permanent occupancy by persons of school age, provided this condition is satisfied in accordance with the standards of the Public School Facilities Element or the ILA
- Group quarters that do not generate public school students, as described in the ILA

AUTHORIZED AGENT

Name:

Mailing Address:

Phone:

Email:

PROPERTY OWNER

Name:

Mailing Address

Phone:

Email

CERTIFICATION

PROJECT NAME :

PROJECT #:

This application for a determination of the adequacy of public schools to accommodate the public school students generated by the subject development has been reviewed for compliance with the school concurrency management program and in accordance with the ILA. The following determinations have been made:

Approved based upon the following findings (see 09.14.2022 Capacity Table)

Elementary SCSA

Capacity Required

- Capacity Available
- Capacity Available in 5 yrs*
- Capacity Available in Adjacent SCSA

Available Capacity
 Available Capacity
 Available Capacity

Middle SCSA

Capacity Required

- Capacity Available
- Capacity Available in 5 yrs*
- Capacity Available in Adjacent SCSA

Available Capacity
 Available Capacity
 Available Capacity

High SCSA

- Capacity Available
- Capacity Available in 5 yrs*
- Capacity Available in Adjacent SCSA

Available Capacity
 Available Capacity
 Available Capacity

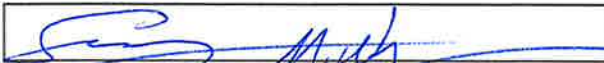
Denial for reasons stated

Approved by

City of Alachua Staff

School Board Staff Certification

A complete application for the development project was accepted on



Date:

Suzanne M. Wynn
Director, Facilities Planning and Construction
Alachua County Public Schools
352.955.7400 x 1445

Signed:

Date:

Printed Name:

*163.3180(6)(g), F.S. (2023)

LEGAL DESCRIPTION



DATE: May 27, 2022
PROJECT NAME: Fletcher Trace
PROJECT NO: 21-0297
DESCRIPTION FOR: Parcel 03980-002-001

A TRACT OF LAND SITUATED IN SECTION 28, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT AN IRON PIPE AT THE SOUTHWEST CORNER OF THE AFOREMENTIONED SECTION 28, TOWNSHIP 8 SOUTH, RANGE 18 EAST FOR THE POINT OF BEGINNING AND RUN N.00°42'43"E., ALONG THE WEST LINE OF SAID SECTION, A DISTANCE OF 402.89 FEET TO THE SOUTHEASTERLY RIGHT OF WAY LINE OF COUNTY ROAD NO. 235 (100 FOOT RIGHT OF WAY); THENCE RUN N.41°53'43"E., ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 4071.41 FEET TO A CONCRETE MONUMENT; THENCE RUN S.01°01'49"W., A DISTANCE OF 827.97 FEET TO A CONCRETE MONUMENT AT THE NORTHWEST CORNER OF THE SOUTHEAST 1/4 OF SAID SECTION 28; THENCE RUN S.00°32'41"W., ALONG THE WEST LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 2612.87 FEET TO AN IRON PIPE AT THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 28, THENCE RUN N.89°50'54"W., ALONG THE SOUTH LINE OF SAID SECTION 28, A DISTANCE OF 2684.07 FEET TO THE POINT OF BEGINNING, CONTAINING 118.191 ACRES, MORE OR LESS.

SUBJECT TO MAINTAINED RIGHT OF WAY OF COUNTY ROAD N.W. 110TH AVENUE (FORMERLY KNOWN AS COUNTY ROAD NO. N.W 28) ALONG THE SOUTH BOUNDARY THEREOF

Prepared by and return to:
Kelley D. Jones, Attorney at Law
Scruggs, Carmichael & Wershow, P.A.
4923 N.W. 43rd Street
Gainesville, FL 32606
2024-00397

RECORDED IN OFFICIAL RECORDS
INSTRUMENT # 3605467 3 PG(S)
2/7/2025 8:44 AM
BOOK 5198 PAGE 2189
J.K. JESS IRBY, ESQ.--Clerk
Clerk of the Court, Alachua County, Florida
ERECORDED Receipt # 1248679
Doc Stamp-Mort: \$0.00
Doc Stamp-Deed: \$24,780.00
Intang. Tax: \$0.00

Sales Price - \$3,540,000.00
Recording Fee - \$27.00

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 4th day of February, 2025 between

Waco Properties, Inc., a Florida corporation, formerly Waco of Alabama, Inc., a Florida corporation, formerly Wade Alabama Corporation, successor by merger to Waco, Inc., qualified to do business in Florida as Waco of Alabama, Inc., an Alabama corporation,
whose address is: 569 Edgewood Avenue South, Jacksonville, FL 32205, Grantor, and

Fletcher Development, LLC, a Florida Limited Liability Company,
whose address is: 4510 NW 6th Place, 3rd Floor, Gainesville, FL 32607, Grantee:

(Whenever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

WITNESSETH, that said Grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Alachua County Florida to-wit:

See Exhibit "A" attached hereto and made a part hereof as if fully set forth herein.

Parcel Identification Number: 03980-002-001

Subject to taxes for 2025 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2024.

Warranty Deed

Page 2

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Karen Mayer
Witness Name: Karen Mayer
Witness Address: 569 Edgewood Ave. S.
Jax, FL 32205

Joanne Mondares
Witness Name: Joanne Mondares
Witness Address: 569 Edgewood Ave S
Jax, FL 32205

Waco Properties, Inc., a Florida corporation

By: [Signature]
Donald W. McArthur, IV, President

(Corporate Seal)

State of Florida
County of Duval

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 4th day of February, 2025 by Donald W. McArthur, IV, President of Waco Properties, Inc., a Florida corporation, on behalf of the corporation. He/she is personally known to me or has produced a driver's license as identification.

[Notary Seal]

Karen Mayer
Notary Public

Printed Name: Karen Mayer

My Commission Expires: 1-9-26

Karen D. Mayer
Notary Public State of Florida
Expires: 01/09/2026
Commission No. HH193144

Exhibit A

A tract of land situated in Section 28, Township 8 South, Range 18 East, Alachua County, Florida, said tract of land being more particularly described as follows:

Commence at an iron pipe at the Southwest corner of the aforementioned Section 28, Township 8 South, Range 18 East for the Point of Beginning and run N.00°42'43"E., along the West line of said section, a distance of 402.89 feet to the Southeasterly right of way line of County Road No. 235 (100 foot right of way); thence run N.41°53'43"E., along said right of way line, a distance of 4071.41 feet to a concrete monument; thence run S.01°01'49"W., a distance of 827.97 feet to a concrete monument at the Northwest corner of the Southeast 1/4 of said Section 28; thence run S.00°32'41"W., along the West line of said Southeast 1/4, a distance of 2612.87 feet to an iron pipe at the Southeast corner of the Southwest 1/4 of said Section 28; thence run N.89°50'54"W., along the South line of said Section 28, a distance of 2684.07 feet to the Point of Beginning.

Subject to the maintained right of way of County Road N.W. 110th Avenue (formerly known as County Road N.W. 28) along the South boundary thereof.

Parcel Identification Number: 03980-002-001

Storm / Calamity Damage Form

Storm / Calamity Damage Form

If you have experienced storm damage to your house, building or other structure we need to know about it.

Sign up for Title Alert

Parcel Summary

Parcel ID 03980-002-001
Prop ID 15963 No Image Available
Location Address 11305 NW 173RD ST
 ALACHUA, FL 32615
Neighborhood/Area 233200.60
Subdivision
Legal Description W1/2 LESS R/W SR 235 & SR 235 A & SCL R/W ALSO THAT PART OF E1/2 LYING W OF ACL RR & N 1628.57 FT OF NE1/4 LYING E OF R/R LESS 1 ACRE(LESS THAT PT OF THE FOLLOWING LYING IN SEC 28-8-18: COM SW COR SEC 21-8-18 E 50 FT POB N 378.09 FT N 59 DEG E 2418 FT S 3
(Note: *The Description above is not to be used on legal documents.)
Property Use Code CROPSOIL CLASS2 (05200)
Sec/Twp/Rng 28-08-18
Tax Area ALACHUA (1700)
Acres 80.71
Homesteaded False

[View Map](#)

Millage Rate Value

Millage Rate: 21.8322

Owner Information

[FLETCHER DEVELOPMENT LLC](#)
 4510 NW 6TH PL 3RD FL
 GAINESVILLE, FL 32607

Working Valuation

	2025 Working Values
Improvement Value	\$0
Land Value	\$0
Land Agricultural Value	\$22,599
Agricultural (Market) Value	\$3,515,728
Just (Market) Value	\$3,515,728
Assessed Value	\$22,599
Exempt Value	\$0
Taxable Value	\$22,599
Maximum Save Our Homes Portability	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

Valuation

Certified Year	2024	2023	2022	2021	2020
Just Market Value	\$1,937,040	\$1,937,040	\$1,937,040	\$1,452,780	\$1,576,980
Land Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$1,937,040	\$1,937,040	\$1,937,040	\$1,452,780	\$1,576,980
Agricultural Classified Value	\$22,599	\$22,599	\$22,599	\$22,599	\$24,531
Improvement Value	\$0	\$0	\$0	\$0	\$0
Non School Assessed Value	\$22,599	\$22,599	\$22,599	\$22,599	\$24,531
School Assessed Value	\$22,599	\$22,599	\$22,599	\$22,599	\$24,531
Exempt Value	\$0	\$0	\$0	\$0	\$0
Non School Taxable Value	\$22,599	\$22,599	\$22,599	\$22,599	\$24,531

Certified Year	2024	2023	2022	2021	2020
School Taxable Value	\$22,599	\$22,599	\$22,599	\$22,599	\$24,531
Save Our Homes Deferred Value	\$0	\$0	\$0	\$0	\$0
Non-Save Our Homes Deferred Value	\$0	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice

- [2025 TRIM Notice \(PDF\)](#)
- [2024 TRIM Notice \(PDF\)](#)
- [2023 TRIM Notice \(PDF\)](#)

Land Information

Land Use	Land Use Desc	Acres	Square Feet	Eff. Frontage	Depth	Zoning
5200	CROPLAND 2	80.71	3515727.6	0	0	PD-R

Sales

Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee	Link to Official Records
2/4/2025	\$3,540,000	WD	5198	2189	Qualified (Q)	Vacant	WACO OF ALABAMA INC	FLETCHER DEVELOPMENT LLC	Link (Clerk)
11/10/1997	\$325,000	SD	2140	1834	Unqualified (U)	Vacant	* INTERNATIONAL BUSINESS MACHI	WACO OF ALABAMA INC	Link (Clerk)
11/10/1997	\$652,000	MS	2140	1827	Unqualified (U)	Vacant	* INTERNATIONAL BUSINESS MACHI	* INTERNATIONAL BUSINESS MACHI	Link (Clerk)

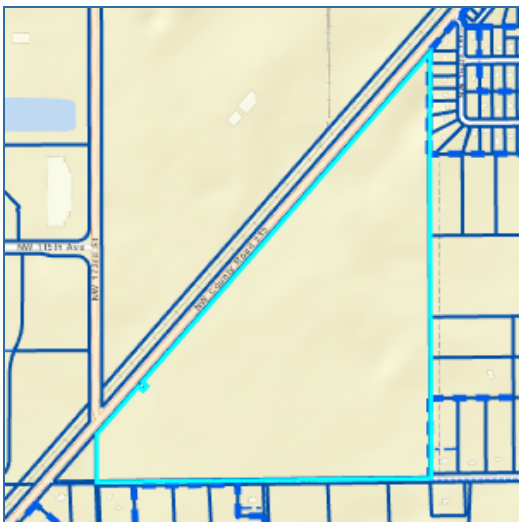
Official Public Records information is provided by the Alachua County Clerk's Office. Clicking on these links will direct you to their web site displaying the document details for this specific transaction.

Permits

Permit Number	Type	Primary	Active	Issue Date	Value
A8-09-1470	FIRE ALARM	Yes	No	9/17/2009	\$30,000
AL07-11158	FIRE SPR. SYS.	Yes	No	9/5/2007	\$118,500
AL06-10730	COMMERCIAL BUILDING	Yes	No	10/11/2006	\$204,865

Our permitting information is pulled from the Alachua County Permitting Offices. Permitting information shown here is all the Property Appraiser has on file for this property. Any detailed questions about permits should be directed to the Permitting Offices.

Map



No data available for the following modules: Working in Progress Parcel, Building Information, Sub Area, Extra Features, Sketches, Photos.

This web application and the data herein is prepared for the inventory of real property found within Alachua County and is compiled from recorded deeds, plats, and other public records and data. Users of this web application and the data herein are hereby notified that the aforementioned public primary information sources should be consulted for verification of the information. Alachua County Property Appraiser's Office assumes no legal responsibility for the information contained herein.
[| User Privacy Policy](#) | [GDPR Privacy Notice](#)
[Last Data Upload: 9/2/2025, 10:38:46 PM](#)

[Contact Us](#)





2025 REAL ESTATE TRIM NOTICE

NOTICE OF PROPOSED PROPERTY TAXES AND
 PROPOSED OR ADOPTED NON-AD VALOREM
 ASSESSMENTS ALACHUA COUNTY TAXING AUTHORITIES

DO NOT PAY
THIS IS NOT A BILL

Site Address:
 11305 NW 173RD ST ALACHUA, FL 32615



Prop ID: 15963

TAX CODE: 1700

Geo ID:
 03980-002-001

FLETCHER DEVELOPMENT LLC
 4510 NW 6TH PL 3RD FL
 GAINESVILLE, FL 32607

Legal Description of Property:
 W1/2 LESS R/W SR 235 & SR 235 A & SCL R/W ALSO
 THAT PART OF E1/2 LYING W OF ACL RR & N 1628.57
 FT OF NE1/4 LYING E OF R/R LESS 1 ACRE(LESS
 THAT PT OF THE FOLLOWING LYING IN SEC 28-8-18:
 COM SW COR SEC 21-8-18 E 50 FT POB N 378.09 FT
 N 59 DEG E 2418 FT S 3

TAXING AUTHORITY TAX INFORMATION								
TAXING AUTHORITY	PRIOR (2024) TAXABLE VALUE	YOUR FINAL TAX RATE AND TAXES LAST YEAR (2024)		CURRENT (2025) TAXABLE VALUE	YOUR TAX RATE AND TAXES THIS YEAR IF NO BUDGET CHANGE IS MADE		YOUR TAX RATE AND TAXES THIS YEAR IF PROPOSED BUDGET CHANGE IS MADE	
	COLUMN 1	COLUMN 2 RATE	COLUMN 3 TAXES	COLUMN 4	COLUMN 5 RATE	COLUMN 6 TAXES	COLUMN 7 RATE	COLUMN 8 TAXES
County								
COUNTY GENERAL	22,599	7.6180	172.16	22,599	7.1455	161.48	7.6000	171.75
School								
BY STATE LAW	22,599	3.0130	68.09	22,599	2.8629	64.70	3.0030	67.86
BY LOCAL BOARD	22,599	3.2480	73.40	22,599	3.0862	69.74	3.2480	73.40
Municipality								
ALACHUA	22,599	5.9500	134.46	22,599	5.7413	129.75	6.2500	141.24
Water Management District								
SUWANNEE WATER	22,599	0.2936	6.64	22,599	0.2812	6.35	0.2812	6.35
Independent Special District								
LIBRARY	22,599	1.0000	22.60	22,599	0.9374	21.18	1.0000	22.60
CHILDREN'S TRUST	22,599	0.4500	10.17	22,599	0.4218	9.53	0.4500	10.17
TOTAL AD VALOREM PROPERTY TAXES			487.52			462.73		493.37
TOTAL AD VALOREM PROPERTY TAXES			487.52			462.73		493.37
TOTAL NON-AD VALOREM PROPERTY TAXES			0.00			0.00		0.00
TOTAL TAXES			487.52			462.73		493.37

PROPERTY APPRAISER VALUE INFORMATION			
	MARKET VALUE	ASSESSED VALUE APPLIES TO SCHOOL MILLAGE	ASSESSED VALUE APPLIES TO NON-SCHOOL MILLAGE
PRIOR YEAR (2024)	1,937,040	22,599	22,599
CURRENT YEAR (2025)	3,515,728	22,599	22,599

Applied Assessment Reductions	Applies To	Prior Value (2024)	Current Value (2025)
Save Our Homes	All Taxes	0	0
10% Cap on Non-Homestead	Non-School Taxes	0	0
Agricultural Classification	All Taxes	1,914,441	3,493,129
Other	All Taxes	0	0

If you feel that the market value of your property is inaccurate or does not reflect fair market value as of January 1, 2025, or if you are entitled to an exemption or classification that is not reflected above, please contact the ALACHUA COUNTY PROPERTY APPRAISER at:

**515 N Main St. Suite 200,
 Gainesville, FL 32601.
 352-374-5230**

Exemptions	Applies To	Prior Value (2024)	Current Value (2025)
FIRST HOMESTEAD	ALL TAXES	0	0
ADDITIONAL HOMESTEAD	NON-SCHOOL TAXES	0	0
SENIOR HOMESTEAD EXEMPTION	COUNTY TAXES	0	0
SENIOR EXEMPTION	CITY TAXES ONLY	0	0
WIDOW/WIDOWER	ALL TAXES	0	0
DISABILITY	ALL TAXES	0	0
VETERANS	ALL TAXES	0	0
CONSERVATION	ALL TAXES	0	0
OTHER	ALL TAXES	0	0

If the Property Appraiser's Office is unable to resolve the matter as to market value, classification, or an exemption, you may file a petition for an adjustment with the Value Adjustment Board. Petition forms are available from the Property Appraiser and must be filed on or before **September 15, 2025 5:00pm.**

SEE REVERSE SIDE FOR NON-ADVALOREM ASSESSMENTS AND EXPLANATIONS OF THE COLUMNS ABOVE

Alachua County Notice of Proposed Property Taxes

The Taxing Authorities which levy property taxes against your property will soon hold **PUBLIC HEARINGS** to adopt budgets and tax rates for the next year. The purpose of the **PUBLIC HEARINGS** is to receive opinions from the general public and to answer questions on the proposed tax change and budget **PRIOR TO TAKING FINAL ACTION**. Each Taxing Authority may **AMEND OR ALTER** its proposals at the hearing.

TAXING AUTHORITY HEARING INFORMATION	
TAXING AUTHORITY	PUBLIC HEARING DATE, LOCATION AND TIME
County COUNTY GENERAL	September 11, 2025 at 5:01 PM 12 SE 1st St, County Admin, 2nd Floor 352-374-5262
School BY STATE LAW	September 9, 2025 at 5:30 PM 620 E University Ave. 352-955-7559
BY LOCAL BOARD	September 9, 2025 at 5:30 PM 620 E University Ave. 352-955-7559
Municipality ALACHUA	September 8, 2025 at 6:00 PM City Hall, 15100 NW 142nd Terrace. 386-418-6100
Water Management District SUWANNEE WATER	September 9, 2025 at 5:05 PM 9225 CR 49, Live Oak, FL 32060 or https://www.mysuwanneeriver.com 386-362-1001
Independent Special District LIBRARY	September 10, 2025 at 5:15 PM Room A, 401 E University Ave. 352-334-3900
CHILDREN'S TRUST	September 8, 2025 at 5:01 PM 4010 NW 25 Place Gainesville 32606

YOUR FINAL TAX BILL MAY CONTAIN NON-AD VALOREM ASSESSMENTS WHICH MAY NOT BE REFLECTED ON THIS NOTICE SUCH AS ASSESSMENTS FOR ROADS, FIRE, GARBAGE, LIGHTING, DRAINAGE, WATER, SEWAGE OR OTHER GOVERNMENTAL SERVICES AND FACILITIES WHICH MAY BE LEVIED BY YOUR COUNTY, CITY, SPECIAL DISTRICTS OR OTHER TAXING AUTHORITY.

NOTE: Non-ad valorem assessments are placed on this notice at the request of the respective local governing boards. Your tax collector will be including them on the November tax notice. For details on particular non-ad valorem assessments, contact the levying local governing board.

NOTE: Amounts shown on this form do not reflect early payment discounts you may have received or may be eligible to receive. (Discounts are a maximum of 4 percent of the amounts shown on this form.)

NON-AD VALOREM ASSESSMENTS				
LEVYING AUTHORITY	PURPOSE OF ASSESSMENT	UNITS	RATE	ASSESSMENT
	Provided on this notice at request of respective governing boards. Tax Collector will include on November tax notice.			
COUNTY	550 COUNTY FIRE SERVICES 352-384-3101	1		0.00
TOTAL ASSESSMENTS				

EXPLANATION OF "TAXING AUTHORITY TAX INFORMATION" SECTION
COLUMN 1 - "PRIOR TAXABLE VALUE" This column shows the prior assessed value less all applicable exemptions used in the calculation of taxes for that specific taxing authority.
COLUMN 2 & 3 - "YOUR FINAL TAX RATE AND TAXES LAST YEAR" These columns show the tax rate and taxes that applied last year to your property. These amounts were based on budgets adopted last year and your property's previous taxable value.
COLUMN 4 - "YOUR CURRENT TAXABLE VALUE" This column shows the current assessed value less all applicable exemptions used in the calculation of taxes for that specific taxing authority. Various taxable values in this column may indicate the impact of Limited Income Senior or the Additional Homestead exemption. Current year taxable values are as of January 1, 2025.
COLUMN 5 & 6 - "YOUR TAX RATE AND TAXES IF NO BUDGET CHANGE IS MADE" These columns show what your tax rate and taxes will be IF EACH TAXING AUTHORITY DOES NOT CHANGE ITS PROPERTY TAX LEVY. These amounts are based on last year's budgets and your current assessment.
COLUMN 7 & 8 - "YOUR TAX RATE AND TAXES IF PROPOSED BUDGET CHANGE IS MADE" These columns show what your tax rate and taxes will be this year under the BUDGET ACTUALLY PROPOSED by each taxing authority. The proposal is NOT final and may be amended at the public hearings shown at the top of this notice. The difference between columns 6 and 8 is the tax change proposed by each local taxing authority and is NOT the result of higher assessments.

EXPLANATION OF "PROPERTY APPRAISER VALUE INFORMATION" SECTION
MARKET (JUST) VALUE - The most probable sale price for a property in a competitive, open market involving a willing buyer and a willing seller.
ASSESSED VALUE - The value of your property after any "assessment reductions" have been applied. This value may also reflect an agricultural classification. If "assessment reductions" are applied or an agricultural classification is granted, the assessed value will be different for School versus Non-School taxing authorities and for the purpose of calculating tax levies.
APPLIED ASSESSMENT REDUCTION - Properties can receive an assessment reduction for a number of reasons including the Save Our Homes Benefit and the 10% non-homestead property assessment limitation. Agricultural Classification is not an assessment reduction, it is an assessment determined per Florida Statute 193.461.
EXEMPTIONS - Any exemption that impacts your property is listed in this section along with its corresponding exemption value. Specific dollar or percentage reductions in assessed value may be applicable to a property based upon certain qualifications of the property or property owner. In some cases, an exemption's value may vary depending on the taxing authority.
TAXABLE VALUE - Taxable value is the value used to calculate the tax due on your property. Taxable value is the assessed value minus the value of your exemptions.

For more information concerning this Notice of Proposed Property Taxes please visit our website at www.acpafil.org



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
 FLETCHER DEVELOPMENT, LLC

Filing Information

Document Number L12000156029
FEI/EIN Number 46-1615848
Date Filed 12/13/2012
State FL
Status ACTIVE

Principal Address

4510 NW 6TH PLACE, 3RD FLOOR
 GAINESVILLE, FL 32607

Mailing Address

4510 NW 6TH PLACE, 3RD FLOOR
 GAINESVILLE, FL 32607

Registered Agent Name & Address

FLETCHER, Blake
 4510 NW 6TH PLACE, 3RD FLOOR
 GAINESVILLE, FL 32607

Name Changed: 04/29/2015

Authorized Person(s) Detail

Name & Address

Title Manager

FLETCHER, BLAKE
 4510 NW 6TH PLACE, 3RD FLOOR
 GAINESVILLE, FL 32607

Annual Reports

Report Year	Filed Date
2023	03/02/2023
2024	04/03/2024
2025	03/24/2025

Document Images

03/24/2025 -- ANNUAL REPORT	View image in PDF format
04/03/2024 -- ANNUAL REPORT	View image in PDF format
03/02/2023 -- ANNUAL REPORT	View image in PDF format
04/13/2022 -- ANNUAL REPORT	View image in PDF format
04/01/2021 -- ANNUAL REPORT	View image in PDF format
06/29/2020 -- ANNUAL REPORT	View image in PDF format
09/26/2019 -- ANNUAL REPORT	View image in PDF format
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Florida Department of State, Division of Corporations

Traffic Impact Analysis



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1. EXECUTIVE SUMMARY

CHW Professional Consultants, Inc. (CHW) has prepared the following Traffic Impact Analysis (TIA) for a development proposed on the south side of CR 235, just east of CR 235A, in the City of Alachua, Florida. The development is commonly referred to as Fletcher Trace. The concept plan for the proposed development is provided in **Appendix A**.

The purpose of this study is to identify the transportation impacts of the proposed project on the transportation network and if deficiencies are identified to recommend mitigation strategies to address the deficiencies. This TIA is required by Alachua County, and the City of Alachua. The study is being prepared for Fletcher Family Companies and is in conformance with the methodology letter submitted on May 26, 2022, see **Appendix B**.

The following developments are being proposed at this site, with an anticipated 2029 build-out:

- 344 Dwelling Units – Single-Family Detached Housing
- 128 Dwelling Units – Multifamily Housing (Low-Rise)

The following site access type and locations are being proposed:

- Full access at the CR 235/Proposed North Site Access intersection□and
- Full access at the CR 235/ Proposed South Site Access intersection□

2. STUDY INTERSECTIONS AND SEGMENTS

2.1. Study Intersections

CHW, in coordination with Alachua County, and the City of Alachua and identified the following intersections to be significantly impacted by the proposed development. The study area intersections are provided in **Figure 1**.

- NW 140th Street (CR 235)/CR 2054 (Peggy Road) intersection
- CR 235A (NW 173rd Street)/CR 2054 (Peggy Road) intersection
- CR 235/Proposed North Site Access intersection
- CR 235/ Proposed South Site Access intersection
- CR 235/CR 235A (NW 173rd Street) intersection
- CR 235/NW 78th Avenue (CR 232) intersection.

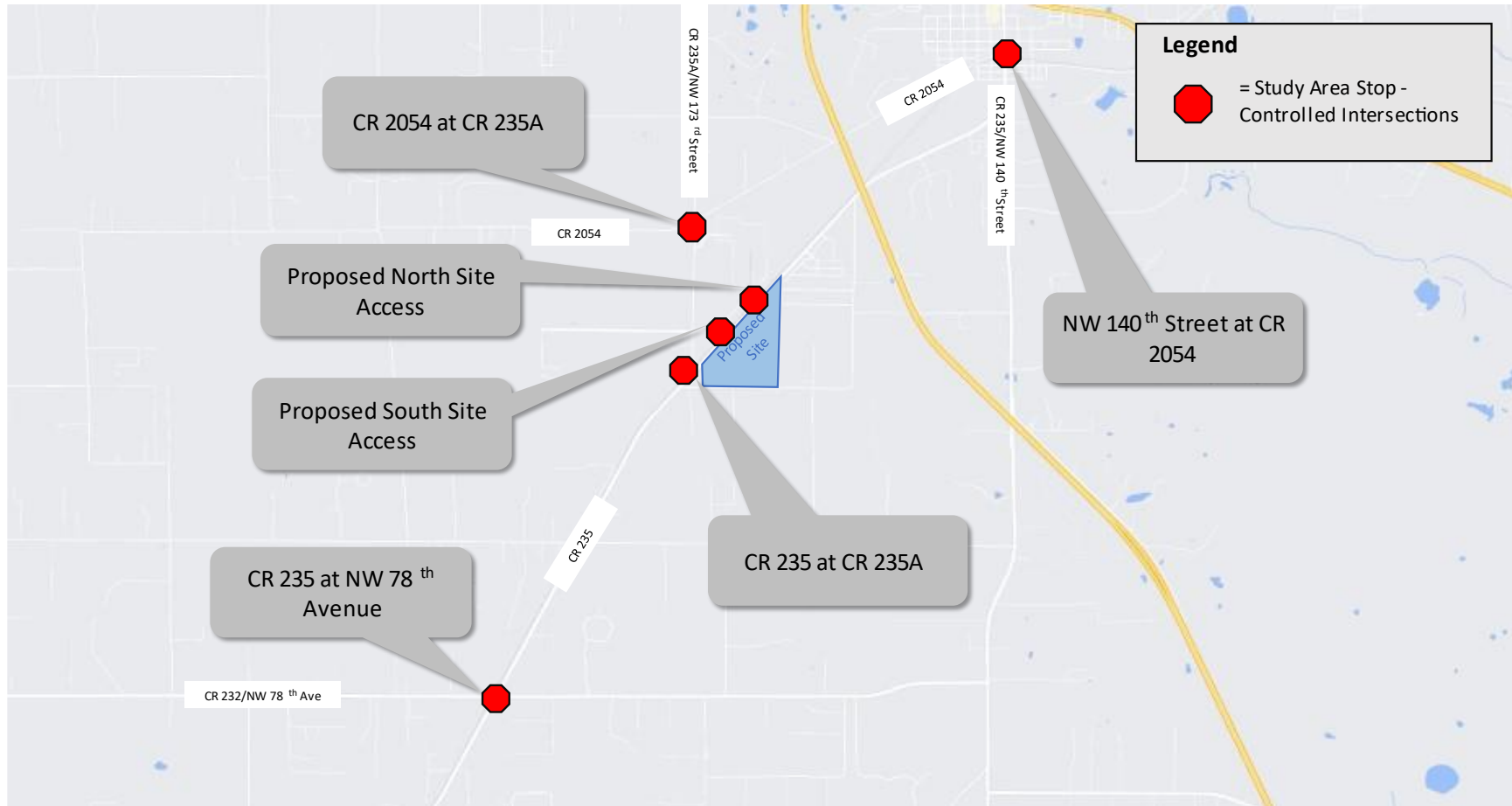
2.2. Study Roadway Segments

CR 235 and CR 235A are 2-lane collector roads adjacent to the project that were evaluated as part of this study. If the anticipated project trip exceed 5% of the maximum service volume (MSV), the roadway was further analyzed to determine whether the build-out condition exceeds the MSV. As demonstrated in **Table 1** CR 235 from NW 143rd Place to South City limit, exceeds 5% of the maximum service volume, so an this roadway segment is studied in Section 6.3.

Table 1: Study Roadway Segments Determination

ROAD NAME	FROM	TO	Comp. Plan MSV ¹	Net New Total Daily Project Trips ²	Trip Dist % ³	Net New Total Project Trips	% (Net New Total Project Trips MSV)	Include in Study Area (Y/N)
CR 235	NW 143RD PLACE	SOUTH CITY LIMIT	15,120	4,040	67%	2,707	17.90%	Y
CR 235A	US 441	CR 235	15,120		9%	364	2.41%	N

Figure 1 Study Intersections



3. TRIP GENERATION

The Institute of Transportation Engineer’s (ITE) Trip Generation Manual, 11th Edition was used to develop the trip generation for the site. The trip generation is provided in **Table 2**.

Table 2 Fletcher Trace Trip Generation

Fletcher Trace Trip Generation									
Land Use	ITE LU Code	Variable DU	Daily	AM Peak			PM Peak		
				Total	In	Out	Total	In	Out
Phase 1									
Single-Family Detached Housing	210	344	3,144	229	60	169	317	200	117
Multifamily Housing (Low-Rise)	220	128	896	63	15	48	76	48	28
<i>Total</i>			<i>4,040</i>	<i>292</i>	<i>75</i>	<i>217</i>	<i>393</i>	<i>248</i>	<i>145</i>

4. DATA COLLECTION

Turning movement counts were collected during the AM and PM peak hours on April 19th, 2022, for the following intersections: NW 140th Street/CR 2054 intersection, CR 235A /CR 2054 intersection, CR 235/CR 235A intersection and CR 235 at CR 232/NW 78th Avenue. The raw count data is provided in **Appendix C**.

The count data was adjusted based on the seasonal adjustment factor. **Figure 2** provides the existing (peak season) turning movements at the study intersections.

Reserved trips provided by the City of Alachua were included to the background volumes where applicable, as provided in **Appendix D**.

The project has an anticipated full build-out in 2029. Growth rates were determined based on historical ADT where available to derive the 2029 background volumes. A minimum of 1.0% yearly growth rate was used for roadways with historical growth rates less than 1.0% and 2.0% for roadways with no historical growth rates. **Appendix E** provides the data used to determine the peak season and background traffic volumes. **Appendix F** provides the peak season and background turning movements at all study intersections in tabular form. **Figure 3** illustrates the background conditions for 2029 at all study intersections.

Figure 2 Existing (Peak Season) Turning Movements

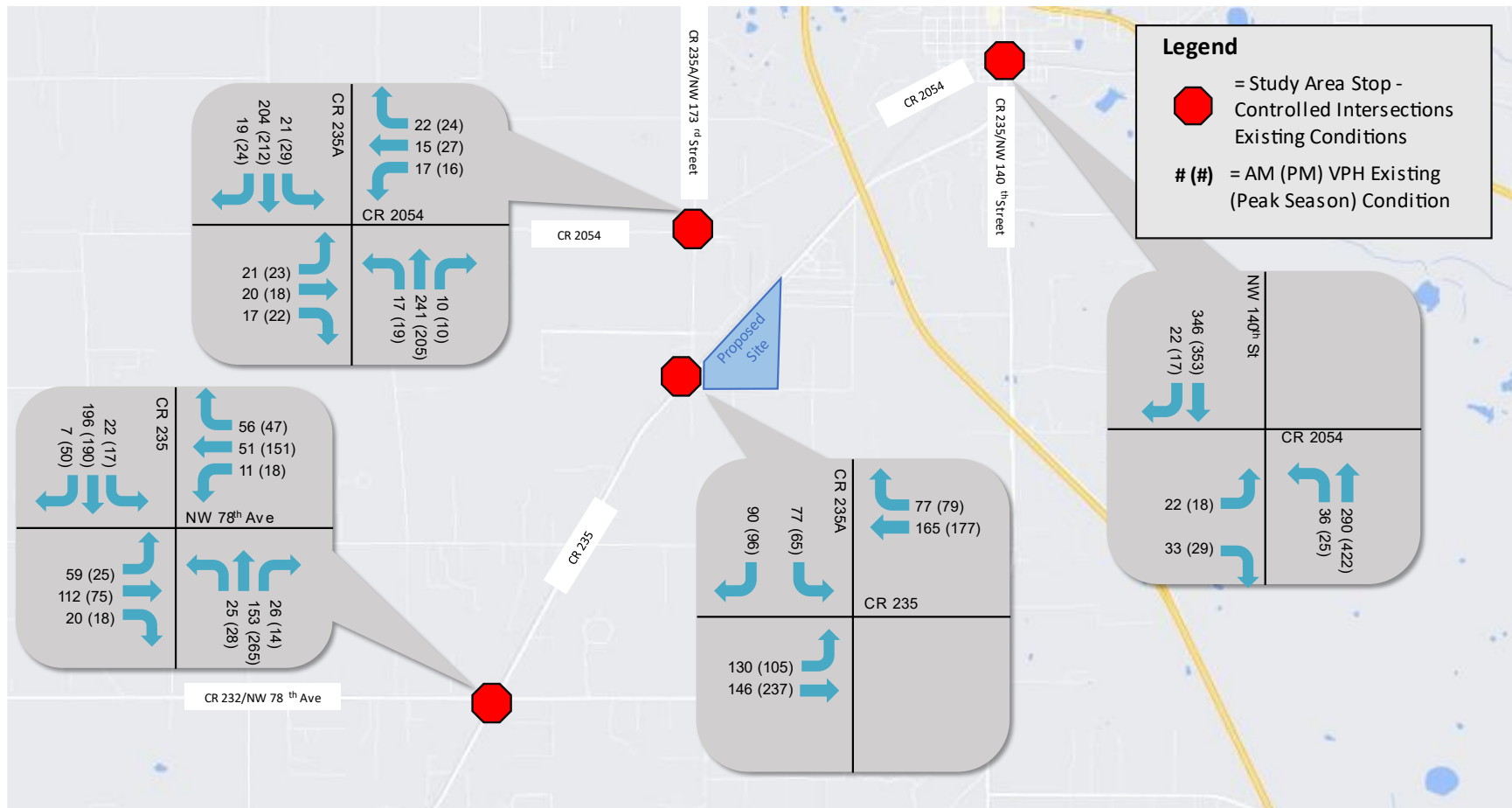
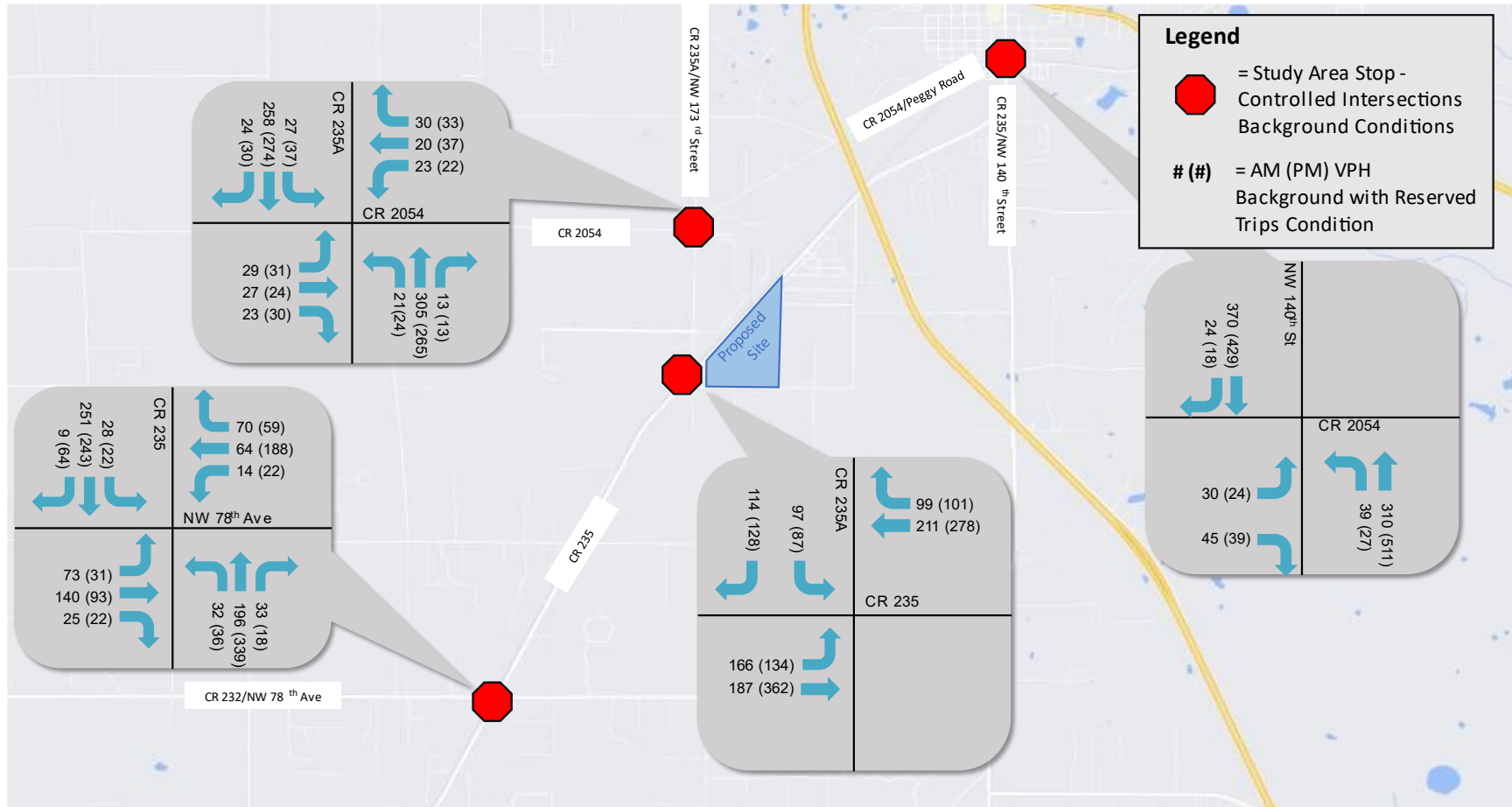


Figure 3 Background Turning Movements



5. TRIP DISTRIBUTION

The project trip distribution for the Fletcher Trace build-out is expected to mimic the existing patterns of the Savannah Station Phase 1 project trips. A turning movement count was performed during the PM peak two hours of 4:00 to 6:00 PM at the intersection of CR 235 at NW 123rd Avenue, as provided in **Appendix G**. Based on the turning movement counts from Savannah Station Phase 1 the following project trip distribution that was utilized for this study:

- To/from north = 67%
- To/from south = 33%

The trip distribution at all other study area intersections was based on the turning movement count data from the intersections. For example, at the intersection of CR 235 at CR 235A the project trips will either be to/from the north on CR 235A or to/from the west on CR 235. The trip distribution to/from the north was calculated as follows, based on the total AM and PM count volumes, as provided in **Appendix G**:

$$(SBL + WBR) / (EBT + WBT + SBL + WBR)$$

The project trip distribution at the project's connections on CR 235 are based on the layout of the project site, as shown in **Appendix G**. Approximately 50% of the multi-family housing project trips are expected to use the CR 235/Proposed North site access connection and the remaining multi-family housing trips will use the CR 235/Proposed South site access connection. Approximately 40% of the single-family detached housing will use the CR 235/Proposed North site access connection and the remaining 60% will use the CR 235/Proposed South site access connection.

The project trips are shown in **Figure 4** and the combined background with reserved trips and project trips form the build-out condition illustrated in **Figure 5**.

Figure 4 □ Project Trip Turning Movements

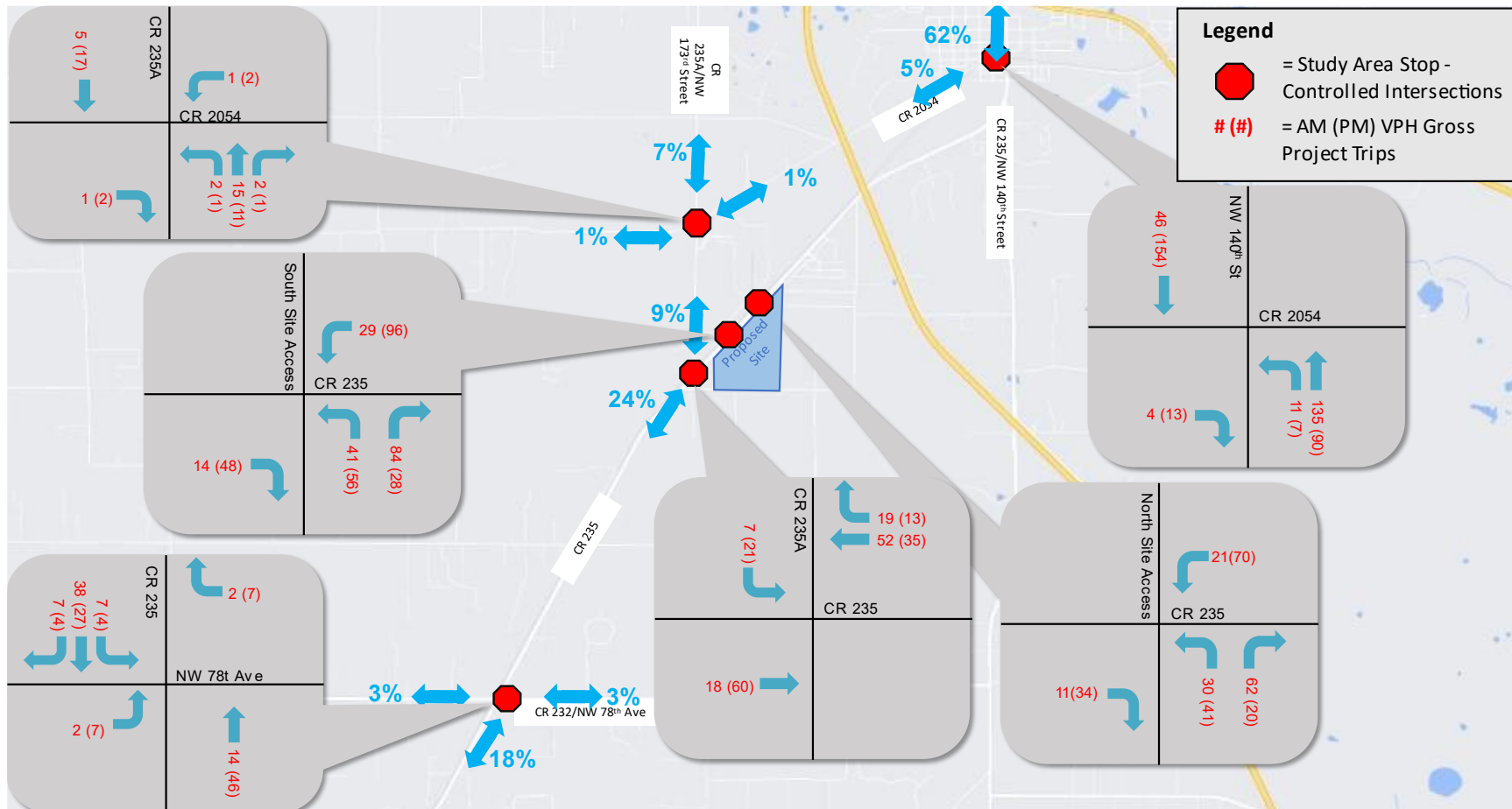
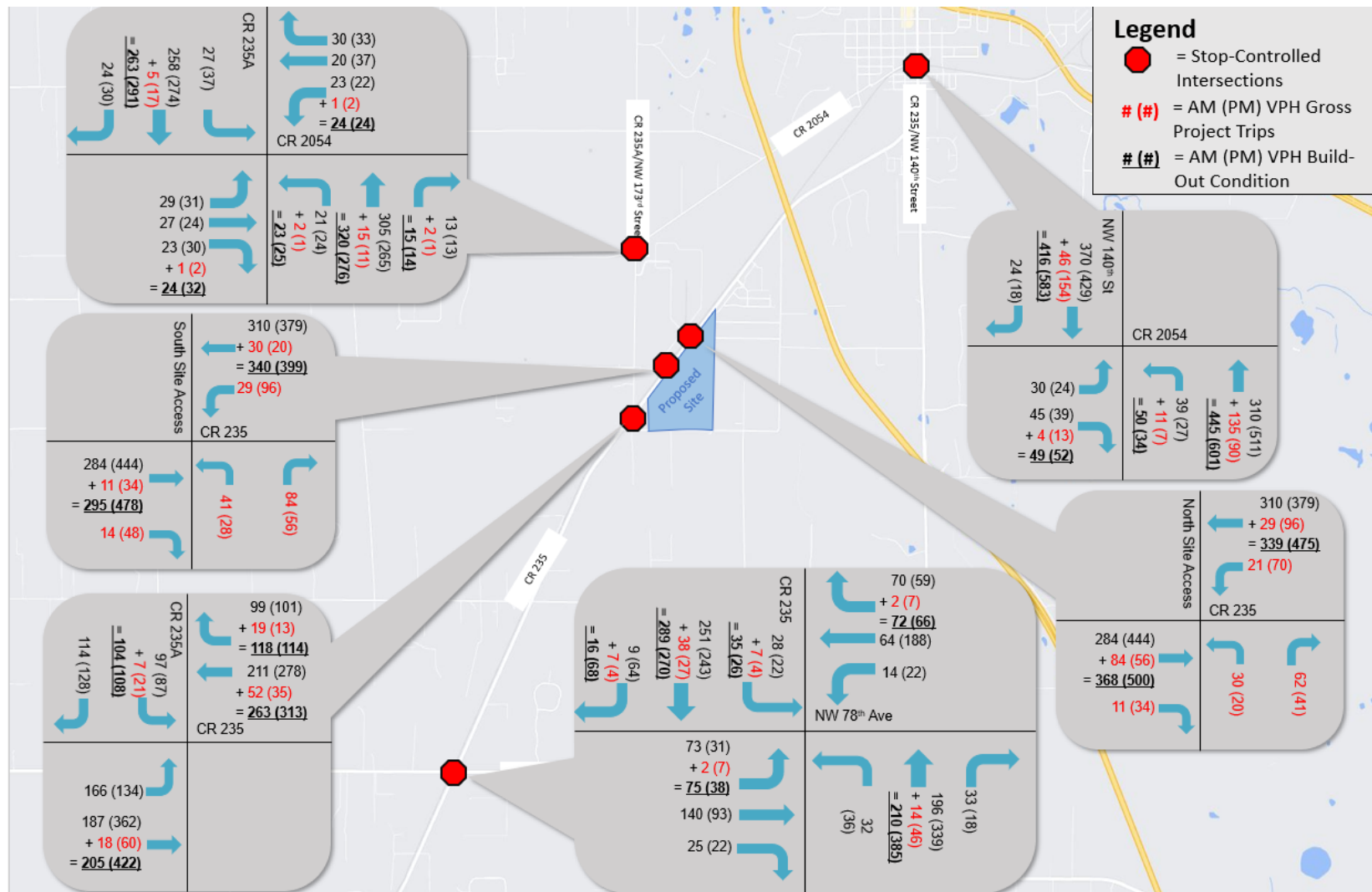


Figure 5 Build-out Turning Movements



6. ANALYSIS

The analysis is divided into three parts: 1) analysis of intersections within the study area, 2) turn lane warrant analysis, and 3) roadway segment analysis.

6.1. Intersection Analysis

The analysis of the intersection within the study area covered three scenarios, as follows:

- Existing (Peak Season) Conditions
- Background Conditions
- Build-out Conditions.

All study intersections were analyzed during the AM and PM peak hours. The objectives of the analysis were to identify level of service or operational deficiencies and if necessary, model potential improvement to mitigate deficiencies. Resulting indicators for intersection operational performance include level of service (LOS), delay, volume to capacity (v/c) ratio, and the 95th percentile queue length.

For this analysis Highway Capacity Software 7 (HCS 7) was used to analyze stop sign controlled intersections.

The operational performance of the intersections is provided in **Table 3** and **Table 4**. The HCS reports are provided in **Appendix H**. Intersection deficiencies are highlighted in **Table 3** and **Table 4**. Deficiencies are v/c less than 1.0, 95th percentile queue lengths exceeding storage lengths, and LOS of F for the main street through movements and intersection totals.

Section 6.3 will demonstrate the left-turn lanes are recommended on CR 235 at the site access intersections. Additionally, a right-turn lane is recommended on CR 235 at the south site access and a right-turn taper is recommended at the north site access. These turn-lane improvements are included in the intersection analysis.

Table 3: AM Intersection Analysis Summary														
Intersection	Movement	Avail. Storage (ft)	Existing (Peak Season)				Background (2029)				Build-out (2029)			
			LOS	Delay(s)	v/c	95% Queue (FT)	LOS	Delay(s)	v/c	95% Queue (FT)	LOS	Delay(s)	v/c	95% Queue (FT)
Stop-controlled Intersections														
NW 140th Street/ CR 2054	EBL/R	N/A	B	13.7	0.12	25	B	14.9	0.18	25	C	17.9	0.23	25
	NBL/T	N/A	A	8.4	0.03	25	A	8.5	0.04	25	A	8.7	0.05	25
	Int. Total			1.5				1.9				2.1		
CR 2054/CR 235A	EBL	200	C	15.4	0.06	25	C	20.0	0.12	25	C	20.9	0.12	25
	EBT	N/A	B	14.6	0.06	25	C	17.5	0.09	25	C	18.1	0.10	25
	EBR	40	A	9.6	0.02	25	B	10.1	0.03	25	B	10.1	0.04	25
	WBL/T/R	N/A	B	13.9	0.13	25	C	17.5	0.22	25	C	18.3	0.23	25
	NBL/T/R	N/A	A	7.9	0.01	0	A	8.1	0.02	25	A	8.1	0.02	25
	SBL/T/R	N/A	A	8.0	0.02	25	A	8.3	0.03	25	A	8.3	0.03	25
	Int. Total			3.1				3.9				3.9		
CR 235/Proposed North Site Access	WBL/T	430									A	8.5	0.02	25
	NBL/R	N/A									C	15.2	0.24	25
												1.9		
CR 235/Proposed South Site Access	WBL/T	430									A	8.2	0.03	25
	NBL/R	N/A									B	14.9	0.29	50
												2.6		
CR 235/CR 235A	EBL/T	N/A	A	8.2	0.11	25	A	8.5	0.15	25	A	8.8	0.16	25
	SBL/R	N/A	B	14.8	0.32	50	C	21.6	0.51	75	D	27.8	0.60	100
	Int. Total			5.4				7.1				8.1		
CR 235/NW 78th Avenue	EBL/T/R	N/A	C	21.6	0.50	75	E	48.0	0.80	175	F	73.7	0.92	225
	WBL/T/R	N/A	B	13.7	0.24	25	C	18.3	0.38	50	C	21.1	0.43	75
	NBL/T/R	N/A	A	7.8	0.02	25	A	8.0	0.03	25	A	8.1	0.03	25
	SBL/T/R	N/A	A	7.8	0.02	25	A	7.9	0.02	25	A	8.0	0.03	25
	Int. Total			8.4				15.8				21.5		

Yellow highlight = deficiency occurring without project traffic

Red highlight = deficiency occurs due to added project trips

*NR = Not Reported

Table 4: PM Intersection Analysis Summary														
Intersection	Movement	Avail. Storage (ft)	Existing (Peak Season)				Background (2029)				Build-out (2029)			
			LOS	Delay(s)	v/c	95% Queue (FT)	LOS	Delay(s)	v/c	95% Queue (FT)	LOS	Delay(s)	v/c	95% Queue (FT)
Stop-controlled Intersections														
NW 140th Street/ CR 2054	EBL/R	N/A	C	15.3	0.13	25	C	19.2	0.22	25	D	27.9	0.36	50
	NBL/T	N/A	A	8.3	0.03	25	A	8.6	0.03	25	A	9.3	0.04	25
	Int. Total			1.2				1.6				2.2		
CR 2054/CR 235A	EBL	200	C	15.4	0.06	25	C	20.6	0.12	25	C	21.7	0.13	25
	EBT	N/A	B	14.6	0.06	25	C	17.0	0.08	25	C	17.6	0.08	25
	EBR	40	A	9.6	0.02	25	B	10.2	0.04	25	B	10.3	0.05	25
	WBL/T/R	N/A	B	13.9	0.13	25	C	17.8	0.25	25	C	18.8	0.27	50
	NBL/T/R	N/A	A	7.9	0.01	0	A	8.2	0.02	25	A	8.3	0.02	25
	SBL/T/R	N/A	A	8.0	0.02	25	A	8.1	0.03	25	A	8.1	0.03	25
	Int. Total			3.5				4.4				4.5		
CR 235/Proposed North Site Access	WBL/T	430									A	9.2	0.08	25
	NBL/R	N/A									C	18.6	0.20	25
												1.6		
CR 235/Proposed South Site Access	WBL/T	430									A	9.3	0.11	25
	NBL/R	N/A									C	19.4	0.27	50
												2.3		
CR 235/CR 235A	EBL/T	N/A	A	8.1	0.09	25	A	8.7	0.13	25	A	8.9	0.14	25
	SBL/R	N/A	C	15.2	0.33	50	D	31.9	0.65	125	F	64.1	0.87	200
	Int. Total			4.6				7.8				13.9		
CR 235/NW 78th Avenue	EBL/T/R	N/A	C	25.0	0.42	50	F	132.8	1.01	200	F	556.3	1.97	375
	WBL/T/R	N/A	D	26.5	0.60	100	F	86.1	0.98	275	F	142.0	1.15	350
	WBL	N/A												
	WBR	N/A												
	NBL/T/R	N/A	A	7.9	0.02	25	A	8.1	0.03	25	A	8.2	0.03	25
	SBL/T/R	N/A	A	8.0	0.02	0	A	8.3	0.02	25	A	8.4	0.03	25
	Int. Total			10.2				38.0				101.5		
Yellow highlight = deficiency occurring without project traffic														
Red highlight = deficiency occurs due to added project trips														

*NR = Not Reported

As indicated in **Tables 3** and **Table 4** the following deficiency occurs with the addition of project trips.

The westbound movement at the intersection of CR 235 at NW 78th Avenue has volume exceeding capacity during the PM build-out. The volume of project trips forecasted to make a westbound right turn is low at only 7 vehicles per hour. During the PM background scenario, the westbound movement operates with a v/c near capacity at .98. Therefore, the background volumes and not the project trips are what cause the operational issues at this intersection. No improvements are recommended at this intersection.

6.2. Turn Lane Warrant Analysis

The Alachua County Land Development Code requires deceleration (right-turn) tapers for Class III and IV connections to a two-lane collector or arterial roadway with a design speed of 50 MPH or greater. A right turn lane is required if warranted. This site proposes a Class III connection onto CR 235 which has a design speed of 60 MPH, assuming a design speed 5 MPH over the posted speed of 55 MPH.

A right-turn lane warrant analysis, based on the guidelines of the “FDOT Access Management Guidebook”, was used to determine whether a right-turn lane is warranted. The thresholds for warranting a right-turn lane range from 35 - 55 right-turns per hour, per the “FDOT Access Management Guidebook”. As illustrated in build-out **Figure 4**, the maximum number of right turning vehicles at the CR 235/Proposed North Site Access intersection is 34 during the PM peak hour and at the CR 235/Proposed South Site Access intersection is 48 during the PM peak hour. Therefore, a northbound right-turn lane at the CR 235/Proposed North Site Access intersection is not warranted and not recommended to support this project however a northbound right turn taper is recommended based on the Alachua County Land Development Code requirements. A northbound right-turn lane at the CR 235/Proposed South Site Access intersection is warranted and recommended to support this project. The results are provided in **Appendix J**.

The Alachua County Unified Land Development Code requires a left-turn lane for developments with 50 or more total peak hour trips connecting to a collector or arterial road. As illustrated in build-out **Figure 4**, the maximum number of left turning vehicles at the CR 235/Proposed North Site Access intersection is 70 during the PM peak hour and at the CR 235/Proposed South Site Access intersection is 96 during the PM peak hour. Therefore, left-turn lanes are recommended at both the CR 235/Proposed North Site

Access intersection and CR 235/Proposed South Site Access intersection based on the Alachua County Land Development Code Requirements.

6.3. Roadway Segment Analysis

The study roadway segments for the future roadway segment conditions analysis were determined where the net new traffic from the proposed project is at least 5% of the maximum service volume (MSV) as provided in **Table 1**.

The future roadway segment conditions analysis was completed for roadway segments within the study area. Historic growth rates were applied to the 2022 AADT. Build-out project trips were added to the background trips and applied to each roadway segment. **Table 5** shows that none of the roadway segments in the study area had build-out volumes that exceeded the daily service volume. Therefore, no roadway segment improvements are recommended.

Table 5 Future Conditions (2022) Roadway Segment LOS Analysis

ROAD NAME	FROM	TO	Comp. Plan MSV ¹	ADOPTED LOS STANDARD	Ex. Trips - 2022 AADT ¹	Background Trips - 2022 AADT ²	Reserved Trips- AADT ³	Net New Total Project Trips	Build-out	Exceeds MSV Daily Service Volume - Y/N
CR 235	NW 143RD PLACE	SOUTH CITY LIMIT	15,120	D	6,180	7,815	1,018	2,707	11,540	N

(1) Taken from 2022 City of Alachua Annual Concurrency Status Report

(2) Calculated using Historical Growth Rate

(3) Reserved trips provided by the City of Alachua

7. CONCLUSIONS AND RECOMMENDATIONS

The following transportation improvements are recommended to support the project traffic at this site:

- Install a westbound left-turn lane on CR 235 at the south site access.
- Install a westbound left-turn lane on CR 235 at the north site access.
- Install a full-length eastbound right-turn lane on CR 235 at the south site access.
- Install an eastbound right-turn taper on CR 235 at the north site access.

Appendix B

Methodology Letter

May 26, 2022

Mr. Thomas Strom, PE
Transportation Engineering Manager
Alachua County Public Works
5620 NW 120th Lane
Gainesville, FL 32653

Justin Tabor, AICP
Principal Planner
City of Alachua
15100 NW 142nd Terrace □ PO Box 9
Alachua, Florida 32616

Re: Fletcher Trace, City of Alachua, FL

Dear Thomas and Justin,

CHW is preparing a Traffic Impact Analysis (TIA) Methodology for the proposed Fletcher Trace development consisting of a single-family detached housing and multifamily housing (low-rise) located northeast of the intersection of CR 235 and NW 173rd Street in the City of Alachua, Florida. The project proposes a two access points from CR 235 to the project site, as illustrated in the concept plan provided in **Attachment A**.

Please review the methodology and either provide comment for the purposes of modification/clarification or provide acceptance.

Study Area

The study area will consist of the following intersections:

- CR 235/NW 140th Street at CR 2054 □
- CR 235A and CR 2054 □
- CR 235 at Proposed North Site Access □
- CR 235 at Proposed South Site Access □
- CR 235 and CR 235A/NW 173rd Street □ and
- CR 235 at CR 232/NW 78th Avenue.

Land Use and Trip Generation

The trip generation for the site will be based on the Institute of Transportation Engineer's (ITE) Trip Generation Manual, 11th Edition. The estimated trip generation is provided below. The TIA will estimate the trip generation based on the number of dwelling units.

Fletcher Trace Trip Generation									
Land Use	ITE LU Code	Variable DU	Daily	AM Peak			PM Peak		
				Total	In	Out	Total	In	Out
Single-Family Detached Housing	210	344	3,144	229	60	169	317	200	117
Multifamily Housing (Low-Rise)	220	128	896	63	15	48	76	48	28
<i>Total</i>			<i>4,040</i>	<i>292</i>	<i>75</i>	<i>217</i>	<i>393</i>	<i>248</i>	<i>145</i>

Data Collection

Turning movement counts during the AM and PM peak two hours, during a single day, will be utilized for analysis. Counts will be collected on a Tuesday, Wednesday, or Thursday. The counts will include pedestrians, bicycles, and trucks, in addition to passenger vehicles.

Turning movement counts will be performed at the following intersection:

- CR 235/NW 140th Street at CR 2054
- CR 235A and CR 2054
- CR 235 and CR 235A/NW 173rd Street and
- CR 235 at CR 232/NW 78th Avenue.

The count data will be adjusted based on the seasonal adjustment factor and by the growth rate to forecast the estimated background traffic of the project build-out year 2029. The growth rate will be determined based on historical ADT where available.

Trip Distribution

The project trip distribution for the Fletcher Trace build-out is expected to mimic the existing patterns of the Savannah Station Phase 1 project trips. A turning movement count was performed during the PM peak two hours of 4:00 to 6:00 PM at the intersection of CR 235 at NW 123rd Avenue, as provided in **Attachment B**. Based on the turning movement count the Savannah Station Phase 1 project trip distribution that will be utilized for the Fletcher Trace TIS is provided below:

- To/from north □ 67%
- To/from south □ 33%

The trip distribution at all other study area intersections will be based on the turning movement count data from the intersections. For example, at the intersection of CR 235 at CR 235A the project trips will either be to/from the north on CR 235A or to/from the west on CR 235. The trip distribution to/from the north will be calculated as follows, based on the total AM and PM count volumes:

$(SBL + WBR) / (EBT + WBT + SBL + WBR)$

Analysis

The intersection analysis will be performed at the intersections provided in the study area during the AM and PM peak hours, under the following scenarios:

- Existing (peak season) conditions
- Background conditions
- Build-out conditions
- Build-out with improvements, if applicable

The intersection operation analysis will review the delay, LOS, V/C, and 95th percentile queue length of each intersection movement as well as the intersection as a whole. The non-signalized intersections will be analyzed using HCS 7. The reports will be provided in the appendices.

Left and right turn lane warrant analyses will be performed at the site access intersections. If turn lanes are warranted the turn lane lengths will be calculated.

A roadway segment level of service analysis will be provided for CR 235 and CR 235A in accordance with City of Alachua requirements.

Any needed roadway modifications based on this analysis will be identified and modeled to demonstrate that the improvement mitigates the deficiency.

Report

A draft report, including, as a minimum, the following will be submitted for review and comment.

- Study Area Map
- Existing Conditions
- Trip Generation
- Data Collection
- Trip Distribution
- Analysis
 - AM and PM Intersection LOS, Delay, V/C and 95th Percentile Queue Length Analysis
 - Left and Right Turn Lane Warrants
 - Roadway Segment Analysis
- Conclusion and Recommendations
- Appendices with Supporting Documentation

Following any revisions, based upon staff comments, we will prepare a final signed and sealed report.

Please provide acceptance if you concur with this methodology.

Thank you for your review and consideration.

Sincerely,
CHW



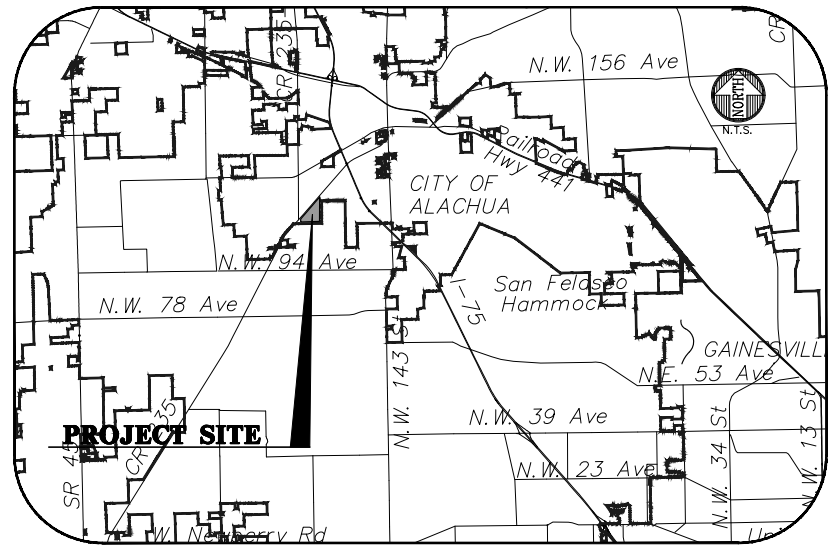
Brian Snyder, P.E.
Project Manager

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Attachment A Site Layout

PRELIMINARY PLAT FOR: FLETCHER TRACE

ALACHUA COUNTY PARCELS 03903-002-000 AND 03980-002-001
CITY OF ALACHUA, FLORIDA
SECTIONS 21 AND 28, TOWNSHIP 08 SOUTH, RANGE 18 EAST
NOT FOR FINAL RECORDING



VICINITY MAP GENERAL NOTES

- LAND OWNER:
WACO PROPERTIES, INC.
559 SOUTH EDGEWOOD AVENUE
JACKSONVILLE, FL - 32205
- DEVELOPER(S)/SUBDIVIDER:
FLETCHER DEVELOPMENT, LLC.
4510 NW 6TH PLACE, 3RD FLOOR
GAINESVILLE, FL - 32607
- AGENT OF DEVELOPER/SUBDIVIDER:
CHW
11801 RESEARCH DRIVE
ALACHUA, FL - 32615
(352)331-1976
- ENGINEER OF RECORD:
DANIEL H. YOUNG, P.E.
CHW
11801 RESEARCH DRIVE
ALACHUA, FL 32615
(352) 331-1976
DANIELY@CHW-INC.COM
- SURVEYOR OF RECORD:
AARON H. HICKMAN, PSM
CHW
11801 RESEARCH DRIVE
ALACHUA, FL 32615
(352) 331-1976
AARONH@CHW-INC.COM
- DATE OF BOUNDARY SURVEY:
9/28/2018
- WATER SUPPLY:
AN 8-INCH POTABLE WATER MAIN RUNS ALONG THE CR 235 RIGHT-OF-WAY, AND A 6-INCH POTABLE WATER MAIN RUNS ALONG NW 157TH STREET. DIRECT CONNECTION IS ANTICIPATED WITHOUT THE NEED FOR JACK AND BORE OF CR 235.
- SEWAGE DISPOSAL:
A NEW GRAVITY SEWER SYSTEM WILL CONNECT TO THE EXISTING SANITARY LIFT STATION LOCATED ON THE DEVELOPMENT SIDE OF CR 235.
- DRAINAGE:
STORMWATER MANAGEMENT FACILITIES (SMF) ARE LOCATED THROUGHOUT THE DEVELOPMENT, INCLUDING ALONG CR 235, THE SITE'S LOW AREA, AND THE TOPOGRAPHIC FEATURE ADJACENT TO NW 157TH STREET. THIS PLAN ILLUSTRATES APPROXIMATELY 15% OF THE PROJECT SITE. FINAL SIZE AND LOCATION OF SMFS WILL BE DETERMINED DURING SITE PLAN REVIEW.
- ELECTRICAL UTILITY PROVISION:
A CITY OF ALACHUA TRANSFORMER IS LOCATED ON THE NORTHEAST CORNER OF THE NEW ENTRANCE OFF CR 235 AND WILL SUPPLY UNDERGROUND ELECTRIC TO THE DEVELOPMENT.
- NATURAL FEATURES:
N/A
- ZONING/LAND USE INFORMATION:
ZONING = PUD
LAND USE = MODERATE DENSITY RESIDENTIAL
- COVENANTS AND RESTRICTIONS:
PROVIDED
- ROADWAY TYPE: URBAN CURB AND GUTTER ROADWAY WITH STORM SEWER PIPING AND RENTAL LIGHTING FROM CITY OF ALACHUA.
- UTILITY PROVIDERS:
WATER: CITY OF ALACHUA
SEWER: CITY OF ALACHUA
ELECTRIC: CITY OF ALACHUA
PHONE / CABLE: WINDSTREAM AND COX

SHEET INDEX	
SHEET NUMBER	DESCRIPTION
1	MASTER PRELIMINARY PLAT
2-6	DETAILED PRELIMINARY PLAT
LS-1	PRELIMINARY PLAT - LANDSCAPE PLAN
1 - 6 OF 6	BOUNDARY AND TOPOGRAPHIC SURVEY

LEGAL DESCRIPTION: (OFFICIAL RECORDS BOOK 2140, PAGE 1834)

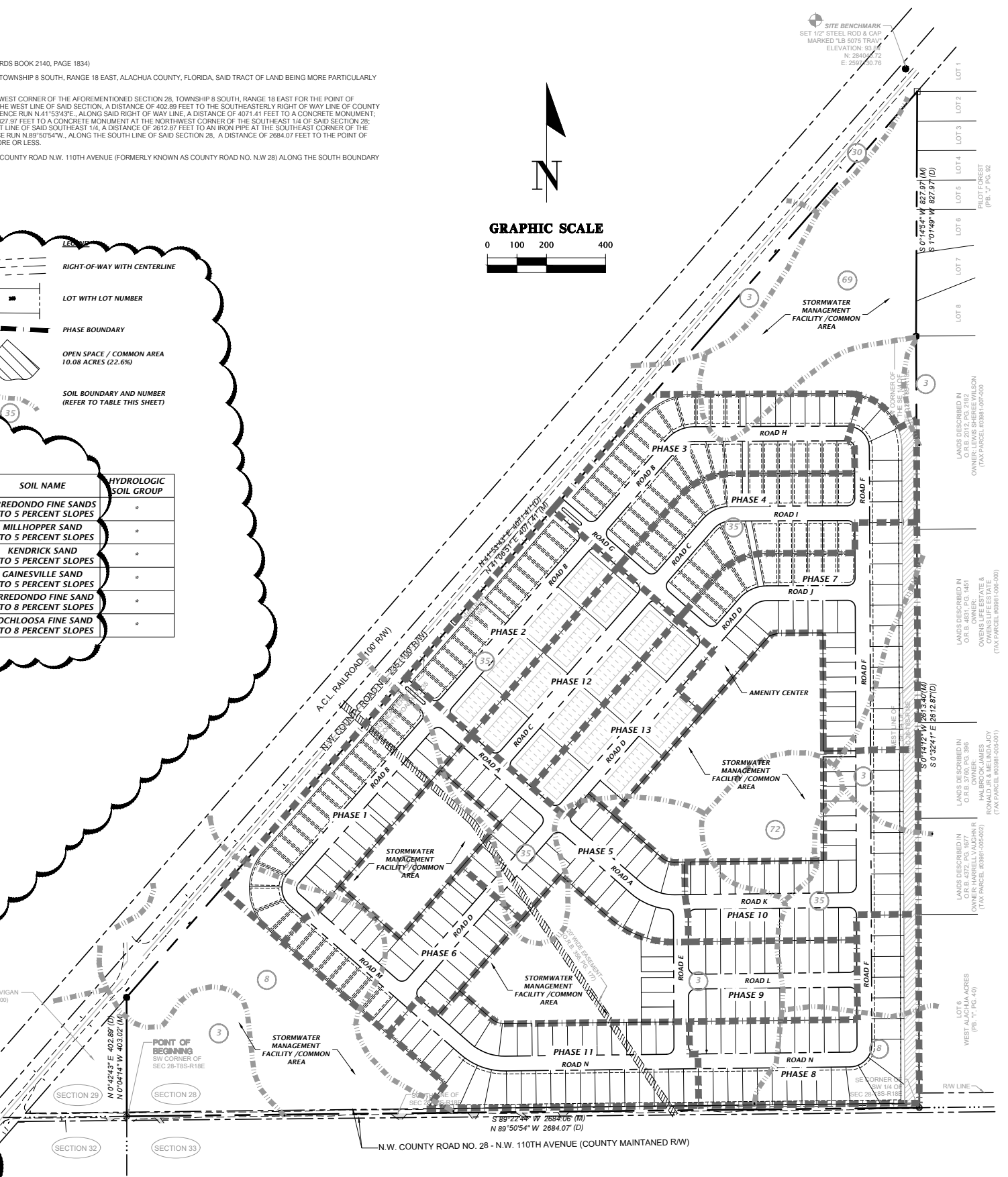
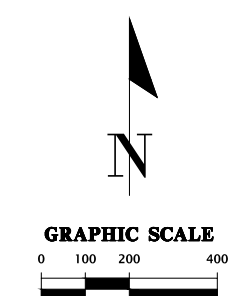
A TRACT OF LAND SITUATED IN SECTION 28, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT AN IRON PIPE AT THE SOUTHWEST CORNER OF THE AFOREMENTIONED SECTION 28, TOWNSHIP 8 SOUTH, RANGE 18 EAST FOR THE POINT OF BEGINNING AND RUN N.00°42'43"E., ALONG THE WEST LINE OF SAID SECTION, A DISTANCE OF 402.89 FEET TO THE SOUTHEASTERLY RIGHT OF WAY LINE OF COUNTY ROAD NO. 235 (100 FOOT RIGHT-OF-WAY); THENCE RUN N.41°53'45"E., ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 407.41 FEET TO A CONCRETE MONUMENT; THENCE RUN S.01°11'40"W., A DISTANCE OF 827.07 FEET TO A CONCRETE MONUMENT AT THE NORTHWEST CORNER OF THE SOUTHEAST 1/4 OF SAID SECTION 28; THENCE RUN S.00°32'41"W., ALONG THE WEST LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 2612.87 FEET TO AN IRON PIPE AT THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 28; THENCE RUN N.89°50'54"W., ALONG THE SOUTH LINE OF SAID SECTION 28, A DISTANCE OF 2684.07 FEET TO THE POINT OF BEGINNING, CONTAINING 118.191 ACRES, MORE OR LESS.

SUBJECT TO MAINTAINED RIGHT OF WAY OF COUNTY ROAD N.W. 110TH AVENUE (FORMERLY KNOWN AS COUNTY ROAD NO. N.W. 28) ALONG THE SOUTH BOUNDARY THEREOF

SOIL NUMBER	SOIL NAME	HYDROLOGIC SOIL GROUP
3	ARREDONDO FINE SANDS 0 TO 5 PERCENT SLOPES	*
8	MILLHOPPER SAND 0 TO 5 PERCENT SLOPES	*
30	KENDRICK SAND 2 TO 5 PERCENT SLOPES	*
35	GAINESVILLE SAND 0 TO 5 PERCENT SLOPES	*
69	ARREDONDO FINE SAND 5 TO 8 PERCENT SLOPES	*
72	LOCHLOOSA FINE SAND 5 TO 8 PERCENT SLOPES	*

FLOOD ZONE:
THIS PROPERTY IS LOCATED IN FEDERAL FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS INTERPOLATED FROM FEMA F.I.R.M. PANEL NO. 120 OF 640, COMMUNITY PANEL NO. *120669 0120 D*, EFFECTIVE DATE, JUNE 16, 2006.



11801 Research Drive
Alachua, FL 32615
www.chw-inc.com
est. 1988 FLORIDA
CA-18476

CHW
Professional Corporation

SCALE: 1"=200'
VERTICAL SCALE
ORIGINAL DRAWING
THIS SHEET ADDRESS
SCALE ACCORDINGLY

CONSTRUCTION REVISIONS

REVISION:	DATE:	BY:	DESCRIPTION:
1			REVISIONS TO PHASE 12
2			REVISIONS TO PHASE 13
3			REVISIONS TO PHASE 10
4			REVISIONS TO PHASE 9
5			REVISIONS TO PHASE 8
6			REVISIONS TO PHASE 7
7			REVISIONS TO PHASE 6
8			REVISIONS TO PHASE 5
9			REVISIONS TO PHASE 4
10			REVISIONS TO PHASE 3
11			REVISIONS TO PHASE 2
12			REVISIONS TO PHASE 1

CLIENT: FLETCHER DEVELOPMENT
PROJECT: FLETCHER TRACE
PRELIMINARY PLAT
SHEET TITLE: MASTER PRELIMINARY PLAT
PROJECT NUMBER: 21-0297
FL PE No. 84295
SHEET NO. 1

**Attachment B
Turning
Movement Count
CR 235 at NW
123rd Avenue**

CR 235 at NW 123rd Avenue
2/3/2021

Trucks

Start Time	CR 235 Southbound			CR 235 Northbound			NW 123rd Avenue Westbound		
	Left	Thru	Ped/Bike	Right	Thru	Ped/Bike	Right	Left	Ped/Bike
4:00 PM	0	5	0	0	7	0	0	0	0
04:15 PM	0	11	0	0	4	0	0	0	0
04:30 PM	2	4	0	0	2	0	0	0	0
04:45 PM	0	6	0	0	2	0	0	0	0
05:00 PM	0	1	0	0	6	0	1	0	0
05:15 PM	0	3	0	0	4	0	0	0	0
05:30 PM	0	1	0	0	3	0	0	0	0
05:45 PM	0	3	0	0	0	0	0	0	0

Peak Hour

5:00-5:45	0	8	0	0	13	0	1	0	0
-----------	---	---	---	---	----	---	---	---	---

Cars

Start Time	CR 235 Southbound			CR 235 Northbound			NW 123rd Avenue Westbound		
	Left	Thru	Ped/Bike	Right	Thru	Ped/Bike	Right	Left	Ped/Bike
4:00 PM	5	47	0	1	18	0	2	1	0
04:15 PM	4	30	0	3	24	0	5	0	0
04:30 PM	7	31	0	2	18	0	6	2	0
04:45 PM	5	39	0	1	18	0	2	1	0
05:00 PM	8	66	0	1	28	0	4	2	0
05:15 PM	9	71	0	4	27	0	2	2	0
05:30 PM	5	56	0	0	19	0	3	2	0
05:45 PM	5	66	0	1	27	0	2	1	0

Peak Hour

5:00-5:45	27	259	0	6	101	0	11	7	0
-----------	----	-----	---	---	-----	---	----	---	---

Combined

Start Time	CR 235 Southbound			CR 235 Northbound			NW 123rd Avenue Westbound		
	Left	Thru	Ped/Bike	Right	Thru	Ped/Bike	Right	Left	Ped/Bike
4:00 PM	5	52	0	1	25	0	2	1	0
04:15 PM	4	41	0	3	28	0	5	0	0
04:30 PM	9	35	0	2	20	0	6	2	0
04:45 PM	5	45	0	1	20	0	2	1	0
05:00 PM	8	67	0	1	34	0	5	2	0
05:15 PM	9	74	0	4	31	0	2	2	0
05:30 PM	5	57	0	0	22	0	3	2	0
05:45 PM	5	69	0	1	27	0	2	1	0

Peak Hour

5:00-5:45 PM	27	267	0	6	114	0	12	7	0
Truck %	3%			11%			5%		
Peak Hour Factor	0.89			0.86			0.68		
Int. Total	0.89								

	CR 235 SBL	NW 123rd WBR	Total	
to/from North	27	12	39	67%

	CR 235 NBR	NW 123rd WBL	Total	
to/from South	6	7	13	33%

* The Truck % in and out of Savannah Station Phase 1 is 2% which is applied to the trips in and out of Savannah Station during the full build-out analysis.

Appendix C

Turning Movement

Counts

**NW 78th Avenue
(CR 232) at CR 235**

DE TRAFFIC

detraffic.com

NW 78th Ave (CR 232) at CR 235
Alachua County, FL

File Name : cr 235 at nw 78

Site Code : 00000001

Start Date : 4/19/2022

Page No : 1

Groups Printed- Automobiles - Commercial

Start Time	CR 235 Southbound				NW 78th Ave (CR 232) Westbound				CR 235 Northbound				NW 78th Ave (CR 232) Eastbound				Int. Total
	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	
07:00 AM	2	31	2	35	0	6	16	22	6	33	3	42	10	19	3	32	131
07:15 AM	3	49	1	53	2	5	12	19	4	41	2	47	11	25	2	38	157
07:30 AM	7	57	2	66	0	8	16	24	5	45	5	55	19	36	4	59	204
07:45 AM	4	48	3	55	2	12	13	27	8	39	5	52	13	27	6	46	180
Total	16	185	8	209	4	31	57	92	23	158	15	196	53	107	15	175	672
08:00 AM	5	51	2	58	5	17	17	39	7	33	8	48	18	27	4	49	194
08:15 AM	6	42	0	48	4	15	11	30	5	38	8	51	10	23	6	39	168
08:30 AM	5	36	4	45	4	16	16	36	5	28	8	41	7	25	2	34	156
08:45 AM	4	31	4	39	2	13	13	28	6	24	8	38	7	25	3	35	140
Total	20	160	10	190	15	61	57	133	23	123	32	178	42	100	15	157	658
04:00 PM	3	41	13	57	4	36	6	46	6	52	4	62	8	16	4	28	193
04:15 PM	7	41	12	60	3	31	9	43	6	66	3	75	4	13	6	23	201
04:30 PM	4	52	16	72	2	34	5	41	8	59	4	71	7	17	2	26	210
04:45 PM	2	43	13	58	6	42	11	59	4	55	2	61	5	23	6	34	212
Total	16	177	54	247	15	143	31	189	24	232	13	269	24	69	18	111	816
05:00 PM	7	48	8	63	4	34	17	55	7	88	5	100	5	22	4	31	249
05:15 PM	4	49	13	66	6	43	14	63	9	66	3	78	8	14	6	28	235
05:30 PM	8	41	9	58	5	35	15	55	9	46	2	57	4	13	5	22	192
05:45 PM	4	36	10	50	3	26	5	34	9	49	1	59	4	16	7	27	170
Total	23	174	40	237	18	138	51	207	34	249	11	294	21	65	22	108	846
Grand Total	75	696	112	883	52	373	196	621	104	762	71	937	140	341	70	551	2992
Apprch %	8.5	78.8	12.7		8.4	60.1	31.6		11.1	81.3	7.6		25.4	61.9	12.7		
Total %	2.5	23.3	3.7	29.5	1.7	12.5	6.6	20.8	3.5	25.5	2.4	31.3	4.7	11.4	2.3	18.4	
Automobiles	70	604	106	780	49	366	189	604	103	682	66	851	123	310	57	490	2725
% Automobiles	93.3	86.8	94.6	88.3	94.2	98.1	96.4	97.3	99	89.5	93	90.8	87.9	90.9	81.4	88.9	91.1
Commercial	5	92	6	103	3	7	7	17	1	80	5	86	17	31	13	61	267
% Commercial	6.7	13.2	5.4	11.7	5.8	1.9	3.6	2.7	1	10.5	7	9.2	12.1	9.1	18.6	11.1	8.9

DE TRAFFIC

detrtraffic.com

NW 78th Ave (CR 232) at CR 235
Alachua County, FL

File Name : cr 235 at nw 78
Site Code : 00000001
Start Date : 4/19/2022
Page No : 2

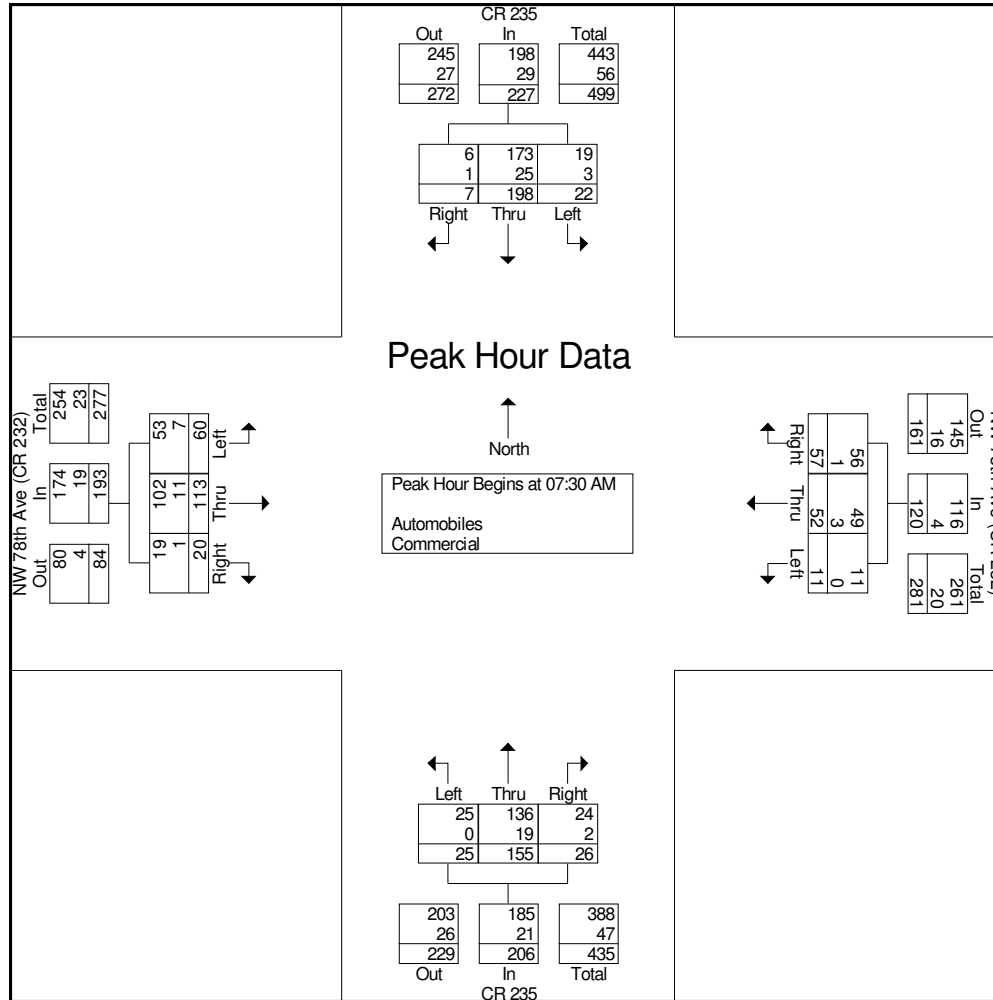
Start Time	CR 235 Southbound				NW 78th Ave (CR 232) Westbound				CR 235 Northbound				NW 78th Ave (CR 232) Eastbound				Int. Total
	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	
Peak Hour Analysis From 07:00 AM to 08:45 AM - Peak 1 of 1																	
Peak Hour for Entire Intersection Begins at 07:30 AM																	
07:30 AM	7	57	2	66	0	8	16	24	5	45	5	55	19	36	4	59	204
07:45 AM	4	48	3	55	2	12	13	27	8	39	5	52	13	27	6	46	180
08:00 AM	5	51	2	58	5	17	17	39	7	33	8	48	18	27	4	49	194
08:15 AM	6	42	0	48	4	15	11	30	5	38	8	51	10	23	6	39	168
Total Volume	22	198	7	227	11	52	57	120	25	155	26	206	60	113	20	193	746
% App. Total	9.7	87.2	3.1		9.2	43.3	47.5		12.1	75.2	12.6		31.1	58.5	10.4		
PHF	.786	.868	.583	.860	.550	.765	.838	.769	.781	.861	.813	.936	.789	.785	.833	.818	.914
Automobiles	19	173	6	198	11	49	56	116	25	136	24	185	53	102	19	174	673
% Automobiles	86.4	87.4	85.7	87.2	100	94.2	98.2	96.7	100	87.7	92.3	89.8	88.3	90.3	95.0	90.2	90.2
Commercial	3	25	1	29	0	3	1	4	0	19	2	21	7	11	1	19	73
% Commercial	13.6	12.6	14.3	12.8	0	5.8	1.8	3.3	0	12.3	7.7	10.2	11.7	9.7	5.0	9.8	9.8

DE TRAFFIC

detraffic.com

NW 78th Ave (CR 232) at CR 235
Alachua County, FL

File Name : cr 235 at nw 78
Site Code : 00000001
Start Date : 4/19/2022
Page No : 3



DE TRAFFIC

detraffic.com

NW 78th Ave (CR 232) at CR 235
Alachua County, FL

File Name : cr 235 at nw 78

Site Code : 00000001

Start Date : 4/19/2022

Page No : 4

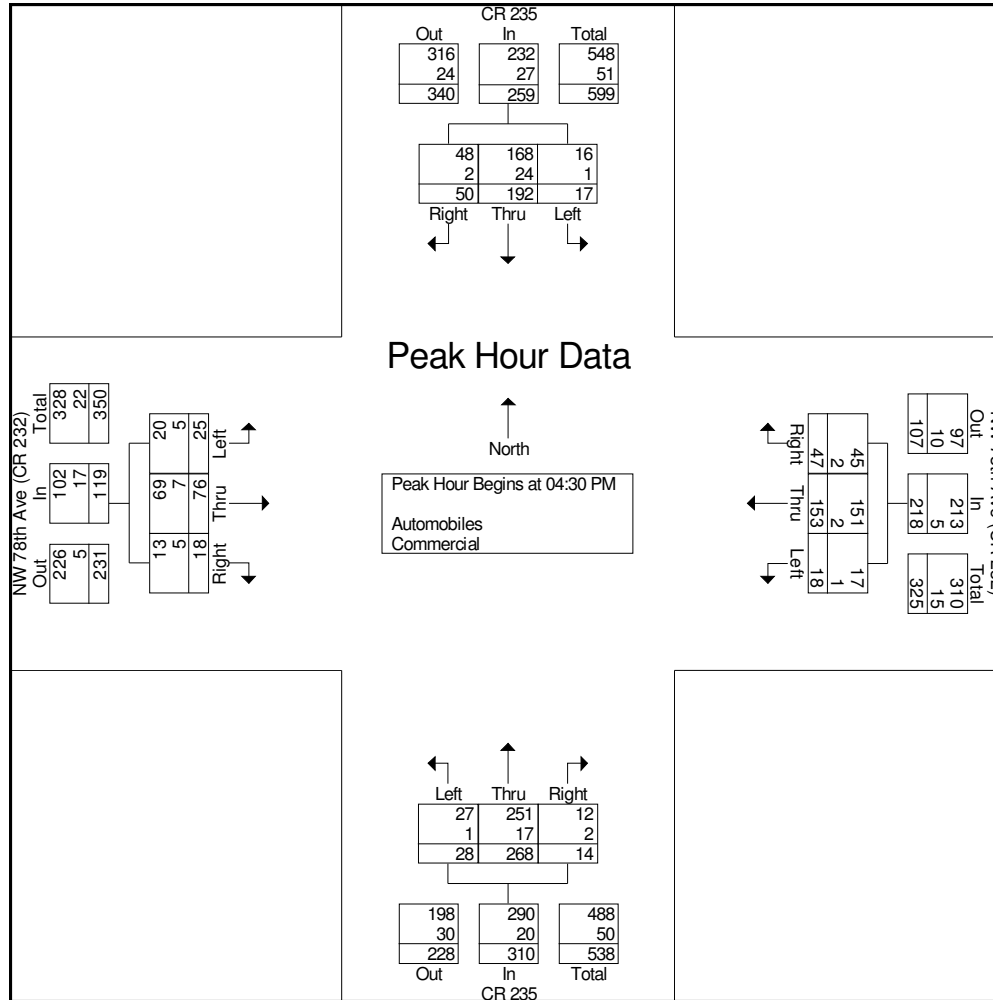
Start Time	CR 235 Southbound				NW 78th Ave (CR 232) Westbound				CR 235 Northbound				NW 78th Ave (CR 232) Eastbound				Int. Total
	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	
Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1																	
Peak Hour for Entire Intersection Begins at 04:30 PM																	
04:30 PM	4	52	16	72	2	34	5	41	8	59	4	71	7	17	2	26	210
04:45 PM	2	43	13	58	6	42	11	59	4	55	2	61	5	23	6	34	212
05:00 PM	7	48	8	63	4	34	17	55	7	88	5	100	5	22	4	31	249
05:15 PM	4	49	13	66	6	43	14	63	9	66	3	78	8	14	6	28	235
Total Volume	17	192	50	259	18	153	47	218	28	268	14	310	25	76	18	119	906
% App. Total	6.6	74.1	19.3		8.3	70.2	21.6		9	86.5	4.5		21	63.9	15.1		
PHF	.607	.923	.781	.899	.750	.890	.691	.865	.778	.761	.700	.775	.781	.826	.750	.875	.910
Automobiles	16	168	48	232	17	151	45	213	27	251	12	290	20	69	13	102	837
% Automobiles	94.1	87.5	96.0	89.6	94.4	98.7	95.7	97.7	96.4	93.7	85.7	93.5	80.0	90.8	72.2	85.7	92.4
Commercial	1	24	2	27	1	2	2	5	1	17	2	20	5	7	5	17	69
% Commercial	5.9	12.5	4.0	10.4	5.6	1.3	4.3	2.3	3.6	6.3	14.3	6.5	20.0	9.2	27.8	14.3	7.6

DE TRAFFIC

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NW 78th Ave (CR 232) at CR 235
Alachua County, FL

File Name : cr 235 at nw 78
Site Code : 00000001
Start Date : 4/19/2022
Page No : 5



DE TRAFFIC

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NW 78th Ave (CR 232) at CR 235
Alachua County, FL

File Name : cr 235 at nw 78

Site Code : 00000001

Start Date : 4/19/2022

Page No : 6

Groups Printed- Automobiles

Start Time	CR 235 Southbound					NW 78th Ave (CR 232) Westbound					CR 235 Northbound					NW 78th Ave (CR 232) Eastbound					Int. Total
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	
07:00 AM	2	27	2	0	31	0	6	16	0	22	6	27	3	0	36	9	19	3	0	31	120
07:15 AM	3	44	1	0	48	1	4	11	0	16	4	34	2	0	40	11	24	2	0	37	141
07:30 AM	6	51	2	0	59	0	8	16	0	24	5	41	4	0	50	17	34	4	0	55	188
07:45 AM	4	44	2	0	50	2	11	12	0	25	8	34	5	0	47	13	25	5	0	43	165
Total	15	166	7	0	188	3	29	55	0	87	23	136	14	0	73	50	102	14	0	166	614
08:00 AM	4	43	2	0	49	5	16	17	0	38	7	27	7	0	41	15	24	4	0	43	171
08:15 AM	5	35	0	0	40	4	14	11	0	29	5	34	8	0	47	8	19	6	0	33	149
08:30 AM	5	29	3	0	37	4	16	16	0	36	5	21	7	0	33	7	24	1	0	32	138
08:45 AM	4	26	4	0	34	2	13	13	0	28	6	19	8	0	33	6	23	3	0	32	127
Total	18	133	9	0	160	15	59	57	0	131	23	101	30	0	154	36	90	14	0	140	585
04:00 PM	3	35	13	0	51	4	36	5	0	45	6	47	4	0	57	6	13	2	0	21	174
04:15 PM	6	37	11	0	54	3	31	9	0	43	6	62	3	0	71	4	11	5	0	20	188
04:30 PM	4	44	16	0	64	2	34	4	0	40	8	54	3	0	65	5	16	2	0	23	192
04:45 PM	2	39	11	0	52	5	41	11	0	57	4	52	2	0	58	5	21	4	0	30	197
Total	15	155	51	0	221	14	142	29	0	185	24	215	12	0	251	20	61	13	0	94	751
05:00 PM	6	44	8	0	58	4	34	16	0	54	7	84	4	0	95	4	19	3	0	26	233
05:15 PM	4	41	13	0	58	6	42	14	0	62	8	61	3	0	72	6	13	4	0	23	215
05:30 PM	8	34	8	0	50	4	34	13	0	51	9	42	2	0	53	4	11	5	0	20	174
05:45 PM	4	31	10	0	45	3	26	5	0	34	9	43	1	0	53	3	14	4	0	21	153
Total	22	150	39	0	211	17	136	48	0	201	33	230	10	0	273	17	57	16	0	90	775
Grand Total	70	604	106	0	780	49	366	189	0	604	103	682	66	0	851	123	310	57	0	490	2725
Apprch %	9	77.4	13.6	0		8.1	60.6	31.3	0		12.1	80.1	7.8	0		25.1	63.3	11.6	0		
Total %	2.6	22.2	3.9	0	28.6	1.8	13.4	6.9	0	22.2	3.8	25	2.4	0	31.2	4.5	11.4	2.1	0	18	

DE TRAFFIC

detraffic.com

NW 78th Ave (CR 232) at CR 235
Alachua County, FL

File Name : cr 235 at nw 78

Site Code : 00000001

Start Date : 4/19/2022

Page No : 7

Groups Printed- Commercial

Start Time	CR 235 Southbound					NW 78th Ave (CR 232) Westbound					CR 235 Northbound					NW 78th Ave (CR 232) Eastbound					Int. Total
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	
07:00 AM	0	4	0	0	4	0	0	0	0	0	0	6	0	0	6	1	0	0	0	1	11
07:15 AM	0	5	0	0	5	1	1	1	0	3	0	7	0	0	7	0	1	0	0	1	16
07:30 AM	1	6	0	0	7	0	0	0	0	0	0	4	1	0	5	2	2	0	0	4	16
07:45 AM	0	4	1	0	5	0	1	1	0	2	0	5	0	0	5	0	2	1	0	3	15
Total	1	19	1	0	21	1	2	2	0	5	0	22	1	0	23	3	5	1	0	9	58
08:00 AM	1	8	0	0	9	0	1	0	0	1	0	6	1	0	7	3	3	0	0	6	23
08:15 AM	1	7	0	0	8	0	1	0	0	1	0	4	0	0	4	2	4	0	0	6	19
08:30 AM	0	7	1	0	8	0	0	0	0	0	0	7	1	0	8	0	1	1	0	2	18
08:45 AM	0	5	0	0	5	0	0	0	0	0	0	5	0	0	5	1	2	0	0	3	13
Total	2	27	1	0	30	0	2	0	0	2	0	22	2	0	24	6	10	1	0	17	73
04:00 PM	0	6	0	0	6	0	0	1	0	1	0	5	0	0	5	2	3	2	0	7	19
04:15 PM	1	4	1	0	6	0	0	0	0	0	0	4	0	0	4	0	2	1	0	3	13
04:30 PM	0	8	0	0	8	0	0	1	0	1	0	5	1	0	6	2	1	0	0	3	18
04:45 PM	0	4	2	0	6	1	1	0	0	2	0	3	0	0	3	0	2	2	0	4	15
Total	1	22	3	0	26	1	1	2	0	4	0	17	1	0	18	4	8	5	0	17	65
05:00 PM	1	4	0	0	5	0	0	1	0	1	0	4	1	0	5	1	3	1	0	5	16
05:15 PM	0	8	0	0	8	0	1	0	0	1	1	5	0	0	6	2	1	2	0	5	20
05:30 PM	0	7	1	0	8	1	1	2	0	4	0	4	0	0	4	0	2	0	0	2	18
05:45 PM	0	5	0	0	5	0	0	0	0	0	0	6	0	0	6	1	2	3	0	6	17
Total	1	24	1	0	26	1	2	3	0	6	1	19	1	0	21	4	8	6	0	18	71
Grand Total	5	92	6	0	103	3	7	7	0	17	1	80	5	0	86	17	31	13	0	61	267
Apprch %	4.9	89.3	5.8	0		17.6	41.2	41.2	0		1.2	93	5.8	0		27.9	50.8	21.3	0		
Total %	1.9	34.5	2.2	0	38.6	1.1	2.6	2.6	0	6.4	0.4	30	1.9	0	32.2	6.4	11.6	4.9	0	22.8	

DE TRAFFIC

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NW 78th Ave (CR 232) at CR 235
Alachua County, FL

File Name : cr 235 at nw 78

Site Code : 00000001

Start Date : 4/19/2022

Page No : 8

Groups Printed- Peds

Start Time	CR 235 Southbound					NW 78th Ave (CR 232) Westbound					CR 235 Northbound					NW 78th Ave (CR 232) Eastbound					Int. Total
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	
Grand Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Apprch %	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total %																					

**CR 235 at NW 173rd
Street (CR 235A)**

DE TRAFFIC

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NW 173 St (CR 235A) at CR 235
Alachua County, FL

File Name : CR 235A at CR 235

Site Code : 00000003

Start Date : 4/19/2022

Page No : 1

Groups Printed- Automobiles - Commercial

Start Time	NW 173 St (CR 235A) Southbound				CR 235 Westbound				N/A Northbound				CR 235 Eastbound				Int. Total
	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	
07:00 AM	11	0	21	32	0	26	13	39	0	0	0	0	24	36	0	60	131
07:15 AM	17	0	24	41	0	37	16	53	0	0	0	0	27	39	0	66	160
07:30 AM	18	0	22	40	0	38	17	55	0	0	0	0	43	45	0	88	183
07:45 AM	17	0	19	36	0	49	20	69	0	0	0	0	36	37	0	73	178
Total	63	0	86	149	0	150	66	216	0	0	0	0	130	157	0	287	652
08:00 AM	18	0	23	41	0	38	18	56	0	0	0	0	24	33	0	57	154
08:15 AM	25	0	27	52	0	42	23	65	0	0	0	0	28	32	0	60	177
08:30 AM	13	0	12	25	0	30	19	49	0	0	0	0	37	25	0	62	136
08:45 AM	14	0	15	29	0	26	20	46	0	0	0	0	25	35	0	60	135
Total	70	0	77	147	0	136	80	216	0	0	0	0	114	125	0	239	602
04:00 PM	17	0	20	37	0	50	12	62	0	0	0	0	22	44	0	66	165
04:15 PM	11	0	27	38	0	49	13	62	0	0	0	0	28	55	0	83	183
04:30 PM	17	0	24	41	0	47	17	64	0	0	0	0	24	63	0	87	192
04:45 PM	17	0	25	42	0	44	19	63	0	0	0	0	24	44	0	68	173
Total	62	0	96	158	0	190	61	251	0	0	0	0	98	206	0	304	713
05:00 PM	19	0	26	45	0	49	21	70	0	0	0	0	28	66	0	94	209
05:15 PM	13	0	22	35	0	39	23	62	0	0	0	0	30	66	0	96	193
05:30 PM	9	0	24	33	0	39	15	54	0	0	0	0	23	56	0	79	166
05:45 PM	7	0	19	26	0	34	11	45	0	0	0	0	14	47	0	61	132
Total	48	0	91	139	0	161	70	231	0	0	0	0	95	235	0	330	700
Grand Total	243	0	350	593	0	637	277	914	0	0	0	0	437	723	0	1160	2667
Apprch %	41	0	59		0	69.7	30.3		0	0	0		37.7	62.3	0		
Total %	9.1	0	13.1	22.2	0	23.9	10.4	34.3	0	0	0	0	16.4	27.1	0	43.5	
Automobiles	233	0	337	570	0	547	250	797	0	0	0	0	384	682	0	1066	2433
% Automobiles	95.9	0	96.3	96.1	0	85.9	90.3	87.2	0	0	0	0	87.9	94.3	0	91.9	91.2
Commercial	10	0	13	23	0	90	27	117	0	0	0	0	53	41	0	94	234
% Commercial	4.1	0	3.7	3.9	0	14.1	9.7	12.8	0	0	0	0	12.1	5.7	0	8.1	8.8

DE TRAFFIC

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NW 173 St (CR 235A) at CR 235
Alachua County, FL

File Name : CR 235A at CR 235
Site Code : 00000003
Start Date : 4/19/2022
Page No : 2

Start Time	NW 173 St (CR 235A) Southbound				CR 235 Westbound				N/A Northbound				CR 235 Eastbound				Int. Total
	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	
Peak Hour Analysis From 07:00 AM to 08:45 AM - Peak 1 of 1																	
Peak Hour for Entire Intersection Begins at 07:30 AM																	
07:30 AM	18	0	22	40	0	38	17	55	0	0	0	0	43	45	0	88	183
07:45 AM	17	0	19	36	0	49	20	69	0	0	0	0	36	37	0	73	178
08:00 AM	18	0	23	41	0	38	18	56	0	0	0	0	24	33	0	57	154
08:15 AM	25	0	27	52	0	42	23	65	0	0	0	0	28	32	0	60	177
Total Volume	78	0	91	169	0	167	78	245	0	0	0	0	131	147	0	278	692
% App. Total	46.2	0	53.8		0	68.2	31.8		0	0	0	0	47.1	52.9	0		
PHF	.780	.000	.843	.813	.000	.852	.848	.888	.000	.000	.000	.000	.762	.817	.000	.790	.945
Automobiles	77	0	88	165	0	145	73	218	0	0	0	0	118	137	0	255	638
% Automobiles	98.7	0	96.7	97.6	0	86.8	93.6	89.0	0	0	0	0	90.1	93.2	0	91.7	92.2
Commercial	1	0	3	4	0	22	5	27	0	0	0	0	13	10	0	23	54
% Commercial	1.3	0	3.3	2.4	0	13.2	6.4	11.0	0	0	0	0	9.9	6.8	0	8.3	7.8

DE TRAFFIC

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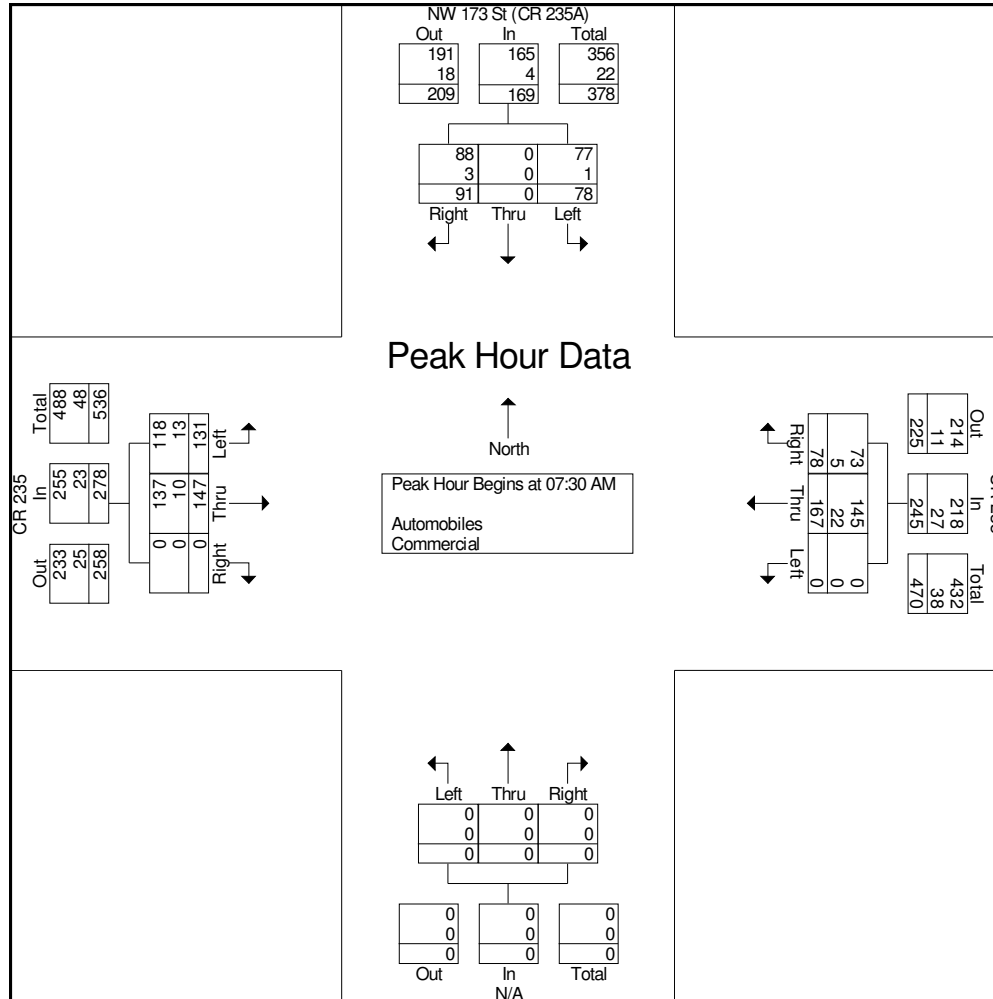
NW 173 St (CR 235A) at CR 235
Alachua County, FL

File Name : CR 235A at CR 235

Site Code : 00000003

Start Date : 4/19/2022

Page No : 3



DE TRAFFIC

detrtraffic.com

NW 173 St (CR 235A) at CR 235
Alachua County, FL

File Name : CR 235A at CR 235

Site Code : 00000003

Start Date : 4/19/2022

Page No : 4

Start Time	NW 173 St (CR 235A) Southbound				CR 235 Westbound				N/A Northbound				CR 235 Eastbound				Int. Total
	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	
Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1																	
Peak Hour for Entire Intersection Begins at 04:30 PM																	
04:30 PM	17	0	24	41	0	47	17	64	0	0	0	0	24	63	0	87	192
04:45 PM	17	0	25	42	0	44	19	63	0	0	0	0	24	44	0	68	173
05:00 PM	19	0	26	45	0	49	21	70	0	0	0	0	28	66	0	94	209
05:15 PM	13	0	22	35	0	39	23	62	0	0	0	0	30	66	0	96	193
Total Volume	66	0	97	163	0	179	80	259	0	0	0	0	106	239	0	345	767
% App. Total	40.5	0	59.5		0	69.1	30.9		0	0	0		30.7	69.3	0		
PHF	.868	.000	.933	.906	.000	.913	.870	.925	.000	.000	.000	.000	.883	.905	.000	.898	.917
Automobiles	64	0	94	158	0	154	70	224	0	0	0	0	93	231	0	324	706
% Automobiles	97.0	0	96.9	96.9	0	86.0	87.5	86.5	0	0	0	0	87.7	96.7	0	93.9	92.0
Commercial	2	0	3	5	0	25	10	35	0	0	0	0	13	8	0	21	61
% Commercial	3.0	0	3.1	3.1	0	14.0	12.5	13.5	0	0	0	0	12.3	3.3	0	6.1	8.0

DE TRAFFIC

detraffic.com

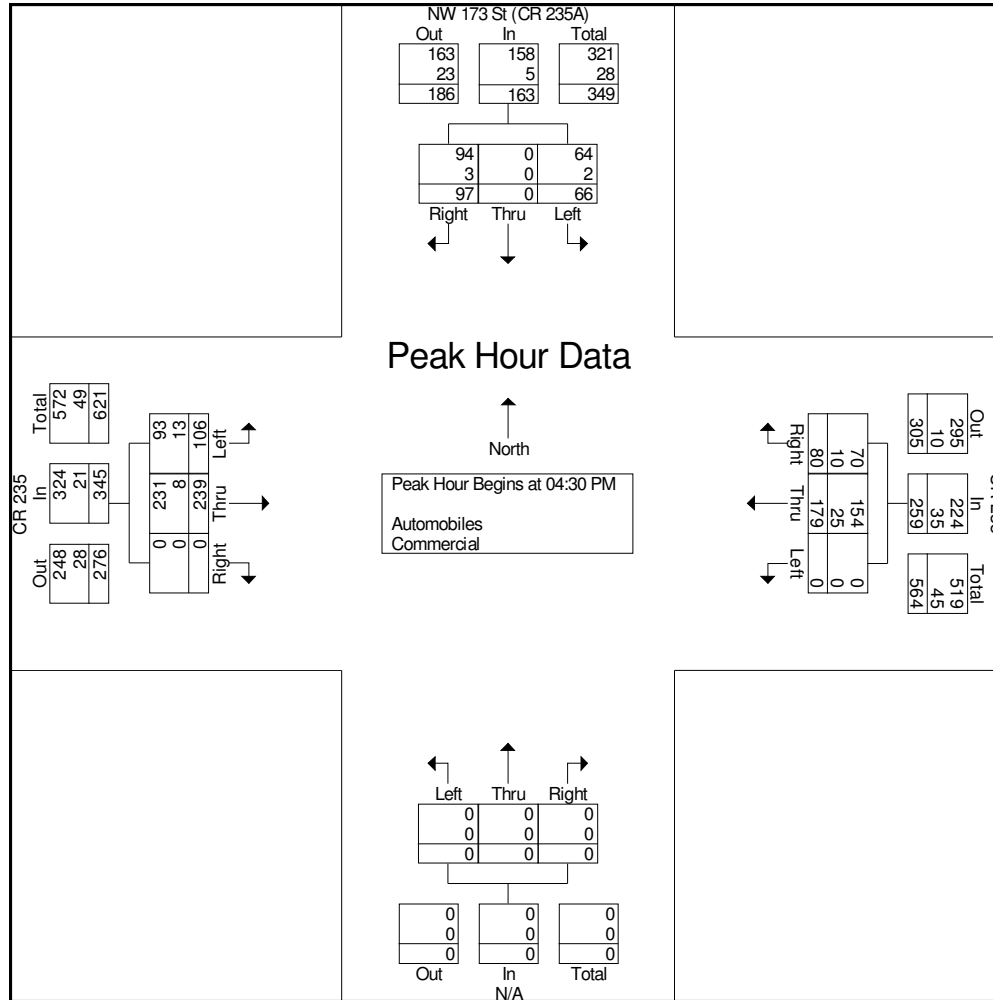
NW 173 St (CR 235A) at CR 235
Alachua County, FL

File Name : CR 235A at CR 235

Site Code : 00000003

Start Date : 4/19/2022

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DE TRAFFIC

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NW 173 St (CR 235A) at CR 235
Alachua County, FL

File Name : CR 235A at CR 235

Site Code : 00000003

Start Date : 4/19/2022

Page No : 6

Groups Printed- Automobiles

Start Time	NW 173 St (CR 235A) Southbound					CR 235 Westbound					N/A Northbound					CR 235 Eastbound					Int. Total
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	
07:00 AM	11	0	19	0	30	0	24	11	0	35	0	0	0	0	0	19	32	0	0	51	116
07:15 AM	16	0	24	0	40	0	34	16	0	50	0	0	0	0	0	24	37	0	0	61	151
07:30 AM	18	0	21	0	39	0	34	17	0	51	0	0	0	0	0	41	41	0	0	82	172
07:45 AM	17	0	19	0	36	0	43	18	0	61	0	0	0	0	0	34	35	0	0	69	166
Total	62	0	83	0	145	0	135	62	0	197	0	0	0	0	0	118	145	0	0	263	605
08:00 AM	18	0	21	0	39	0	34	17	0	51	0	0	0	0	0	19	31	0	0	50	140
08:15 AM	24	0	27	0	51	0	34	21	0	55	0	0	0	0	0	24	30	0	0	54	160
08:30 AM	11	0	11	0	22	0	26	18	0	44	0	0	0	0	0	34	24	0	0	58	124
08:45 AM	13	0	13	0	26	0	21	19	0	40	0	0	0	0	0	23	33	0	0	56	122
Total	66	0	72	0	138	0	115	75	0	190	0	0	0	0	0	100	118	0	0	218	546
04:00 PM	15	0	19	0	34	0	44	10	0	54	0	0	0	0	0	19	41	0	0	60	148
04:15 PM	11	0	26	0	37	0	41	11	0	52	0	0	0	0	0	24	53	0	0	77	166
04:30 PM	16	0	22	0	38	0	43	16	0	59	0	0	0	0	0	19	61	0	0	80	177
04:45 PM	17	0	25	0	42	0	36	17	0	53	0	0	0	0	0	22	42	0	0	64	159
Total	59	0	92	0	151	0	164	54	0	218	0	0	0	0	0	84	197	0	0	281	650
05:00 PM	18	0	26	0	44	0	42	18	0	60	0	0	0	0	0	24	65	0	0	89	193
05:15 PM	13	0	21	0	34	0	33	19	0	52	0	0	0	0	0	28	63	0	0	91	177
05:30 PM	8	0	24	0	32	0	31	12	0	43	0	0	0	0	0	19	51	0	0	70	145
05:45 PM	7	0	19	0	26	0	27	10	0	37	0	0	0	0	0	11	43	0	0	54	117
Total	46	0	90	0	136	0	133	59	0	192	0	0	0	0	0	82	222	0	0	304	632
Grand Total	233	0	337	0	570	0	547	250	0	797	0	0	0	0	0	384	682	0	0	1066	2433
Apprch %	40.9	0	59.1	0		0	68.6	31.4	0		0	0	0	0	0	36	64	0	0		
Total %	9.6	0	13.9	0	23.4	0	22.5	10.3	0	32.8	0	0	0	0	0	15.8	28	0	0	43.8	

DE TRAFFIC

detraffic.com

NW 173 St (CR 235A) at CR 235
Alachua County, FL

File Name : CR 235A at CR 235

Site Code : 00000003

Start Date : 4/19/2022

Page No : 7

Groups Printed- Commercial

Start Time	NW 173 St (CR 235A) Southbound					CR 235 Westbound					N/A Northbound					CR 235 Eastbound					Int. Total
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	
07:00 AM	0	0	2	0	2	0	2	2	0	4	0	0	0	0	0	5	4	0	0	9	15
07:15 AM	1	0	0	0	1	0	3	0	0	3	0	0	0	0	0	3	2	0	0	5	9
07:30 AM	0	0	1	0	1	0	4	0	0	4	0	0	0	0	0	2	4	0	0	6	11
07:45 AM	0	0	0	0	0	0	6	2	0	8	0	0	0	0	0	2	2	0	0	4	12
Total	1	0	3	0	4	0	15	4	0	19	0	0	0	0	0	12	12	0	0	24	47
08:00 AM	0	0	2	0	2	0	4	1	0	5	0	0	0	0	0	5	2	0	0	7	14
08:15 AM	1	0	0	0	1	0	8	2	0	10	0	0	0	0	0	4	2	0	0	6	17
08:30 AM	2	0	1	0	3	0	4	1	0	5	0	0	0	0	0	3	1	0	0	4	12
08:45 AM	1	0	2	0	3	0	5	1	0	6	0	0	0	0	0	2	2	0	0	4	13
Total	4	0	5	0	9	0	21	5	0	26	0	0	0	0	0	14	7	0	0	21	56
04:00 PM	2	0	1	0	3	0	6	2	0	8	0	0	0	0	0	3	3	0	0	6	17
04:15 PM	0	0	1	0	1	0	8	2	0	10	0	0	0	0	0	4	2	0	0	6	17
04:30 PM	1	0	2	0	3	0	4	1	0	5	0	0	0	0	0	5	2	0	0	7	15
04:45 PM	0	0	0	0	0	0	8	2	0	10	0	0	0	0	0	2	2	0	0	4	14
Total	3	0	4	0	7	0	26	7	0	33	0	0	0	0	0	14	9	0	0	23	63
05:00 PM	1	0	0	0	1	0	7	3	0	10	0	0	0	0	0	4	1	0	0	5	16
05:15 PM	0	0	1	0	1	0	6	4	0	10	0	0	0	0	0	2	3	0	0	5	16
05:30 PM	1	0	0	0	1	0	8	3	0	11	0	0	0	0	0	4	5	0	0	9	21
05:45 PM	0	0	0	0	0	0	7	1	0	8	0	0	0	0	0	3	4	0	0	7	15
Total	2	0	1	0	3	0	28	11	0	39	0	0	0	0	0	13	13	0	0	26	68
Grand Total	10	0	13	0	23	0	90	27	0	117	0	0	0	0	0	53	41	0	0	94	234
Apprch %	43.5	0	56.5	0		0	76.9	23.1	0		0	0	0	0		56.4	43.6	0	0		
Total %	4.3	0	5.6	0	9.8	0	38.5	11.5	0	50	0	0	0	0	0	22.6	17.5	0	0	40.2	

DE TRAFFIC

detraffic.com

NW 173 St (CR 235A) at CR 235
Alachua County, FL

File Name : CR 235A at CR 235

Site Code : 00000003

Start Date : 4/19/2022

Page No : 8

Groups Printed- Peds

Start Time	NW 173 St (CR 235A) Southbound					CR 235 Westbound					N/A Northbound					CR 235 Eastbound					Int. Total
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	
Grand Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Apprch %	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total %																					

**Peggy Road (CR
2054) at NW 140th
Street (CR 235)**

DE TRAFFIC

detraffic.com

NW 140 St (CR 235) at Peggy Rd (CR 2054)
Alachua County, FL

File Name : NW 140 at CR 2054

Site Code : 00000004

Start Date : 4/19/2022

Page No : 1

Groups Printed- Automobiles - Commercial

Start Time	NW 140 St (CR 235) Southbound				N/A Westbound				NW 140 St (CR 235) Northbound				Peggy Rd (CR 2054) Eastbound				Int. Total
	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	
07:00 AM	0	70	5	75	0	0	0	0	6	53	0	59	4	0	8	12	146
07:15 AM	0	92	6	98	0	0	0	0	4	57	0	61	6	0	6	12	171
07:30 AM	0	104	4	108	0	0	0	0	10	59	0	69	7	0	11	18	195
07:45 AM	0	91	4	95	0	0	0	0	13	52	0	65	5	0	6	11	171
Total	0	357	19	376	0	0	0	0	33	221	0	254	22	0	31	53	683
08:00 AM	0	89	5	94	0	0	0	0	12	65	0	77	6	0	6	12	183
08:15 AM	0	89	6	95	0	0	0	0	9	74	0	83	6	0	8	14	192
08:30 AM	0	95	4	99	0	0	0	0	8	80	0	88	5	0	9	14	201
08:45 AM	0	76	7	83	0	0	0	0	7	74	0	81	5	0	10	15	179
Total	0	349	22	371	0	0	0	0	36	293	0	329	22	0	33	55	755
04:00 PM	0	89	5	94	0	0	0	0	6	89	0	95	6	0	10	16	205
04:15 PM	0	104	3	107	0	0	0	0	4	100	0	104	4	0	5	9	220
04:30 PM	0	95	5	100	0	0	0	0	5	82	0	87	2	0	5	7	194
04:45 PM	0	83	3	86	0	0	0	0	8	95	0	103	6	0	10	16	205
Total	0	371	16	387	0	0	0	0	23	366	0	389	18	0	30	48	824
05:00 PM	0	94	3	97	0	0	0	0	5	139	0	144	5	0	4	9	250
05:15 PM	0	85	6	91	0	0	0	0	7	110	0	117	5	0	10	15	223
05:30 PM	0	72	8	80	0	0	0	0	5	85	0	90	5	0	10	15	185
05:45 PM	0	94	3	97	0	0	0	0	7	89	0	96	6	0	7	13	206
Total	0	345	20	365	0	0	0	0	24	423	0	447	21	0	31	52	864
Grand Total	0	1422	77	1499	0	0	0	0	116	1303	0	1419	83	0	125	208	3126
Apprch %	0	94.9	5.1		0	0	0		8.2	91.8	0		39.9	0	60.1		
Total %	0	45.5	2.5	48	0	0	0	0	3.7	41.7	0	45.4	2.7	0	4	6.7	
Automobiles	0	1270	65	1335	0	0	0	0	112	1179	0	1291	72	0	103	175	2801
% Automobiles	0	89.3	84.4	89.1	0	0	0	0	96.6	90.5	0	91	86.7	0	82.4	84.1	89.6
Commercial	0	152	12	164	0	0	0	0	4	124	0	128	11	0	22	33	325
% Commercial	0	10.7	15.6	10.9	0	0	0	0	3.4	9.5	0	9	13.3	0	17.6	15.9	10.4

DE TRAFFIC

detrtraffic.com

NW 140 St (CR 235) at Peggy Rd (CR 2054)
Alachua County, FL

File Name : NW 140 at CR 2054

Site Code : 00000004

Start Date : 4/19/2022

Page No : 2

Start Time	NW 140 St (CR 235) Southbound				N/A Westbound				NW 140 St (CR 235) Northbound				Peggy Rd (CR 2054) Eastbound				Int. Total
	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	
Peak Hour Analysis From 07:00 AM to 08:45 AM - Peak 1 of 1																	
Peak Hour for Entire Intersection Begins at 08:00 AM																	
08:00 AM	0	89	5	94	0	0	0	0	12	65	0	77	6	0	6	12	183
08:15 AM	0	89	6	95	0	0	0	0	9	74	0	83	6	0	8	14	192
08:30 AM	0	95	4	99	0	0	0	0	8	80	0	88	5	0	9	14	201
08:45 AM	0	76	7	83	0	0	0	0	7	74	0	81	5	0	10	15	179
Total Volume	0	349	22	371	0	0	0	0	36	293	0	329	22	0	33	55	755
% App. Total	0	94.1	5.9		0	0	0		10.9	89.1	0		40	0	60		
PHF	.000	.918	.786	.937	.000	.000	.000	.000	.750	.916	.000	.935	.917	.000	.825	.917	.939
Automobiles	0	313	20	333	0	0	0	0	35	252	0	287	17	0	29	46	666
% Automobiles	0	89.7	90.9	89.8	0	0	0	0	97.2	86.0	0	87.2	77.3	0	87.9	83.6	88.2
Commercial	0	36	2	38	0	0	0	0	1	41	0	42	5	0	4	9	89
% Commercial	0	10.3	9.1	10.2	0	0	0	0	2.8	14.0	0	12.8	22.7	0	12.1	16.4	11.8

DE TRAFFIC

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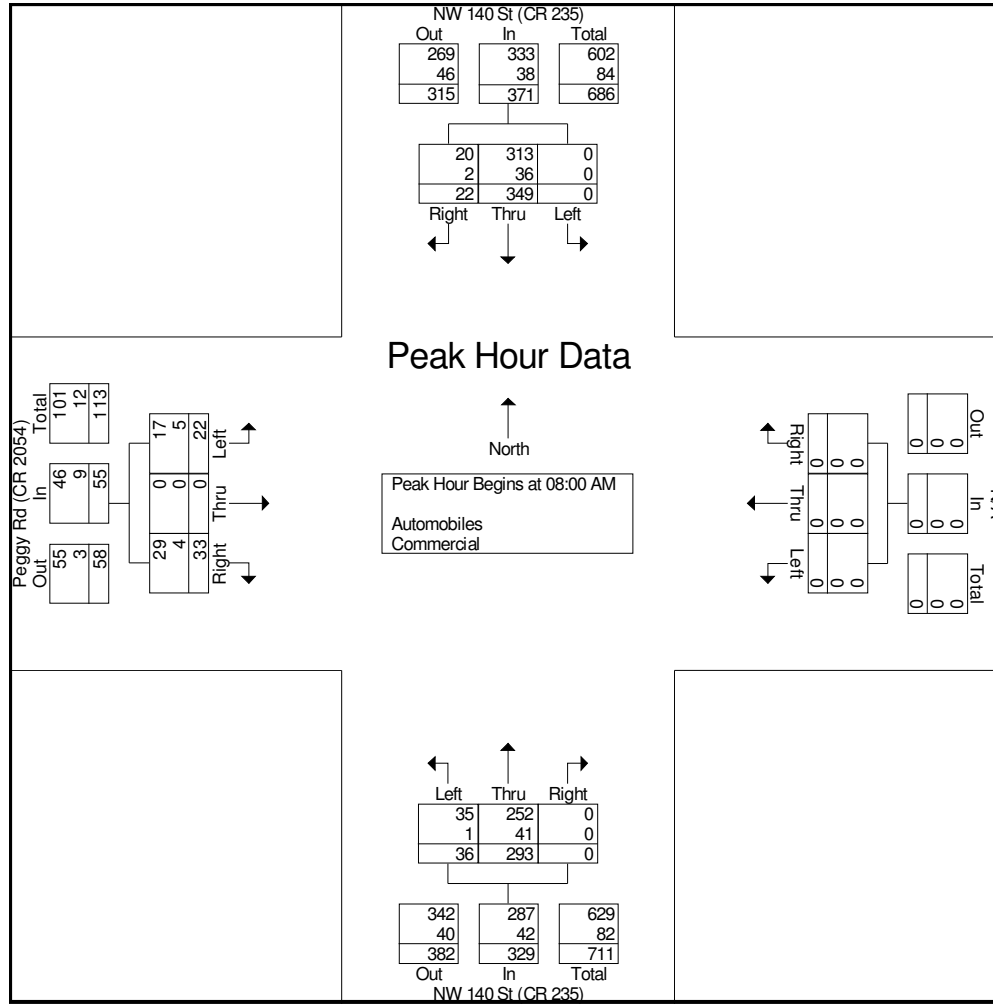
NW 140 St (CR 235) at Peggy Rd (CR 2054)
Alachua County, FL

File Name : NW 140 at CR 2054

Site Code : 00000004

Start Date : 4/19/2022

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DE TRAFFIC

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NW 140 St (CR 235) at Peggy Rd (CR 2054)
Alachua County, FL

File Name : NW 140 at CR 2054

Site Code : 00000004

Start Date : 4/19/2022

Page No : 4

Start Time	NW 140 St (CR 235) Southbound				N/A Westbound				NW 140 St (CR 235) Northbound				Peggy Rd (CR 2054) Eastbound				Int. Total
	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	
Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1																	
Peak Hour for Entire Intersection Begins at 04:30 PM																	
04:30 PM	0	95	5	100	0	0	0	0	5	82	0	87	2	0	5	7	194
04:45 PM	0	83	3	86	0	0	0	0	8	95	0	103	6	0	10	16	205
05:00 PM	0	94	3	97	0	0	0	0	5	139	0	144	5	0	4	9	250
05:15 PM	0	85	6	91	0	0	0	0	7	110	0	117	5	0	10	15	223
Total Volume	0	357	17	374	0	0	0	0	25	426	0	451	18	0	29	47	872
% App. Total	0	95.5	4.5		0	0	0		5.5	94.5	0		38.3	0	61.7		
PHF	.000	.939	.708	.935	.000	.000	.000	.000	.781	.766	.000	.783	.750	.000	.725	.734	.872
Automobiles	0	314	11	325	0	0	0	0	23	401	0	424	16	0	24	40	789
% Automobiles	0	88.0	64.7	86.9	0	0	0	0	92.0	94.1	0	94.0	88.9	0	82.8	85.1	90.5
Commercial	0	43	6	49	0	0	0	0	2	25	0	27	2	0	5	7	83
% Commercial	0	12.0	35.3	13.1	0	0	0	0	8.0	5.9	0	6.0	11.1	0	17.2	14.9	9.5

DE TRAFFIC

detraffic.com

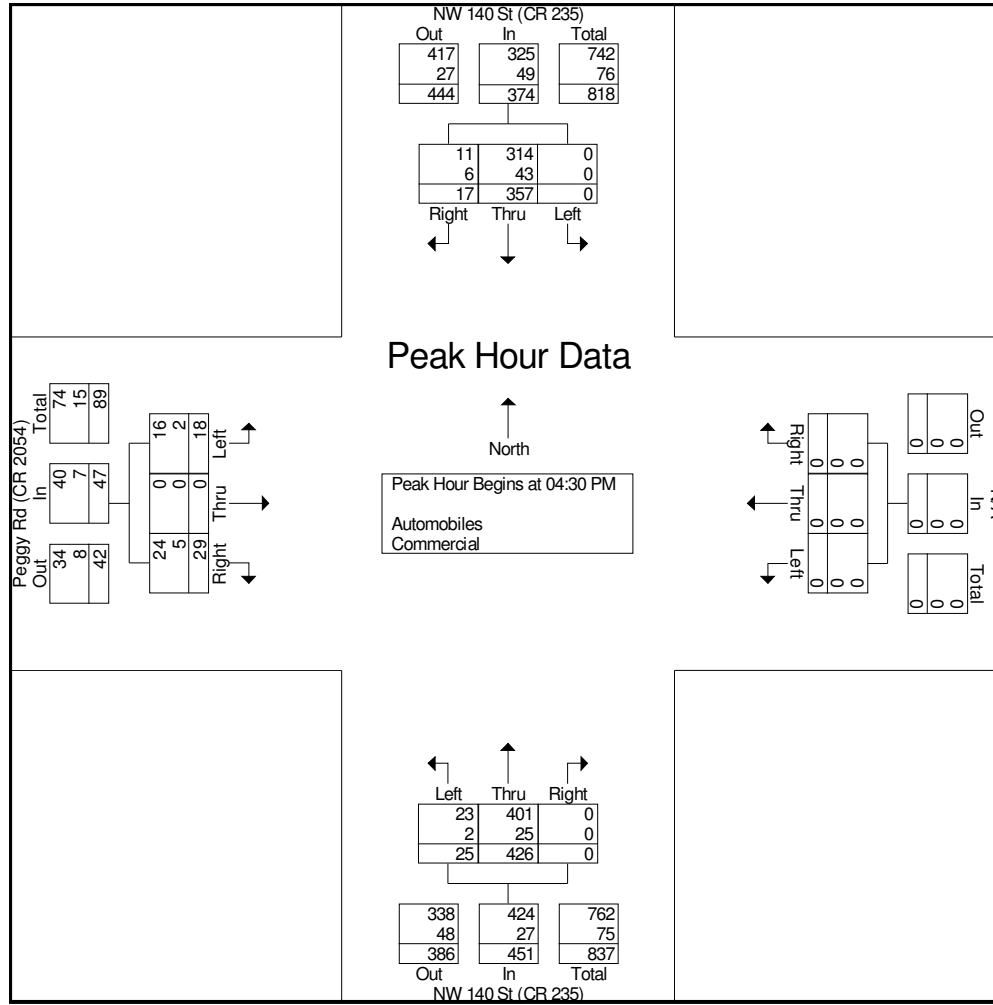
NW 140 St (CR 235) at Peggy Rd (CR 2054)
Alachua County, FL

File Name : NW 140 at CR 2054

Site Code : 00000004

Start Date : 4/19/2022

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DE TRAFFIC

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NW 140 St (CR 235) at Peggy Rd (CR 2054)
Alachua County, FL

File Name : NW 140 at CR 2054

Site Code : 00000004

Start Date : 4/19/2022

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Groups Printed- Automobiles

Start Time	NW 140 St (CR 235) Southbound					N/A Westbound					NW 140 St (CR 235) Northbound					Peggy Rd (CR 2054) Eastbound					Int. Total
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	
07:00 AM	0	61	5	0	66	0	0	0	0	0	6	47	0	0	53	4	0	6	0	10	129
07:15 AM	0	81	5	0	86	0	0	0	0	0	4	53	0	0	57	5	0	4	0	9	152
07:30 AM	0	94	4	0	98	0	0	0	0	0	10	51	0	0	61	5	0	8	0	13	172
07:45 AM	0	82	4	0	86	0	0	0	0	0	13	43	0	0	56	5	0	4	0	9	151
Total	0	318	18	0	336	0	0	0	0	0	33	194	0	0	227	19	0	22	0	41	604
08:00 AM	0	81	5	0	86	0	0	0	0	0	11	54	0	0	65	4	0	4	0	8	159
08:15 AM	0	76	5	0	81	0	0	0	0	0	9	61	0	0	70	6	0	8	0	14	165
08:30 AM	0	87	4	0	91	0	0	0	0	0	8	72	0	0	80	4	0	8	0	12	183
08:45 AM	0	69	6	0	75	0	0	0	0	0	7	65	0	0	72	3	0	9	0	12	159
Total	0	313	20	0	333	0	0	0	0	0	35	252	0	0	287	17	0	29	0	46	666
04:00 PM	0	81	4	0	85	0	0	0	0	0	6	84	0	0	90	6	0	7	0	13	188
04:15 PM	0	94	3	0	97	0	0	0	0	0	4	91	0	0	95	4	0	5	0	9	201
04:30 PM	0	84	3	0	87	0	0	0	0	0	4	76	0	0	80	2	0	4	0	6	173
04:45 PM	0	74	2	0	76	0	0	0	0	0	8	91	0	0	99	5	0	8	0	13	188
Total	0	333	12	0	345	0	0	0	0	0	22	342	0	0	364	17	0	24	0	41	750
05:00 PM	0	81	2	0	83	0	0	0	0	0	4	131	0	0	135	4	0	4	0	8	226
05:15 PM	0	75	4	0	79	0	0	0	0	0	7	103	0	0	110	5	0	8	0	13	202
05:30 PM	0	64	6	0	70	0	0	0	0	0	5	76	0	0	81	4	0	9	0	13	164
05:45 PM	0	86	3	0	89	0	0	0	0	0	6	81	0	0	87	6	0	7	0	13	189
Total	0	306	15	0	321	0	0	0	0	0	22	391	0	0	413	19	0	28	0	47	781
Grand Total	0	1270	65	0	1335	0	0	0	0	0	112	1179	0	0	1291	72	0	103	0	175	2801
Apprch %	0	95.1	4.9	0		0	0	0	0		8.7	91.3	0	0		41.1	0	58.9	0		
Total %	0	45.3	2.3	0	47.7	0	0	0	0	0	4	42.1	0	0	46.1	2.6	0	3.7	0	6.2	

DE TRAFFIC

detrtraffic.com

NW 140 St (CR 235) at Peggy Rd (CR 2054)
Alachua County, FL

File Name : NW 140 at CR 2054

Site Code : 00000004

Start Date : 4/19/2022

Page No : 7

Groups Printed- Commercial

Start Time	NW 140 St (CR 235) Southbound					N/A Westbound					NW 140 St (CR 235) Northbound					Peggy Rd (CR 2054) Eastbound					Int. Total
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	
07:00 AM	0	9	0	0	9	0	0	0	0	0	0	6	0	0	6	0	0	2	0	2	17
07:15 AM	0	11	1	0	12	0	0	0	0	0	0	4	0	0	4	1	0	2	0	3	19
07:30 AM	0	10	0	0	10	0	0	0	0	0	0	8	0	0	8	2	0	3	0	5	23
07:45 AM	0	9	0	0	9	0	0	0	0	0	0	9	0	0	9	0	0	2	0	2	20
Total	0	39	1	0	40	0	0	0	0	0	0	27	0	0	27	3	0	9	0	12	79
08:00 AM	0	8	0	0	8	0	0	0	0	0	1	11	0	0	12	2	0	2	0	4	24
08:15 AM	0	13	1	0	14	0	0	0	0	0	0	13	0	0	13	0	0	0	0	0	27
08:30 AM	0	8	0	0	8	0	0	0	0	0	0	8	0	0	8	1	0	1	0	2	18
08:45 AM	0	7	1	0	8	0	0	0	0	0	0	9	0	0	9	2	0	1	0	3	20
Total	0	36	2	0	38	0	0	0	0	0	1	41	0	0	42	5	0	4	0	9	89
04:00 PM	0	8	1	0	9	0	0	0	0	0	0	5	0	0	5	0	0	3	0	3	17
04:15 PM	0	10	0	0	10	0	0	0	0	0	0	9	0	0	9	0	0	0	0	0	19
04:30 PM	0	11	2	0	13	0	0	0	0	0	1	6	0	0	7	0	0	1	0	1	21
04:45 PM	0	9	1	0	10	0	0	0	0	0	0	4	0	0	4	1	0	2	0	3	17
Total	0	38	4	0	42	0	0	0	0	0	1	24	0	0	25	1	0	6	0	7	74
05:00 PM	0	13	1	0	14	0	0	0	0	0	1	8	0	0	9	1	0	0	0	1	24
05:15 PM	0	10	2	0	12	0	0	0	0	0	0	7	0	0	7	0	0	2	0	2	21
05:30 PM	0	8	2	0	10	0	0	0	0	0	0	9	0	0	9	1	0	1	0	2	21
05:45 PM	0	8	0	0	8	0	0	0	0	0	1	8	0	0	9	0	0	0	0	0	17
Total	0	39	5	0	44	0	0	0	0	0	2	32	0	0	34	2	0	3	0	5	83
Grand Total	0	152	12	0	164	0	0	0	0	0	4	124	0	0	128	11	0	22	0	33	325
Apprch %	0	92.7	7.3	0		0	0	0	0		3.1	96.9	0	0		33.3	0	66.7	0		
Total %	0	46.8	3.7	0	50.5	0	0	0	0	0	1.2	38.2	0	0	39.4	3.4	0	6.8	0	10.2	

DE TRAFFIC

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NW 140 St (CR 235) at Peggy Rd (CR 2054)
Alachua County, FL

File Name : NW 140 at CR 2054

Site Code : 00000004

Start Date : 4/19/2022

Page No : 8

Groups Printed- Peds

Start Time	NW 140 St (CR 235) Southbound					N/A Westbound					NW 140 St (CR 235) Northbound					Peggy Rd (CR 2054) Eastbound					Int. Total
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	
07:15 AM	0	0	0	4	4	0	0	0	0	0	0	0	0	3	3	0	0	0	0	0	7
07:30 AM	0	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2
07:45 AM	0	0	0	1	1	0	0	0	0	0	0	0	0	2	2	0	0	0	0	0	3
Total	0	0	0	7	7	0	0	0	0	0	0	0	0	5	5	0	0	0	0	0	12
08:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	4	4	0	0	0	0	0	4
08:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	2	2	0	0	0	0	0	2
08:30 AM	0	0	0	2	2	0	0	0	0	0	0	0	0	1	1	0	0	0	0	0	3
Total	0	0	0	2	2	0	0	0	0	0	0	0	0	7	7	0	0	0	0	0	9
04:30 PM	0	0	0	1	1	0	0	0	0	0	0	0	0	2	2	0	0	0	0	0	3
04:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	1	1	0	0	0	0	0	1
Total	0	0	0	1	1	0	0	0	0	0	0	0	0	3	3	0	0	0	0	0	4
05:00 PM	0	0	0	2	2	0	0	0	0	0	0	0	0	2	2	0	0	0	0	0	4
05:15 PM	0	0	0	1	1	0	0	0	0	0	0	0	0	1	1	0	0	0	0	0	2
Total	0	0	0	3	3	0	0	0	0	0	0	0	0	3	3	0	0	0	0	0	6
Grand Total	0	0	0	13	13	0	0	0	0	0	0	0	0	18	18	0	0	0	0	0	31
Apprch %	0	0	0	100		0	0	0	0	0	0	0	0	100		0	0	0	0	0	
Total %	0	0	0	41.9	41.9	0	0	0	0	0	0	0	0	58.1	58.1	0	0	0	0	0	

**Peggy Road (CR
2054) at NW 173rd
Street (CR 235A)**

DE TRAFFIC

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NW 173 St (CR 235A) at Peggy Rd (CR 2054)
Alachua County, FL

File Name : CR 235A at CR 2054

Site Code : 00000002

Start Date : 4/19/2022

Page No : 1

Groups Printed- Automobiles - Commercial

Start Time	CR 235A Southbound				Peggy Rd (CR 2054) Westbound				CR 235A Northbound				Peggy Rd (CR 2054) Eastbound				Int. Total
	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	
07:00 AM	3	45	4	52	4	2	3	9	3	40	2	45	3	7	1	11	117
07:15 AM	4	67	5	76	2	2	5	9	3	45	1	49	5	3	3	11	145
07:30 AM	7	53	5	65	5	4	5	14	2	61	3	66	5	2	5	12	157
07:45 AM	4	44	5	53	2	3	6	11	5	61	2	68	4	5	5	14	146
Total	18	209	19	246	13	11	19	43	13	207	8	228	17	17	14	48	565
08:00 AM	6	59	2	67	4	3	6	13	4	51	2	57	8	4	4	16	153
08:15 AM	4	50	7	61	6	5	5	16	6	70	3	79	4	9	3	16	172
08:30 AM	6	39	4	49	5	4	2	11	5	60	1	66	5	4	1	10	136
08:45 AM	4	39	3	46	4	3	2	9	3	54	3	60	3	6	2	11	126
Total	20	187	16	223	19	15	15	49	18	235	9	262	20	23	10	53	587
04:00 PM	7	58	5	70	8	6	3	17	5	36	6	47	8	5	5	18	152
04:15 PM	7	41	6	54	3	10	5	18	5	39	2	46	6	1	4	11	129
04:30 PM	4	57	6	67	6	7	5	18	6	49	3	58	3	0	5	8	151
04:45 PM	6	45	4	55	4	8	6	18	4	64	2	70	6	6	6	18	161
Total	24	201	21	246	21	31	19	71	20	188	13	221	23	12	20	55	593
05:00 PM	7	60	8	75	4	6	7	17	5	53	2	60	4	4	5	13	165
05:15 PM	9	50	4	63	3	8	4	15	6	48	2	56	8	3	6	17	151
05:30 PM	7	59	8	74	5	5	7	17	4	42	4	50	5	5	5	15	156
05:45 PM	7	50	7	64	2	6	2	10	6	42	3	51	5	5	4	14	139
Total	30	219	27	276	14	25	20	59	21	185	11	217	22	17	20	59	611
Grand Total	92	816	83	991	67	82	73	222	72	815	41	928	82	69	64	215	2356
Apprch %	9.3	82.3	8.4		30.2	36.9	32.9		7.8	87.8	4.4		38.1	32.1	29.8		
Total %	3.9	34.6	3.5	42.1	2.8	3.5	3.1	9.4	3.1	34.6	1.7	39.4	3.5	2.9	2.7	9.1	
Automobiles	73	674	79	826	58	73	61	192	66	644	38	748	79	65	59	203	1969
% Automobiles	79.3	82.6	95.2	83.4	86.6	89	83.6	86.5	91.7	79	92.7	80.6	96.3	94.2	92.2	94.4	83.6
Commercial	19	142	4	165	9	9	12	30	6	171	3	180	3	4	5	12	387
% Commercial	20.7	17.4	4.8	16.6	13.4	11	16.4	13.5	8.3	21	7.3	19.4	3.7	5.8	7.8	5.6	16.4

DE TRAFFIC

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NW 173 St (CR 235A) at Peggy Rd (CR 2054)
Alachua County, FL

File Name : CR 235A at CR 2054

Site Code : 00000002

Start Date : 4/19/2022

Page No : 2

Start Time	CR 235A Southbound				Peggy Rd (CR 2054) Westbound				CR 235A Northbound				Peggy Rd (CR 2054) Eastbound				Int. Total
	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	
Peak Hour Analysis From 07:00 AM to 08:45 AM - Peak 1 of 1																	
Peak Hour for Entire Intersection Begins at 07:30 AM																	
07:30 AM	7	53	5	65	5	4	5	14	2	61	3	66	5	2	5	12	157
07:45 AM	4	44	5	53	2	3	6	11	5	61	2	68	4	5	5	14	146
08:00 AM	6	59	2	67	4	3	6	13	4	51	2	57	8	4	4	16	153
08:15 AM	4	50	7	61	6	5	5	16	6	70	3	79	4	9	3	16	172
Total Volume	21	206	19	246	17	15	22	54	17	243	10	270	21	20	17	58	628
% App. Total	8.5	83.7	7.7		31.5	27.8	40.7		6.3	90	3.7		36.2	34.5	29.3		
PHF	.750	.873	.679	.918	.708	.750	.917	.844	.708	.868	.833	.854	.656	.556	.850	.906	.913
Automobiles	18	170	16	204	15	12	18	45	17	204	8	229	21	19	15	55	533
% Automobiles	85.7	82.5	84.2	82.9	88.2	80.0	81.8	83.3	100	84.0	80.0	84.8	100	95.0	88.2	94.8	84.9
Commercial	3	36	3	42	2	3	4	9	0	39	2	41	0	1	2	3	95
% Commercial	14.3	17.5	15.8	17.1	11.8	20.0	18.2	16.7	0	16.0	20.0	15.2	0	5.0	11.8	5.2	15.1

DE TRAFFIC

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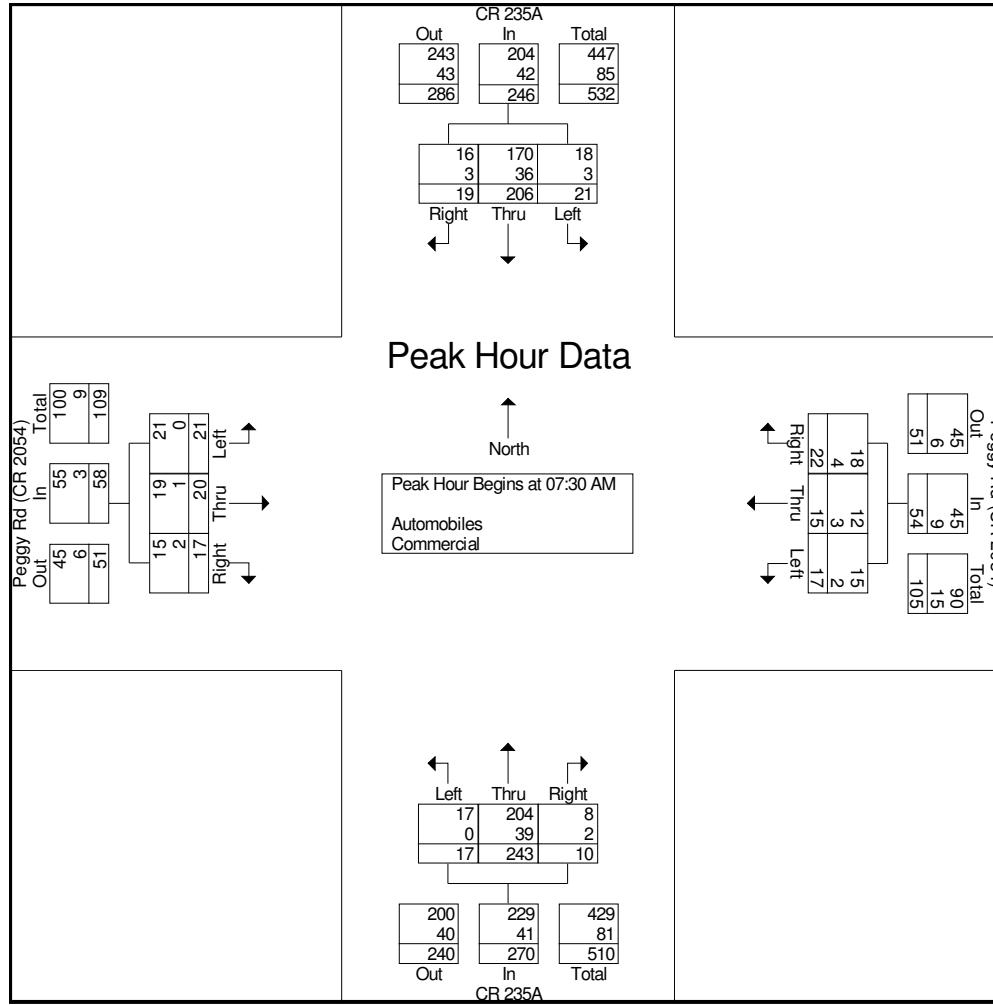
NW 173 St (CR 235A) at Peggy Rd (CR 2054)
Alachua County, FL

File Name : CR 235A at CR 2054

Site Code : 00000002

Start Date : 4/19/2022

Page No : 3



DE TRAFFIC

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NW 173 St (CR 235A) at Peggy Rd (CR 2054)
Alachua County, FL

File Name : CR 235A at CR 2054

Site Code : 00000002

Start Date : 4/19/2022

Page No : 4

Start Time	CR 235A Southbound				Peggy Rd (CR 2054) Westbound				CR 235A Northbound				Peggy Rd (CR 2054) Eastbound				Int. Total
	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	
Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1																	
Peak Hour for Entire Intersection Begins at 04:45 PM																	
04:45 PM	6	45	4	55	4	8	6	18	4	64	2	70	6	6	6	18	161
05:00 PM	7	60	8	75	4	6	7	17	5	53	2	60	4	4	5	13	165
05:15 PM	9	50	4	63	3	8	4	15	6	48	2	56	8	3	6	17	151
05:30 PM	7	59	8	74	5	5	7	17	4	42	4	50	5	5	5	15	156
Total Volume	29	214	24	267	16	27	24	67	19	207	10	236	23	18	22	63	633
% App. Total	10.9	80.1	9		23.9	40.3	35.8		8.1	87.7	4.2		36.5	28.6	34.9		
PHF	.806	.892	.750	.890	.800	.844	.857	.931	.792	.809	.625	.843	.719	.750	.917	.875	.959
Automobiles	19	187	24	230	13	24	18	55	18	156	9	183	22	16	20	58	526
% Automobiles	65.5	87.4	100	86.1	81.3	88.9	75.0	82.1	94.7	75.4	90.0	77.5	95.7	88.9	90.9	92.1	83.1
Commercial	10	27	0	37	3	3	6	12	1	51	1	53	1	2	2	5	107
% Commercial	34.5	12.6	0	13.9	18.8	11.1	25.0	17.9	5.3	24.6	10.0	22.5	4.3	11.1	9.1	7.9	16.9

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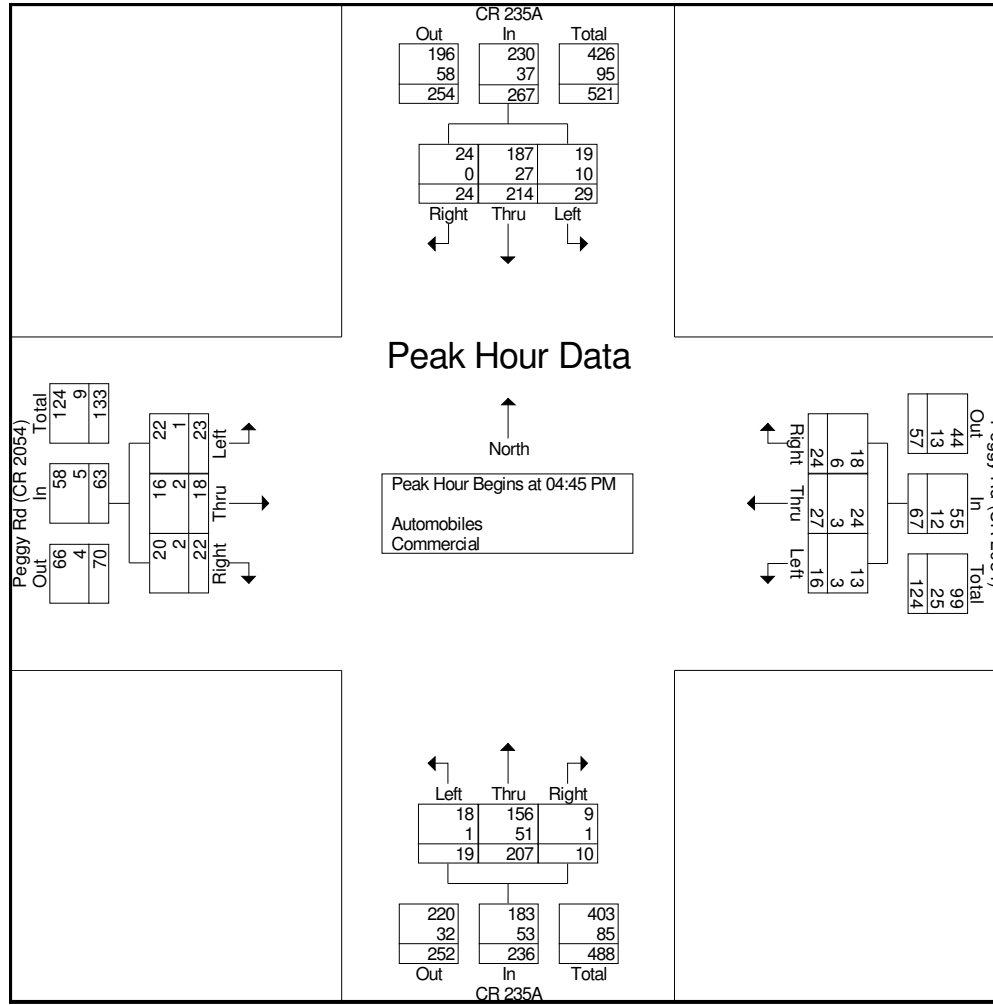
NW 173 St (CR 235A) at Peggy Rd (CR 2054)
Alachua County, FL

File Name : CR 235A at CR 2054

Site Code : 00000002

Start Date : 4/19/2022

Page No : 5



DE TRAFFIC

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NW 173 St (CR 235A) at Peggy Rd (CR 2054)
Alachua County, FL

File Name : CR 235A at CR 2054

Site Code : 00000002

Start Date : 4/19/2022

Page No : 6

Groups Printed- Automobiles

Start Time	CR 235A Southbound					Peggy Rd (CR 2054) Westbound					CR 235A Northbound					Peggy Rd (CR 2054) Eastbound					Int. Total
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	
07:00 AM	3	34	4	0	41	3	2	3	0	8	3	34	2	0	39	3	6	1	0	10	98
07:15 AM	4	51	4	0	59	2	1	4	0	7	2	41	1	0	44	4	3	3	0	10	120
07:30 AM	5	42	5	0	52	4	2	5	0	11	2	53	3	0	58	5	2	4	0	11	132
07:45 AM	4	34	4	0	42	2	3	4	0	9	5	54	1	0	60	4	5	5	0	14	125
Total	16	161	17	0	194	11	8	16	0	35	12	182	7	0	201	16	16	13	0	45	475
08:00 AM	5	51	2	0	58	4	2	5	0	11	4	42	2	0	48	8	4	4	0	16	133
08:15 AM	4	43	5	0	52	5	5	4	0	14	6	55	2	0	63	4	8	2	0	14	143
08:30 AM	5	26	4	0	35	5	4	2	0	11	4	47	1	0	52	5	4	1	0	10	108
08:45 AM	4	29	3	0	36	4	3	2	0	9	3	43	3	0	49	3	6	2	0	11	105
Total	18	149	14	0	181	18	14	13	0	45	17	187	8	0	212	20	22	9	0	51	489
04:00 PM	5	49	5	0	59	7	5	3	0	15	4	26	6	0	36	8	5	5	0	18	128
04:15 PM	7	34	6	0	47	2	9	4	0	15	4	28	2	0	34	5	1	3	0	9	105
04:30 PM	2	51	6	0	59	5	7	5	0	17	6	34	3	0	43	3	0	5	0	8	127
04:45 PM	5	41	4	0	50	4	8	4	0	16	4	51	2	0	57	6	5	6	0	17	140
Total	19	175	21	0	215	18	29	16	0	63	18	139	13	0	170	22	11	19	0	52	500
05:00 PM	5	52	8	0	65	2	4	5	0	11	5	42	1	0	48	4	4	4	0	12	136
05:15 PM	5	43	4	0	52	3	8	4	0	15	5	34	2	0	41	8	3	5	0	16	124
05:30 PM	4	51	8	0	63	4	4	5	0	13	4	29	4	0	37	4	4	5	0	13	126
05:45 PM	6	43	7	0	56	2	6	2	0	10	5	31	3	0	39	5	5	4	0	14	119
Total	20	189	27	0	236	11	22	16	0	49	19	136	10	0	165	21	16	18	0	55	505
Grand Total	73	674	79	0	826	58	73	61	0	192	66	644	38	0	748	79	65	59	0	203	1969
Apprch %	8.8	81.6	9.6	0		30.2	38	31.8	0		8.8	86.1	5.1	0		38.9	32	29.1	0		
Total %	3.7	34.2	4	0	42	2.9	3.7	3.1	0	9.8	3.4	32.7	1.9	0	38	4	3.3	3	0	10.3	

DE TRAFFIC

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NW 173 St (CR 235A) at Peggy Rd (CR 2054)
Alachua County, FL

File Name : CR 235A at CR 2054

Site Code : 00000002

Start Date : 4/19/2022

Page No : 7

Groups Printed- Commercial

Start Time	CR 235A Southbound					Peggy Rd (CR 2054) Westbound					CR 235A Northbound					Peggy Rd (CR 2054) Eastbound					Int. Total
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	
07:00 AM	0	11	0	0	11	1	0	0	0	1	0	6	0	0	6	0	1	0	0	1	19
07:15 AM	0	16	1	0	17	0	1	1	0	2	1	4	0	0	5	1	0	0	0	1	25
07:30 AM	2	11	0	0	13	1	2	0	0	3	0	8	0	0	8	0	0	1	0	1	25
07:45 AM	0	10	1	0	11	0	0	2	0	2	0	7	1	0	8	0	0	0	0	0	21
Total	2	48	2	0	52	2	3	3	0	8	1	25	1	0	27	1	1	1	0	3	90
08:00 AM	1	8	0	0	9	0	1	1	0	2	0	9	0	0	9	0	0	0	0	0	20
08:15 AM	0	7	2	0	9	1	0	1	0	2	0	15	1	0	16	0	1	1	0	2	29
08:30 AM	1	13	0	0	14	0	0	0	0	0	1	13	0	0	14	0	0	0	0	0	28
08:45 AM	0	10	0	0	10	0	0	0	0	0	0	11	0	0	11	0	0	0	0	0	21
Total	2	38	2	0	42	1	1	2	0	4	1	48	1	0	50	0	1	1	0	2	98
04:00 PM	2	9	0	0	11	1	1	0	0	2	1	10	0	0	11	0	0	0	0	0	24
04:15 PM	0	7	0	0	7	1	1	1	0	3	1	11	0	0	12	1	0	1	0	2	24
04:30 PM	2	6	0	0	8	1	0	0	0	1	0	15	0	0	15	0	0	0	0	0	24
04:45 PM	1	4	0	0	5	0	0	2	0	2	0	13	0	0	13	0	1	0	0	1	21
Total	5	26	0	0	31	3	2	3	0	8	2	49	0	0	51	1	1	1	0	3	93
05:00 PM	2	8	0	0	10	2	2	2	0	6	0	11	1	0	12	0	0	1	0	1	29
05:15 PM	4	7	0	0	11	0	0	0	0	0	1	14	0	0	15	0	0	1	0	1	27
05:30 PM	3	8	0	0	11	1	1	2	0	4	0	13	0	0	13	1	1	0	0	2	30
05:45 PM	1	7	0	0	8	0	0	0	0	0	1	11	0	0	12	0	0	0	0	0	20
Total	10	30	0	0	40	3	3	4	0	10	2	49	1	0	52	1	1	2	0	4	106
Grand Total	19	142	4	0	165	9	9	12	0	30	6	171	3	0	180	3	4	5	0	12	387
Apprch %	11.5	86.1	2.4	0		30	30	40	0		3.3	95	1.7	0		25	33.3	41.7	0		
Total %	4.9	36.7	1	0	42.6	2.3	2.3	3.1	0	7.8	1.6	44.2	0.8	0	46.5	0.8	1	1.3	0	3.1	

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NW 173 St (CR 235A) at Peggy Rd (CR 2054)
Alachua County, FL

File Name : CR 235A at CR 2054

Site Code : 00000002

Start Date : 4/19/2022

Page No : 8

Groups Printed- Peds

Start Time	CR 235A Southbound					Peggy Rd (CR 2054) Westbound					CR 235A Northbound					Peggy Rd (CR 2054) Eastbound					Int. Total
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	
Grand Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Apprch %	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total %																					



NB Approach



SB Approach



EB Approach



WB Approach



CR 235 at
CR 232/NW 78th Ave

Alachua County

www.de-traffic.com

299 McGregor Rd. DeLand Fl. 32720

Project
Number: CHW22-03

Sheet
Number: 1



SB Approach



EB Approach



WB Approach



CR 235A at CR 235		Alachua County	
www.de-traffic.com		Project Number: CHW22-03	Sheet Number: 2
299 McGregor Rd. DeLand Fl. 32720			



NB Approach



SB Approach



EB Approach



CR 235/NW 140th St
at CR 2054

Alachua County

www.de-traffic.com

299 McGregor Rd. DeLand Fl. 32720

Project
Number: CHW22-03

Sheet
Number: 3



NB Approach



SB Approach



EB Approach



WB Approach



CR 235A at
CR 2054

Alachua County

www.de-traffic.com

299 McGregor Rd. DeLand Fl. 32720

Project
Number: CHW22-03

Sheet
Number: 4

Appendix D

Reserved Trips

Table 2a. Traffic Impacts - Final Development Orders

Roadway Segment (FDOT Segment CoA Comp Plan)	Segment Description	AADT Peak Hour	Comp Plan MSV	Existing Traffic	Reserved Trips	Available Capacity	Percentage of Capacity Utilized
Interstate							
Min LOS Std. C							
I-75 (32_1)	From North City Limit to US 441	AADT	91,600	29,500	208	61,892	32.43%
		Peak Hour	8,250	3,098	15	5,137	37.73%
I-75 (31_2)	From US 441 to the South City Limit	AADT	91,600	55,956	208	35,436	61.31%
		Peak Hour	8,250	5,875	15	2,360	71.39%
State Roads							
Min LOS Std. D							
U.S. Hwy 441 (4127_3)	From MPO Boundary to CR 25A East Intersection	AADT	43,000	20,000	43	22,957	48.61%
		Peak Hour	3,870	1,800	5	2,065	48.64%
U.S. Hwy 441 (106_4)	From CR 25A East Intersection to SR 235	AADT	45,700	18,230	5,689	21,781	52.34%
		Peak Hour	4,110	1,732	452	1,926	53.14%
U.S. Hwy 441 (107_5)	From SR 235 to I-75	AADT	39,000	22,581	2,160	14,259	63.44%
		Peak Hour	3,510	2,145	170	1,195	65.95%
U.S. Hwy 441 (4107_6)	From I-75 to CR 235A	AADT	39,000	27,914	1,927	9,159	76.52%
		Peak Hour	3,510	2,652	154	704	79.94%
U.S. Hwy 441 (14_7)	From CR 235A to NW 188th Street	AADT	43,000	22,250	1,565	19,185	55.38%
		Peak Hour	3,870	2,114	129	1,627	57.98%
SR 235 (108_8)	From NW 143rd Place to US 441	AADT	14,400	9,400	5	4,995	65.31%
		Peak Hour	1,290	893	1	396	69.30%
SR 235 (109_9)	From US 441 to NW 140th Street	AADT	14,400	7,255	90	7,055	51.01%
		Peak Hour	1,290	689	10	591	54.19%
SR 235 (4109/1439_10)	From NW 140th Street to East City Limit	AADT	14,400	4,500	44	9,856	31.56%
		Peak Hour	1,290	428	7	855	33.72%
County Facilities							
Min LOS Std. D							
CR 235 (11)	From NW 143rd Place to South City Limit	AADT	15,120	6,180	1,018	7,922	47.61%
		Peak Hour	1,359	587	110	662	51.30%
CR 241 (12)	From NW SR 235 to North City Limit	AADT	15,120	1,578	0	13,542	10.44%
		Peak Hour	1,359	150	0	1,209	11.03%
CR 241 (13)	From CR 235 to South City Limit	AADT	20,880	6,025	765	14,090	32.52%
		Peak Hour	1,881	572	43	1,266	32.72%
CR 2054 (14)	From SR 235 to West City Limit	AADT	15,120	4,161	35	10,924	27.75%
		Peak Hour	1,359	395	0	964	29.09%
CR 2054 (15)	From SR 235 to US 441	AADT	15,120	2,788	2,115	10,217	32.43%
		Peak Hour	1,359	265	128	966	28.91%
CR 235A (16)	From US 441 to North City Limit	AADT	15,120	1,402	816	12,902	14.67%
		Peak Hour	1,359	133	85	1,141	16.06%
CR 235A (17)	From US 441 to CR 235	AADT	15,120	5,302	112	9,706	35.81%
		Peak Hour	1,359	604	12	843	37.95%

Florida Department of Transportation, District Two, Level of Service Reporting Tool, accessed April 14, 2022
 Formula: Comp Plan MSV - (Existing Traffic + Reserved Trips from Development Orders with Concurrency)
 County Facility AADT counts provided by Alachua County Public Works, April 2022.
 AADT & Peak Hour MSVs calculated using LOSPLAN 2012. County Facilities reflect a 10 percent reduction in the MSV calculated within LOSPLAN 2012 as set forth in the Generalized Tables for AADT / Peak Hour Volumes, FDOT 2018 LOS Handbook.
 Reserved Trips are automatically updated from Table 8 data.

Table 2b. Traffic Impacts - Preliminary & Final Development Orders

Roadway Segment (FDOT Segment CoA Comp Plan)	Segment Description	AADT Peak Hour	Comp Plan MSV	Existing Traffic	Projected & Reserved	Available Capacity	Percentage of Capacity Utilized
Interstate							
Min LOS Std. C							
I-75 (32_1)	From North City Limit to US 441	AADT	91,600	29,500	208	61,892	32.43%
		Peak Hour	8,250	3,098	15	5,137	37.73%
I-75 (31_2)	From US 441 to the South City Limit	AADT	91,600	55,956	208	35,436	61.31%
		Peak Hour	8,250	5,875	15	2,360	71.39%
State Roads							
Min LOS Std. D							
U.S. Hwy 441 (4127_3)	From MPO Boundary to CR 25A East Intersection	AADT	43,000	20,000	20,223	2,777	93.54%
		Peak Hour	3,870	1,800	1,490	580	85.01%
U.S. Hwy 441 (106_4)	From CR 25A East Intersection to SR 235	AADT	45,700	18,230	48,532	(21,062)	146.09%
		Peak Hour	4,110	1,732	3,663	(1,285)	131.27%
U.S. Hwy 441 (107_5)	From SR 235 to I-75	AADT	39,000	22,581	11,350	5,069	87.00%
		Peak Hour	3,510	2,145	881	484	86.21%
U.S. Hwy 441 (4107_6)	From I-75 to CR 235A	AADT	39,000	27,914	6,522	4,564	88.30%
		Peak Hour	3,510	2,652	608	250	92.89%
U.S. Hwy 441 (14_7)	From CR 235A to NW 188th Street	AADT	43,000	22,250	1,565	19,185	55.38%
		Peak Hour	3,870	2,114	129	1,627	57.98%
SR 235 (108_8)	From NW 143rd Place to US 441	AADT	14,400	9,400	4,864	136	99.06%
		Peak Hour	1,290	893	441	(44)	103.41%
SR 235 (109_9)	From US 441 to NW 140th Street	AADT	14,400	7,255	2,854	4,291	70.20%
		Peak Hour	1,290	689	237	364	71.78%
SR 235 (4109/1439_10)	From NW 140th Street to East City Limit	AADT	14,400	4,500	44	9,856	31.56%
		Peak Hour	1,290	428	7	855	33.72%
County Facilities							
Min LOS Std. D							
CR 235 (11)	From NW 143rd Place to South City Limit	AADT	15,120	5,672	2,850	6,598	56.36%
		Peak Hour	1,359	539	239	581	57.24%
CR 241 (12)	From NW SR 235 to North City Limit	AADT	15,120	1,481	0	13,639	9.79%
		Peak Hour	1,359	141	0	1,218	10.35%
CR 241 (13)	From CR 235 to South City Limit	AADT	20,880	6,025	7,047	7,808	62.81%
		Peak Hour	1,881	572	567	742	60.57%
CR 2054 (14)	From SR 235 to West City Limit	AADT	15,120	2,930	1,871	10,319	31.75%
		Peak Hour	1,359	278	133	948	30.27%
CR 2054 (15)	From SR 235 to US 441	AADT	15,120	3,425	6,710	4,985	67.03%
		Peak Hour	1,359	325	484	550	59.56%
CR 235A (16)	From US 441 to North City Limit	AADT	15,120	1,380	816	12,924	14.52%
		Peak Hour	1,359	131	85	1,143	15.90%
CR 235A (17)	From US 441 to CR 235	AADT	15,120	5,209	112	9,799	35.19%
		Peak Hour	1,359	495	12	852	37.30%

Florida Department of Transportation, District Two, Level of Service Reporting Tool, accessed April 14, 2022
 Formula: Comp Plan MSV - (Existing Traffic + Projected Trips from Preliminary Development Orders with NO Concurrency Reservation + County Facility AADT counts provided by Alachua County Public Works, April 2022.
 AADT & Peak Hour MSVs calculated using LOSPLAN 2012. County Facilities reflect a 10 percent reduction in the MSV calculated within LOSPLAN 2012 as set forth in the Generalized Tables for AADT / Peak Hour Volumes, FDOT 2018 LOS Handbook.
 Reserved Trips are automatically updated from Table 8 data.

Appendix E

Seasonal Adjustment Factor and Historical Growth Rates

2019 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL
 CATEGORY: 2600 ALACHUA COUNTYWIDE

WEEK	DATES	SF	MOCF: 0.97 PSCF
1	01/01/2019 - 01/05/2019	1.05	1.08
2	01/06/2019 - 01/12/2019	1.04	1.07
3	01/13/2019 - 01/19/2019	1.03	1.06
4	01/20/2019 - 01/26/2019	1.02	1.05
5	01/27/2019 - 02/02/2019	1.01	1.04
6	02/03/2019 - 02/09/2019	0.99	1.02
* 7	02/10/2019 - 02/16/2019	0.98	1.01
* 8	02/17/2019 - 02/23/2019	0.97	1.00
* 9	02/24/2019 - 03/02/2019	0.97	1.00
*10	03/03/2019 - 03/09/2019	0.96	0.99
*11	03/10/2019 - 03/16/2019	0.96	0.99
*12	03/17/2019 - 03/23/2019	0.96	0.99
*13	03/24/2019 - 03/30/2019	0.96	0.99
*14	03/31/2019 - 04/06/2019	0.96	0.99
*15	04/07/2019 - 04/13/2019	0.96	0.99
*16	04/14/2019 - 04/20/2019	0.96	0.99
*17	04/21/2019 - 04/27/2019	0.97	1.00
*18	04/28/2019 - 05/04/2019	0.98	1.01
*19	05/05/2019 - 05/11/2019	0.99	1.02
20	05/12/2019 - 05/18/2019	1.00	1.03
21	05/19/2019 - 05/25/2019	1.00	1.03
22	05/26/2019 - 06/01/2019	1.01	1.04
23	06/02/2019 - 06/08/2019	1.02	1.05
24	06/09/2019 - 06/15/2019	1.03	1.06
25	06/16/2019 - 06/22/2019	1.03	1.06
26	06/23/2019 - 06/29/2019	1.04	1.07
27	06/30/2019 - 07/06/2019	1.04	1.07
28	07/07/2019 - 07/13/2019	1.05	1.08
29	07/14/2019 - 07/20/2019	1.06	1.09
30	07/21/2019 - 07/27/2019	1.04	1.07
31	07/28/2019 - 08/03/2019	1.03	1.06
32	08/04/2019 - 08/10/2019	1.01	1.04
33	08/11/2019 - 08/17/2019	1.00	1.03
34	08/18/2019 - 08/24/2019	0.99	1.02
35	08/25/2019 - 08/31/2019	0.99	1.02
36	09/01/2019 - 09/07/2019	0.99	1.02
37	09/08/2019 - 09/14/2019	0.99	1.02
38	09/15/2019 - 09/21/2019	0.99	1.02
39	09/22/2019 - 09/28/2019	0.99	1.02
40	09/29/2019 - 10/05/2019	0.98	1.01
41	10/06/2019 - 10/12/2019	0.98	1.01
42	10/13/2019 - 10/19/2019	0.98	1.01
43	10/20/2019 - 10/26/2019	0.99	1.02
44	10/27/2019 - 11/02/2019	1.00	1.03
45	11/03/2019 - 11/09/2019	1.01	1.04
46	11/10/2019 - 11/16/2019	1.03	1.06
47	11/17/2019 - 11/23/2019	1.03	1.06
48	11/24/2019 - 11/30/2019	1.04	1.07
49	12/01/2019 - 12/07/2019	1.04	1.07
50	12/08/2019 - 12/14/2019	1.05	1.08
51	12/15/2019 - 12/21/2019	1.05	1.08
52	12/22/2019 - 12/28/2019	1.04	1.07
53	12/29/2019 - 12/31/2019	1.03	1.06

All Intersection Counts
 were preformed on
 4/19/2022

* PEAK SEASON

14-FEB-2020 15:39:21

830UPD

2_2600_PKSEASON.TXT

NW 140th Street (CR 235)

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2020 HISTORICAL AADT REPORT

COUNTY: 26 - ALACHUA

SITE: 5023 - SR 235 350' S. OF SR 20(ALACHUA)

YEAR	AADT		DIRECTION 1		DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR	
2020	9400	C	N	4700	S	4700	9.50	58.00	14.20
2019	10100	C	N	4800	S	5300	9.50	58.00	13.30
2018	9600	C	N	4600	S	5000	9.50	57.90	11.70
2017	10800	C	N	5400	S	5400	9.50	53.80	12.10
2016	10300	C	N	5000	S	5300	9.50	53.60	11.10
2015	10000	C	N	4900	S	5100	9.50	57.00	9.10
2014	9300	C	N	4600	S	4700	9.50	57.40	9.30
2013	9500	C	N	4700	S	4800	9.50	57.80	8.60
2012	9500	C	N	4700	S	4800	9.50	58.40	9.10
2011	8900	C	N	4400	S	4500	9.50	58.80	8.10
2010	8100	C	N	4100	S	4000	10.13	59.87	9.80
2009	9200	C	N	4600	S	4600	10.04	57.81	7.20
2008	9800	C	N	5000	S	4800	10.17	57.73	12.10
2007	9900	C	N	4900	S	5000	10.22	58.44	9.70
2006	10200	C	N	5100	S	5100	9.98	59.05	13.20
2005	10200	F	N	5100	S	5100	10.10	58.20	17.70

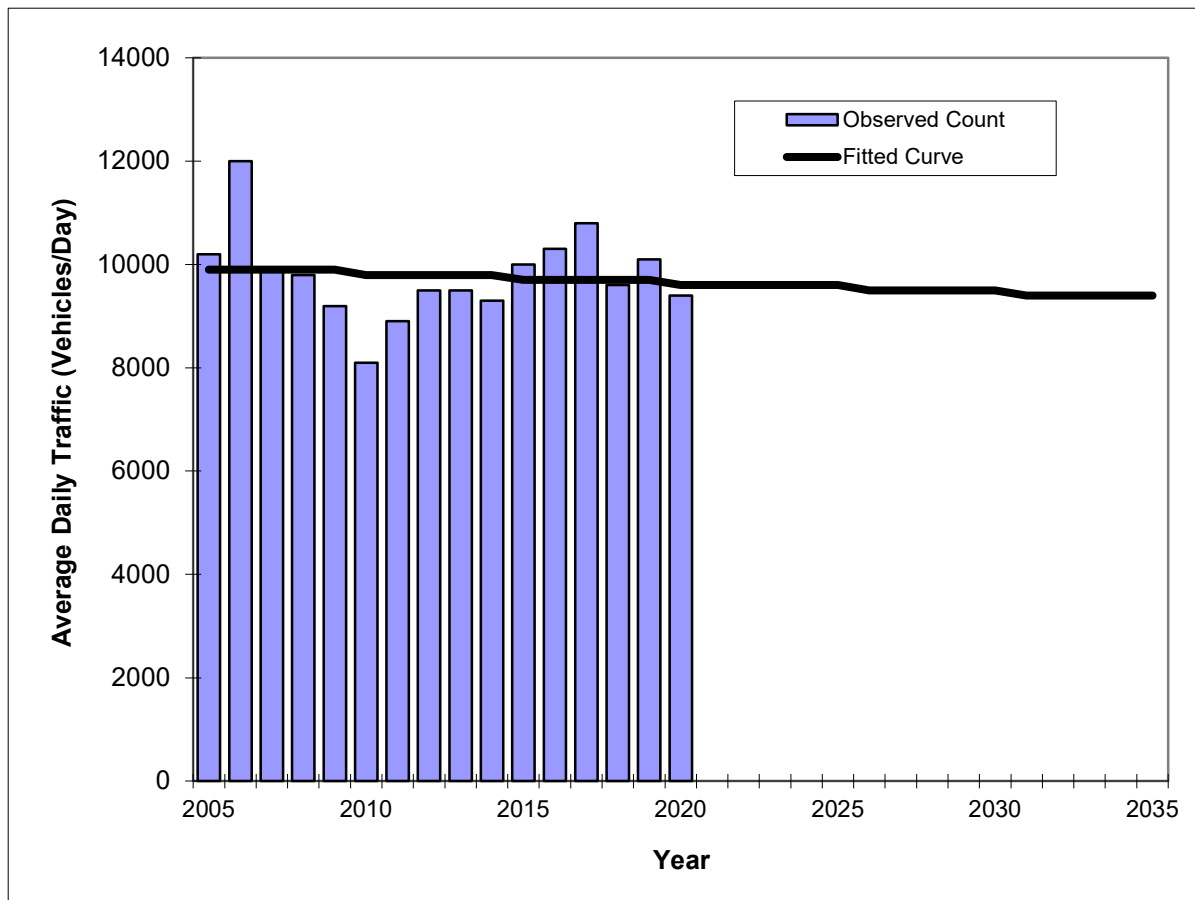
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 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN

*K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

Traffic Trends - V03.a NW 140th ST --

FIN#	429193-1
Location	1

County:	Alachua (26)
Station #:	0435
Highway:	NW 140th ST



Year	Traffic (ADT/AADT)	
	Count*	Trend**
2005	10200	9900
2006	12000	9900
2007	9900	9900
2008	9800	9900
2009	9200	9900
2010	8100	9800
2011	8900	9800
2012	9500	9800
2013	9500	9800
2014	9300	9800
2015	10000	9700
2016	10300	9700
2017	10800	9700
2018	9600	9700
2019	10100	9700
2020	9400	9600
2024 Opening Year Trend		
2024	N/A	9600
2025 Mid-Year Trend		
2025	N/A	9600
2026 Design Year Trend		
2026	N/A	9500
TRANPLAN Forecasts/Trends		

** Annual Trend Increase:	-19
Trend R-squared:	1.05%
Trend Annual Historic Growth Rate:	-0.20%
Trend Growth Rate (2020 to Design Year):	-0.17%
Printed:	25-May-22
Straight Line Growth Option	

*Axle-Adjusted

Peggy Road (CR 2054)

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2020 HISTORICAL AADT REPORT

COUNTY: 26 - ALACHUA

SITE: 9109 - NW CR 2054 .1 MI. W. OF SR 235 (HPMS)

YEAR	AADT	DIRECTION 1		DIRECTION 2		*K FACTOR	D FACTOR	T FACTOR
2020	1900 S		0		0	9.50	58.00	2.90
2019	2000 F		0		0	9.50	58.00	2.60
2018	2000 C	E	0	W	0	9.50	57.90	2.70
2017	1500 R	E	750	W	750	9.50	53.80	2.60
2016	1400 T	E	700	W	700	9.50	53.60	2.80
2015	1300 S	E	650	W	650	9.50	57.00	2.60
2014	1300 F	E	650	W	650	9.50	57.40	2.40
2013	1300 C	E	650	W	650	9.50	57.80	2.60
2012	1500 F		0		0	9.50	58.40	2.50
2011	1500 C	E	0	W	0	9.50	58.80	2.80

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN

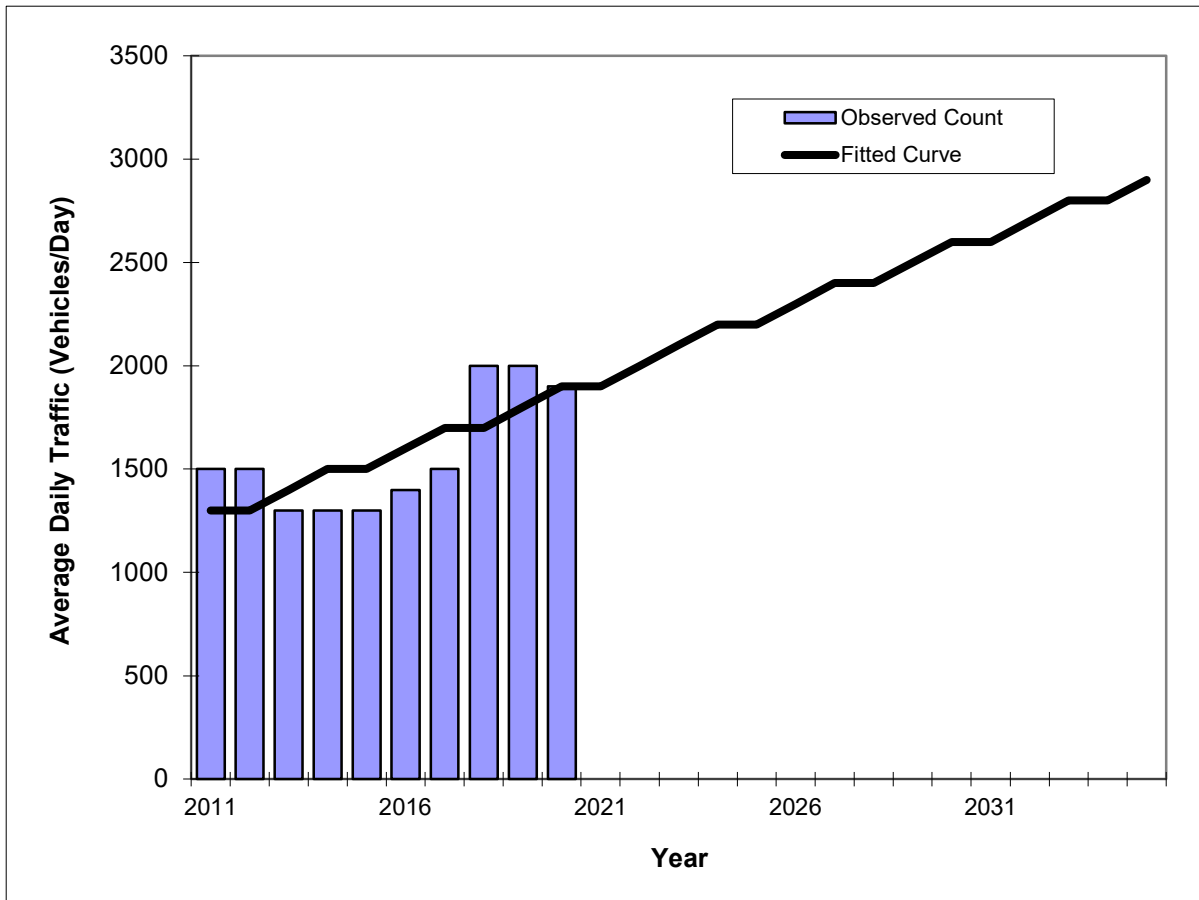
*K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

Traffic Trends - V03.a

CR 2054 --

FIN#	429193-1
Location	1

County:	Alachua (26)
Station #:	0435
Highway:	CR 2054



Year	Traffic (ADT/AADT)	
	Count*	Trend**
2011	1500	1300
2012	1500	1300
2013	1300	1400
2014	1300	1500
2015	1300	1500
2016	1400	1600
2017	1500	1700
2018	2000	1700
2019	2000	1800
2020	1900	1900
2024 Opening Year Trend		
2024	N/A	2200
2025 Mid-Year Trend		
2025	N/A	2200
2026 Design Year Trend		
2026	N/A	2300
TRANPLAN Forecasts/Trends		

** Annual Trend Increase:	68
Trend R-squared:	52.22%
Trend Annual Historic Growth Rate:	5.13%
Trend Growth Rate (2020 to Design Year):	3.51%
Printed:	25-May-22
Straight Line Growth Option	

*Axle-Adjusted

CR 235A

FLORIDA DEPARTMENT OF TRANSPORTATION
TRANSPORTATION STATISTICS OFFICE
2020 HISTORICAL AADT REPORT

COUNTY: 26 - ALACHUA

SITE: 0435 - CR 235A .2 MI. S. OF SR 25/US 441

YEAR	AADT		DIRECTION 1		DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR	
2020	5000	C	N	2600	S	2400	9.50	58.00	24.20
2019	4800	C	N	2500	S	2300	9.50	58.00	22.60
2018	4700	C	N	2400	S	2300	9.50	57.90	19.20
2017	4600	C	N	2300	S	2300	9.50	53.80	23.40
2016	4200	C	N	2100	S	2100	9.50	53.60	23.70
2015	3400	C	N	1700	S	1700	9.50	57.00	27.00
2014	3600	C	N	1800	S	1800	9.50	57.40	26.50
2013	3300	C	N	1700	S	1600	9.50	57.80	24.50
2012	3300	C	N	1700	S	1600	9.50	58.40	24.40
2011	3500	C	N	1800	S	1700	9.50	58.80	26.10
2010	3800	C	N	1900	S	1900	10.13	59.87	23.80
2009	4000	C	N	2000	S	2000	10.04	57.81	23.70
2008	4000	C	N	2000	S	2000	10.17	57.73	23.00
2007	3600	C	N	1800	S	1800	10.22	58.44	21.40
2006	3200	C	N	1600	S	1600	9.98	59.05	17.00
2005	2500	C	N	1300	S	1200	10.10	58.20	11.80

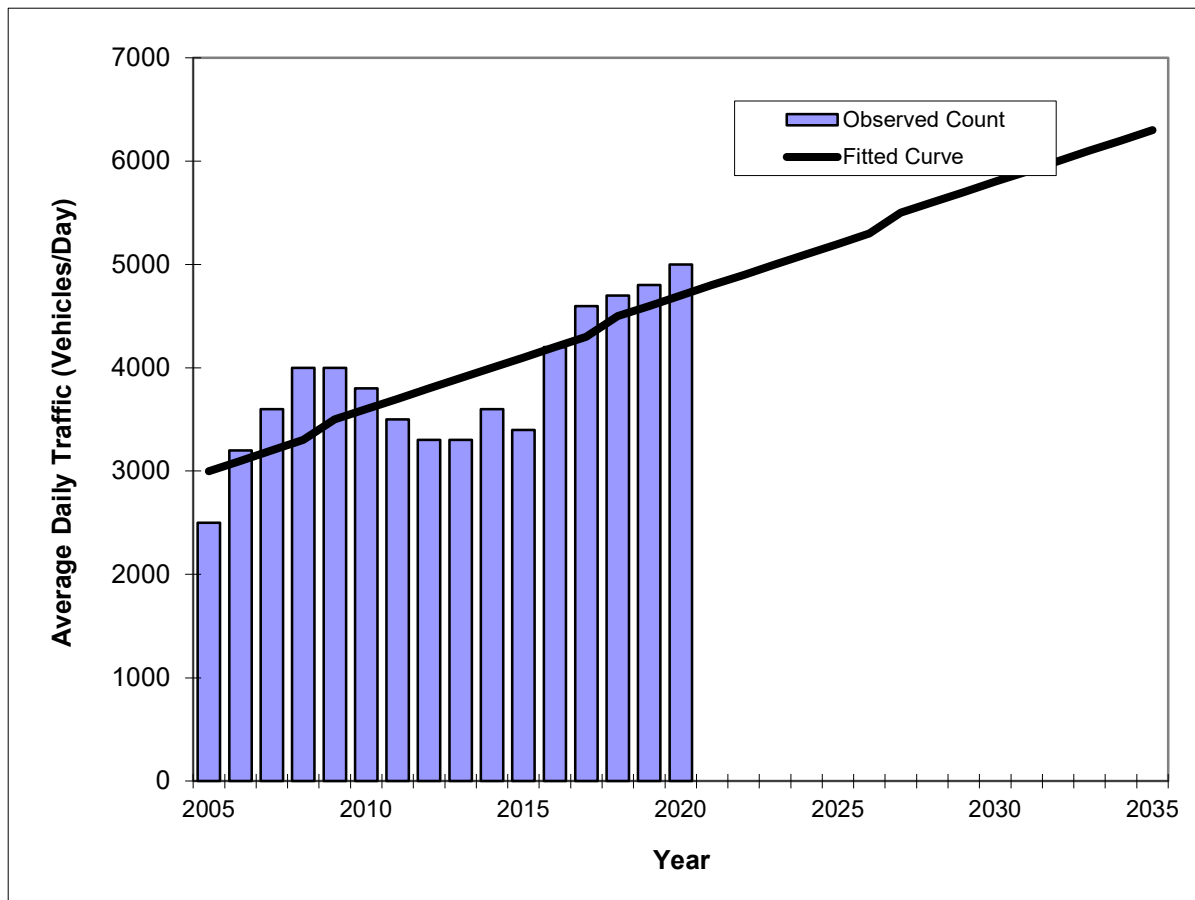
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V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN

*K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

Traffic Trends - V03.a CR 235A --

FIN#	429193-1
Location	1

County:	Alachua (26)
Station #:	0435
Highway:	CR 235A



Year	Traffic (ADT/AADT)	
	Count*	Trend**
2005	2500	3000
2006	3200	3100
2007	3600	3200
2008	4000	3300
2009	4000	3500
2010	3800	3600
2011	3500	3700
2012	3300	3800
2013	3300	3900
2014	3600	4000
2015	3400	4100
2016	4200	4200
2017	4600	4300
2018	4700	4500
2019	4800	4600
2020	5000	4700
2024 Opening Year Trend		
2024	N/A	5100
2025 Mid-Year Trend		
2025	N/A	5200
2026 Design Year Trend		
2026	N/A	5300
TRANPLAN Forecasts/Trends		

** Annual Trend Increase:	111
Trend R-squared:	60.05%
Trend Annual Historic Growth Rate:	3.78%
Trend Growth Rate (2020 to Design Year):	2.13%
Printed:	25-May-22
Straight Line Growth Option	

*Axle-Adjusted

CR 235

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2020 HISTORICAL AADT REPORT

COUNTY: 26 - ALACHUA

SITE: 9130 - CR 235 .1 MI. N. OF SR 26 (HPMS)

YEAR	AADT	DIRECTION 1		DIRECTION 2		*K FACTOR	D FACTOR	T FACTOR
2020	3200 V		0		0	9.50	58.00	2.90
2019	3300 R		0		0	9.50	58.00	2.60
2018	3300 T		0		0	9.50	57.90	2.70
2017	3200 S		0		0	9.50	53.80	2.60
2016	3100 F		0		0	9.50	53.60	2.80
2015	3000 C	E	0	W	0	9.50	57.00	2.60
2014	2600 T					9.50	57.40	2.40
2013	2600 S		0		0	9.50	57.80	2.60
2012	2600 F		0		0	9.50	58.40	2.50
2011	2600 C	E	0	W	0	9.50	58.80	2.80

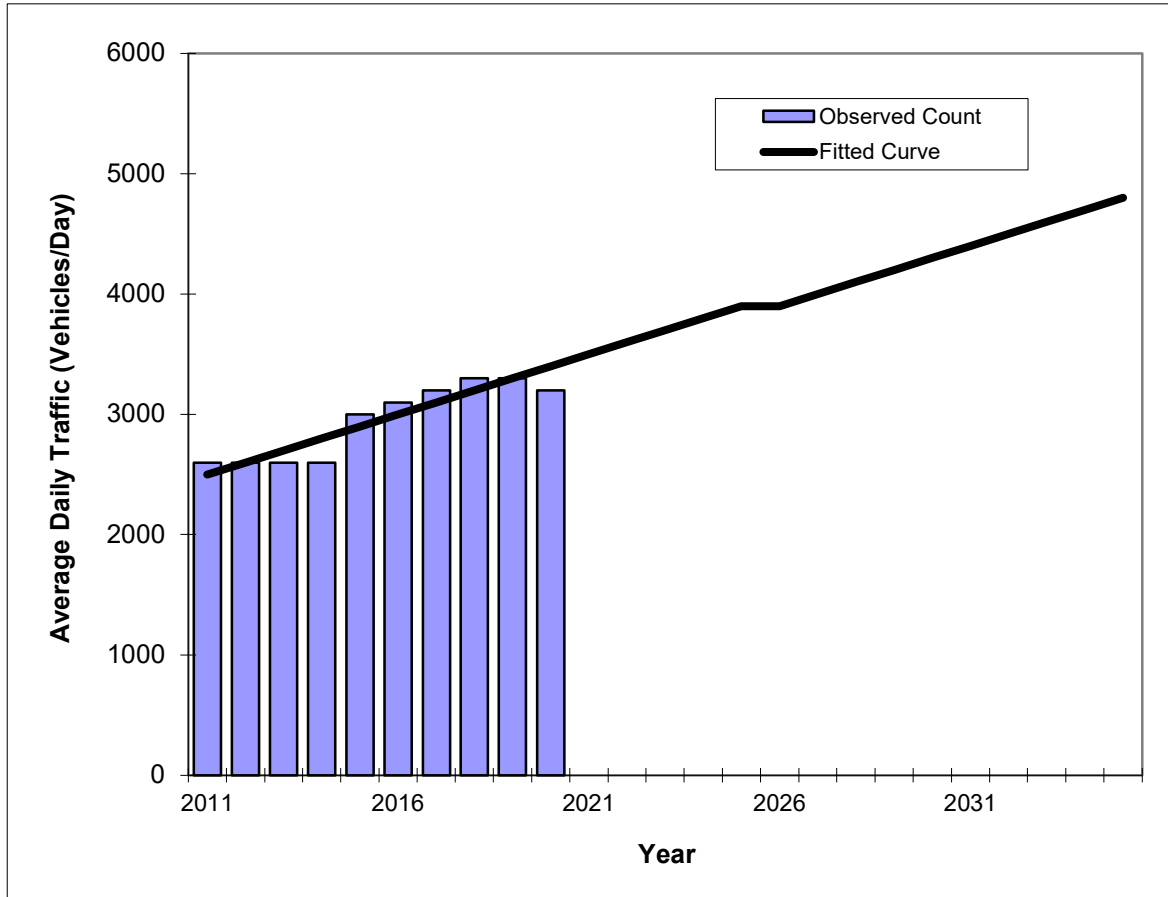
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 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN

*K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

Traffic Trends - V03.a CR 235 --

FIN#	429193-1
Location	1

County:	Alachua (26)
Station #:	0229
Highway:	CR 235



Year	Traffic (ADT/AADT)	
	Count*	Trend**
2011	2600	2500
2012	2600	2600
2013	2600	2700
2014	2600	2800
2015	3000	2900
2016	3100	3000
2017	3200	3100
2018	3300	3200
2019	3300	3300
2020	3200	3400
2024 Opening Year Trend		
2024	N/A	3800
2025 Mid-Year Trend		
2025	N/A	3900
2026 Design Year Trend		
2026	N/A	3900
TRANPLAN Forecasts/Trends		

** Annual Trend Increase:	95
Trend R-squared:	84.40%
Trend Annual Historic Growth Rate:	4.00%
Trend Growth Rate (2020 to Design Year):	2.45%
Printed:	31-May-22
Straight Line Growth Option	

*Axle-Adjusted

NW 78th Ave (CR 232)

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2020 HISTORICAL AADT REPORT

COUNTY: 31 - GILCHRIST

SITE: 9109 - CR 232 .1 MI. E. OF CR 337 (HPMS)

YEAR	AADT	DIRECTION 1		DIRECTION 2		*K FACTOR	D FACTOR	T FACTOR
2020	2500 C	E	0	W	0	9.50	54.20	5.80
2019	2400 R		0		0	9.50	54.30	5.20
2018	2400 T		0		0	9.50	54.80	4.60
2017	2300 S		0		0	9.50	56.20	4.60
2016	2200 F		0		0	9.50	54.40	3.90
2015	2100 C	E	0	W	0	9.50	54.50	4.40
2014	2000 T		0		0	9.50	54.80	4.50
2013	2000 S		0		0	9.50	54.80	5.00
2012	2000 F		0		0	9.50	54.30	4.00
2011	2000 C	E	0	W	0	9.50	53.90	4.80

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN

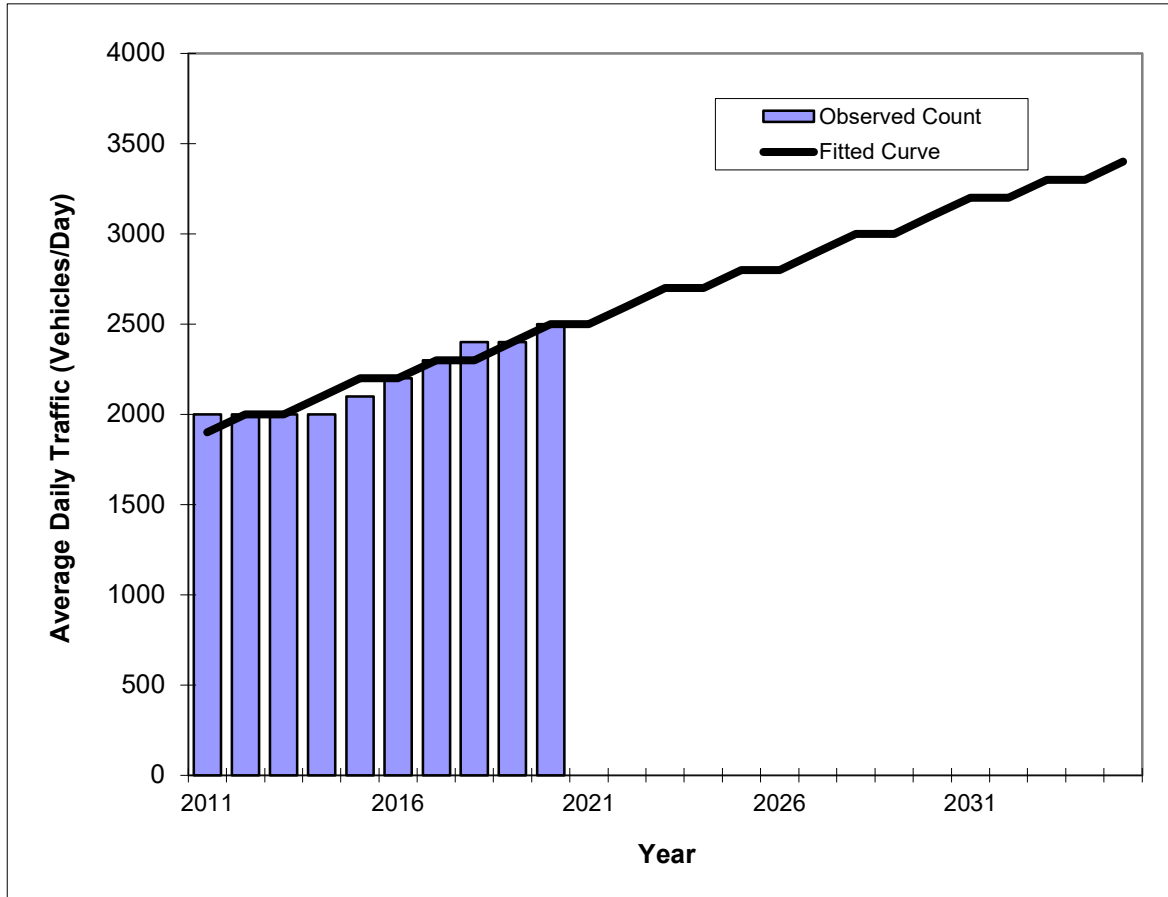
*K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

Traffic Trends - V03.a

CR 232, NW 78 AVE --

FIN#	429193-1
Location	1

County:	Alachua (26)
Station #:	9109
Highway:	CR 232, NW 78 AVE



Year	Traffic (ADT/AADT)	
	Count*	Trend**
2011	2000	1900
2012	2000	2000
2013	2000	2000
2014	2000	2100
2015	2100	2200
2016	2200	2200
2017	2300	2300
2018	2400	2300
2019	2400	2400
2020	2500	2500
2024 Opening Year Trend		
2024	N/A	2700
2025 Mid-Year Trend		
2025	N/A	2800
2026 Design Year Trend		
2026	N/A	2800
TRANPLAN Forecasts/Trends		

** Annual Trend Increase:	62
Trend R-squared:	92.12%
Trend Annual Historic Growth Rate:	3.51%
Trend Growth Rate (2020 to Design Year):	2.00%
Printed:	31-May-22
Straight Line Growth Option	

*Axle-Adjusted

Appendix F

Background Tables

CR 235/NW 140th Street at CR 2054/Peggy Road

Counts collected: 4/19/2022

CR 235/NW 140th Street at CR 2054/Peggy Road - Growth Rate Data			
Peak Season Factor			0.99
Growth Rate			
Approach	Historical Growth Rate	Growth Rate Used	2029 Growth Factor
CR 2054/Peggy Road	5.13%	5.13%	1.359
CR 235/NW 140th Street	-0.20%	1.00%	1.070

PM Peak Hour Background Traffic Volumes - CR 235/NW 140th St at CR 2054/Peggy Road						
Scenario	CR 2054/Peggy Road		CR 235/NW 140th Street		CR 235/NW 140th Street	
	Eastbound		Northbound		Southbound	
	Left	Right	Left	Thru	Thru	Right
Observed Turning Movement Counts	22	33	36	293	349	22
Existing (Peak Season) Turning Movements	22	33	36	290	346	22
Background Volumes	30	45	39	310	370	24
Peak Hour Factor (Int total = 0.94)	0.92		0.94		0.94	
Truck %	16%		13%		10%	
Pedestrian Volumes	0		7		2	

PM Peak Hour Background Traffic Volumes - CR 235/NW 140th St at CR 2054/Peggy Road						
Scenario	CR 2054/Peggy Road		CR 235/NW 140th Street		CR 235/NW 140th Street	
	Eastbound		Northbound		Southbound	
	Left	Right	Left	Thru	Thru	Right
Observed Turning Movement Counts	18	29	25	426	357	17
Existing (Peak Season) Turning Movements	18	29	25	422	353	17
Background Volumes	24	39	27	452	378	18
Reserved Trips	0	0	0	59	51	0
Background Volumes with Reserved Trips	24	39	27	511	429	18
Peak Hour Factor (Int total = 0.87)	0.73		0.78		0.94	
Truck %	15%		6%		13%	
Pedestrian Volumes	0		6		4	

	CR 235	NBT*	SBT*	CR 2054
	Total			Total
Reserved Trips	110	0.54	0.46	0
		59	51	

* Trip distribution based on directional distribution along CR 235

CR 2054/Peggy Road at CR 235A/NW 173rd Street

Counts collected: 4/19/2022

CR 2054/Peggy Road at CR 235A/NW 173rd Street - Growth Rate Data			
Peak Season Factor			0.99
Growth Rate			
Approach	Historical Growth Rate	Growth Rate Used	2029 Growth Factor
CR 2054/Peggy Road	5.13%	5.13%	1.359
CR 235A/NW 173rd St.	3.78%	3.78%	1.265

AM Peak Hour Background Traffic Volumes - CR 235A/NW 173rd Street at CR 2054/Peggy Road												
Scenario	CR 2054/Peggy Road			CR 2054/Peggy Road			CR 235A			CR 235A		
	Eastbound			Westbound			Northbound			Southbound		
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Observed Turning Movement Counts	21	20	17	17	15	22	17	243	10	21	206	19
Existing (Peak Season) Turning Movements	21	20	17	17	15	22	17	241	10	21	204	19
Background Volumes	29	27	23	23	20	30	21	305	13	27	258	24
Peak Hour Factor (Int total = 0.91)	0.91			0.84			0.85			0.92		
Truck %	5%			17%			15%			17%		
Pedestrian Volumes	0			0			0			0		

PM Peak Hour Background Traffic Volumes - CR 235A/NW 173rd Street at CR 2054/Peggy Road												
Scenario	CR 2054/Peggy Road			CR 2054/Peggy Road			CR 235A			CR 235A		
	Eastbound			Westbound			Northbound			Southbound		
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Observed Turning Movement Counts	23	18	22	16	27	24	19	207	10	29	214	24
Existing (Peak Season) Turning Movements	23	18	22	16	27	24	19	205	10	29	212	24
Background Volumes	31	24	30	22	37	33	24	259	13	37	268	30
Reserved Trips	0	0	0	0	0	0	0	6	0	0	6	0
Background Volumes with Reserved Trips	31	24	30	22	37	33	24	265	13	37	274	30
Peak Hour Factor (Int total = 0.96)	0.88			0.93			0.84			0.89		
Truck %	8%			18%			23%			14%		
Pedestrian Volumes	0			0			0			0		

	CR 235A	NBT*	SBT*	CR 2054
	Total			Total
Reserved Trips	12	0.48	0.52	0
		6	6	

* Trip distribution based on directional distribution along CR 235A

CR 235 at CR 235A/NW 173rd Street

Counts collected: 4/19/2022

CR 235 at CR 235A/NW 173rd Street - Growth Rate Data			
Peak Season Factor			0.99
Growth Rate			
Approach	Historical Growth Rate	Growth Rate Used	2029 Growth Factor
CR 235	4.00%	4.00%	1.280
CR 235A/NW 173rd Street	3.78%	3.78%	1.265

AM Peak Hour Background Traffic Volumes - CR 235 at CR 235A/NW 173rd Street						
Scenario	CR 235		CR 235		CR 235A/NW 173rd Street	
	Eastbound		Westbound		Southbound	
	Left	Thru	Thru	Right	Left	Right
Observed Turning Movement Counts	131	147	167	78	78	91
Existing (Peak Season) Turning Movements	130	146	165	77	77	90
Background Volumes	166	187	211	99	97	114
Peak Hour Factor (Int total = 0.95)	0.79		0.89		0.81	
Truck %	8%		11%		2%	
Pedestrian Volumes	0		0		0	

PM Peak Hour Background Traffic Volumes - CR 235 at CR 235A/NW 173rd Street						
Scenario	CR 235		CR 235		CR 235A/NW 173rd Street	
	Eastbound		Westbound		Southbound	
	Left	Thru	Thru	Right	Left	Right
Observed Turning Movement Counts	106	239	179	80	66	97
Existing (Peak Season) Turning Movements	105	237	177	79	65	96
Background Volumes	134	303	227	101	82	121
Reserved Trips	0	59	51	0	5	7
Background Volumes with Reserved Trips	134	362	278	101	87	128
Peak Hour Factor (Int total = 0.92)	0.90		0.93		0.91	
Truck %	6%		14%		3%	
Pedestrian Volumes	0		0		0	

	CR235A Total	SBL*	SBR*	CR235 Total	EBT*	WBT*
Reserved Trips	12	0.40	0.60	110	0.56	0.44
		5	7		59	51

* Trip distribution based on directional distribution along CR 235

Scenario	CR 235	CR 235
	Eastbound	Westbound
Observed Turning Movement Counts	225	245
Existing (Peak Season) Turning Movements	223	242
Background Volumes	284	310
Peak Hour Factor (Int total = 0.84)	0.79	0.89
Truck %	8%	11%
Pedestrian Volumes	0	0

Scenario	CR 235	CR 235
	Eastbound	Westbound
Observed Turning Movement Counts	305	259
Existing (Peak Season) Turning Movements	302	256
Background Volumes	385	328
Reserved Trips	59	51
Background Volumes with Reserved Trips	444	379
Peak Hour Factor (Int total = 0.92)	0.90	0.93
Truck %	6%	14%
Pedestrian Volumes	0	0

CR 235 at NW 78th Avenue/CR 232*

Counts collected: 4/19/2022

CR 235 at CR232/NW 78th Avenue - Growth Rate Data			
Peak Season Factor			0.99
Growth Rate			
Approach	Historical Growth Rate	Growth Rate Used	2029 Growth Factor
CR 235	4.00%	4.00%	1.280
NW 78th Ave/CR 232	3.51%	3.51%	1.246

AM Peak Hour Background Traffic Volumes - CR 235 at NW 78th Avenue/CR232												
Scenario	CR 232/NW 78th Ave			CR 232/NW 78th Ave			CR 235			CR 235		
	Eastbound			Westbound			Northbound			Southbound		
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Observed Turning Movement Counts	60	113	20	11	52	57	25	155	26	22	198	7
Existing (Peak Season) Turning Movements	59	112	20	11	51	56	25	153	26	22	196	7
Background Volumes	73	140	25	14	64	70	32	196	33	28	251	9
Peak Hour Factor (Int total = 0.91)	0.82			0.77			0.94			0.86		
Truck %	10%			3%			10%			13%		
Pedestrian Volumes	0			0			0			0		

PM Peak Hour Background Traffic Volumes - CR 235 at NW 78th Avenue/CR232												
Scenario	CR 232/NW 78th Ave			CR 232/NW 78th Ave			CR 235			CR 235		
	Eastbound			Westbound			Northbound			Southbound		
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Observed Turning Movement Counts	25	76	18	18	153	47	28	268	14	17	192	50
Existing (Peak Season) Turning Movements	25	75	18	18	151	47	28	265	14	17	190	50
Background Volumes	31	93	22	22	188	59	36	339	18	22	243	64
Peak Hour Factor (Int total = 0.91)	0.88			0.87			0.78			0.90		
Truck %	14%			2%			7%			10%		
Pedestrian Volumes	0			0			0			0		

* Intersection lies outside of Alachua city limits, therefore there are no reserved trips are necessary for this intersection

Appendix G

Trip Distribution

Calculations

TO/FROM NORTH	67%	
at NW 140th St/CR 2054		
to/from north	92%	62%
to/from west	8%	5%

TO/FROM SOUTH	33%	
at CR 235/NW 173rd		
to/from south	72%	24%
to/from north	28%	9%

at CR 235/NW 78th		
to/from east	14%	3%
to/from west	13%	3%
to/from south	73%	18%

at CR 235A/CR 2054		
to/from north	87%	7%
to/from east	6%	1%
to/from west	7%	1%

CR 235 at NW 123rd Avenue
2/3/2021

Trucks

Start Time	CR 235 Southbound			CR 235 Northbound			NW 123rd Avenue Westbound		
	Left	Thru	Ped/Bike	Right	Thru	Ped/Bike	Right	Left	Ped/Bike
4:00 PM	0	5	0	0	7	0	0	0	0
04:15 PM	0	11	0	0	4	0	0	0	0
04:30 PM	2	4	0	0	2	0	0	0	0
04:45 PM	0	6	0	0	2	0	0	0	0
05:00 PM	0	1	0	0	6	0	1	0	0
05:15 PM	0	3	0	0	4	0	0	0	0
05:30 PM	0	1	0	0	3	0	0	0	0
05:45 PM	0	3	0	0	0	0	0	0	0

Peak Hour

5:00-5:45	0	8	0	0	13	0	1	0	0
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Cars

Start Time	CR 235 Southbound			CR 235 Northbound			NW 123rd Avenue Westbound		
	Left	Thru	Ped/Bike	Right	Thru	Ped/Bike	Right	Left	Ped/Bike
4:00 PM	5	47	0	1	18	0	2	1	0
04:15 PM	4	30	0	3	24	0	5	0	0
04:30 PM	7	31	0	2	18	0	6	2	0
04:45 PM	5	39	0	1	18	0	2	1	0
05:00 PM	8	66	0	1	28	0	4	2	0
05:15 PM	9	71	0	4	27	0	2	2	0
05:30 PM	5	56	0	0	19	0	3	2	0
05:45 PM	5	66	0	1	27	0	2	1	0

Peak Hour

5:00-5:45	27	259	0	6	101	0	11	7	0
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Combined

Start Time	CR 235 Southbound			CR 235 Northbound			NW 123rd Avenue Westbound		
	Left	Thru	Ped/Bike	Right	Thru	Ped/Bike	Right	Left	Ped/Bike
4:00 PM	5	52	0	1	25	0	2	1	0
04:15 PM	4	41	0	3	28	0	5	0	0
04:30 PM	9	35	0	2	20	0	6	2	0
04:45 PM	5	45	0	1	20	0	2	1	0
05:00 PM	8	67	0	1	34	0	5	2	0
05:15 PM	9	74	0	4	31	0	2	2	0
05:30 PM	5	57	0	0	22	0	3	2	0
05:45 PM	5	69	0	1	27	0	2	1	0

Peak Hour

5:00-5:45 PM	27	267	0	6	114	0	12	7	0
Truck %	3%			11%			5%		
Peak Hour Factor	0.89			0.86			0.68		
Int. Total	0.89								

	CR 235 SBL	NW 123rd WBR	Total	
to/from North	27	12	39	67%

	CR 235 NBR	NW 123rd WBL	Total	
to/from South	6	7	13	33%

* The Truck % in and out of Savannah Station Phase 1 is 2% which is applied to the trips in and out of Savannah Station during the full build-out analysis.

NW 140th at CR 2054

Start Time	NW 140 St (CR 235) Southbound				N/A Westbound				NW 140 St (CR 235) Northbound				Peggy Rd (CR 2054) Eastbound			
	Left	Thru	Right	Peds	Left	Thru	Right	Peds	Left	Thru	Right	Peds	Left	Thru	Right	Peds
7:00:00 AM	0	70	5	0	0	0	0	0	6	53	0	0	4	0	8	0
7:15:00 AM	0	92	6	0	0	0	0	0	4	57	0	0	6	0	6	0
7:30:00 AM	0	104	4	0	0	0	0	0	10	59	0	0	7	0	11	0
7:45:00 AM	0	91	4	0	0	0	0	0	13	52	0	0	5	0	6	0
8:00:00 AM	0	89	5	0	0	0	0	0	12	65	0	0	6	0	6	0
8:15:00 AM	0	89	6	0	0	0	0	0	9	74	0	0	6	0	8	0
8:30:00 AM	0	95	4	0	0	0	0	0	8	80	0	0	5	0	9	0
8:45:00 AM	0	76	7	0	0	0	0	0	7	74	0	0	5	0	10	0
9:00:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
9:15:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
9:30:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
9:45:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:00:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:15:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:30:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:45:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:00:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:15:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:30:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:45:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:00:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:15:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:30:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:45:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
1:00:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
1:15:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
1:30:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
1:45:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2:00:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2:15:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2:30:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2:45:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
3:00:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
3:15:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
3:30:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
3:45:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
4:00:00 PM	0	89	5	0	0	0	0	0	6	89	0	0	6	0	10	0
4:15:00 PM	0	104	3	0	0	0	0	0	4	100	0	0	4	0	5	0
4:30:00 PM	0	95	5	0	0	0	0	0	5	82	0	0	2	0	5	0
4:45:00 PM	0	83	3	0	0	0	0	0	8	95	0	0	6	0	10	0
5:00:00 PM	0	94	3	0	0	0	0	0	5	139	0	0	5	0	4	0
5:15:00 PM	0	85	6	0	0	0	0	0	7	110	0	0	5	0	10	0
5:30:00 PM	0	72	8	0	0	0	0	0	5	85	0	0	5	0	10	0
5:45:00 PM	0	94	3	0	0	0	0	0	7	89	0	0	6	0	7	0
	0	1422	77	0	0	0	0	0	116	1303	0	0	83	0	125	0

TO/FROM WEST 8%
TO/FROM NORTH 92%

CR 235A at CR 235

Start Time	NW 173 St (CR 235A) Southbound				CR 235 Westbound				N/A Northbound				CR 235 Eastbound			
	Left	Thru	Right	Peds	Left	Thru	Right	Peds	Left	Thru	Right	Peds	Left	Thru	Right	Peds
7:00:00 AM	11	0	21	0	0	26	13	0	0	0	0	0	24	36	0	0
7:15:00 AM	17	0	24	0	0	37	16	0	0	0	0	0	27	39	0	0
7:30:00 AM	18	0	22	0	0	38	17	0	0	0	0	0	43	45	0	0
7:45:00 AM	17	0	19	0	0	49	20	0	0	0	0	0	36	37	0	0
8:00:00 AM	18	0	23	0	0	38	18	0	0	0	0	0	24	33	0	0
8:15:00 AM	25	0	27	0	0	42	23	0	0	0	0	0	28	32	0	0
8:30:00 AM	13	0	12	0	0	30	19	0	0	0	0	0	37	25	0	0
8:45:00 AM	14	0	15	0	0	26	20	0	0	0	0	0	25	35	0	0
9:00:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
9:15:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
9:30:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
9:45:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:00:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:15:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:30:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:45:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:00:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:15:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:30:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:45:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:00:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:15:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:30:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:45:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
1:00:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
1:15:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
1:30:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
1:45:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2:00:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2:15:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2:30:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2:45:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
3:00:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
3:15:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
3:30:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
3:45:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
4:00:00 PM	17	0	20	0	0	50	12	0	0	0	0	0	22	44	0	0
4:15:00 PM	11	0	27	0	0	49	13	0	0	0	0	0	28	55	0	0
4:30:00 PM	17	0	24	0	0	47	17	0	0	0	0	0	24	63	0	0
4:45:00 PM	17	0	25	0	0	44	19	0	0	0	0	0	24	44	0	0
5:00:00 PM	19	0	26	0	0	49	21	0	0	0	0	0	28	66	0	0
5:15:00 PM	13	0	22	0	0	39	23	0	0	0	0	0	30	66	0	0
5:30:00 PM	9	0	24	0	0	39	15	0	0	0	0	0	23	56	0	0
5:45:00 PM	7	0	19	0	0	34	11	0	0	0	0	0	14	47	0	0
	243	0	350	0	0	637	277	0	0	0	0	0	437	723	0	0

TO/FROM NORTH 28%
TO/FROM WEST 72%

CR 235 at NW 78th Avenue

Start Time	CR 235 Southbound				NW 78th Ave (CR 232) Westbound				CR 235 Northbound				NW 78th Ave (CR 232) Eastbound			
	Left	Thru	Right	Peds	Left	Thru	Right	Peds	Left	Thru	Right	Peds	Left	Thru	Right	Peds
7:00:00 AM	2	31	2	0	0	6	16	0	6	33	3	0	10	19	3	0
7:15:00 AM	3	49	1	0	2	5	12	0	4	41	2	0	11	25	2	0
7:30:00 AM	7	57	2	0	0	8	16	0	5	45	5	0	19	36	4	0
7:45:00 AM	4	48	3	0	2	12	13	0	8	39	5	0	13	27	6	0
8:00:00 AM	5	51	2	0	5	17	17	0	7	33	8	0	18	27	4	0
8:15:00 AM	6	42	0	0	4	15	11	0	5	38	8	0	10	23	6	0
8:30:00 AM	5	36	4	0	4	16	16	0	5	28	8	0	7	25	2	0
8:45:00 AM	4	31	4	0	2	13	13	0	6	24	8	0	7	25	3	0
9:00:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
9:15:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
9:30:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
9:45:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:00:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:15:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:30:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:45:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:00:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:15:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:30:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:45:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:00:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:15:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:30:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:45:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
1:00:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
1:15:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
1:30:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
1:45:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2:00:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2:15:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2:30:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2:45:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
3:00:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
3:15:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
3:30:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
3:45:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
4:00:00 PM	3	41	13	0	4	36	6	0	6	52	4	0	8	16	4	0
4:15:00 PM	7	41	12	0	3	31	9	0	6	66	3	0	4	13	6	0
4:30:00 PM	4	52	16	0	2	34	5	0	8	59	4	0	7	17	2	0
4:45:00 PM	2	43	13	0	6	42	11	0	4	55	2	0	5	23	6	0
5:00:00 PM	7	48	8	0	4	34	17	0	7	88	5	0	5	22	4	0
5:15:00 PM	4	49	13	0	6	43	14	0	9	66	3	0	8	14	6	0
5:30:00 PM	8	41	9	0	5	35	15	0	9	46	2	0	4	13	5	0
5:45:00 PM	4	36	10	0	3	26	5	0	9	49	1	0	4	16	7	0
	75	696	112	0	52	373	196	0	104	762	71	0	140	341	70	0

TO/FROM EAST 14%
 TO/FROM WEST 13%
 TO/FROM SOUTH 73%

CR 235A at CR 2054

Start Time	CR 235A Southbound				Peggy Rd (CR 2054) Westbound					CR 235A Northbound				Peggy Rd (CR 2054) Eastbound				
	Left	Thru	Right	Peds	Left	Thru	Right	Peds	Left	Thru	Right	Peds	Left	Thru	Right	Peds		
7:00:00 AM	3	45	4	0	4	2	3	0	3	40	2	0	3	7	1	0		
7:15:00 AM	4	67	5	0	2	2	5	0	3	45	1	0	5	3	3	0		
7:30:00 AM	7	53	5	0	5	4	5	0	2	61	3	0	5	2	5	0		
7:45:00 AM	4	44	5	0	2	3	6	0	5	61	2	0	4	5	5	0		
8:00:00 AM	6	59	2	0	4	3	6	0	4	51	2	0	8	4	4	0		
8:15:00 AM	4	50	7	0	6	5	5	0	6	70	3	0	4	9	3	0		
8:30:00 AM	6	39	4	0	5	4	2	0	5	60	1	0	5	4	1	0		
8:45:00 AM	4	39	3	0	4	3	2	0	3	54	3	0	3	6	2	0		
9:00:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
9:15:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
9:30:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
9:45:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
10:00:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
10:15:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
10:30:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
10:45:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
11:00:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
11:15:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
11:30:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
11:45:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
12:00:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
12:15:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
12:30:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
12:45:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
1:00:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
1:15:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
1:30:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
1:45:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
2:00:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
2:15:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
2:30:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
2:45:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
3:00:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
3:15:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
3:30:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
3:45:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
4:00:00 PM	7	58	5	0	8	6	3	0	5	36	6	0	8	5	5	0		
4:15:00 PM	7	41	6	0	3	10	5	0	5	39	2	0	6	1	4	0		
4:30:00 PM	4	57	6	0	6	7	5	0	6	49	3	0	3	0	5	0		
4:45:00 PM	6	45	4	0	4	8	6	0	4	64	2	0	6	6	6	0		
5:00:00 PM	7	60	8	0	4	6	7	0	5	53	2	0	4	4	5	0		
5:15:00 PM	9	50	4	0	3	8	4	0	6	48	2	0	8	3	6	0		
5:30:00 PM	7	59	8	0	5	5	7	0	4	42	4	0	5	5	5	0		
5:45:00 PM	7	50	7	0	2	6	2	0	6	42	3	0	5	5	4	0		
	92	816	83	0	67	82	73	0	72	815	41	0	82	69	64	0		

TO/FROM EAST 6%
 TO/FROM WEST 7%
 TO/FROM NORTH 87%

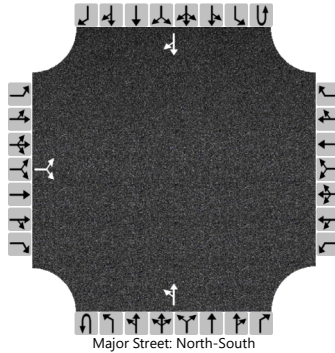
Appendix H HCS Reports

AM Existing (Peak Season) Conditions

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	NW 140th St at CR 2054		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	CR 2054		
Analysis Year	2022			North/South Street	NW 140th St		
Time Analyzed	AM Peak			Peak Hour Factor	0.94		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Existing						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound				
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R	
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6	
Number of Lanes		0	1	0		0	0	0	0	0	1	0	0	0	1	0	
Configuration			LR							LT						TR	
Volume (veh/h)		22		33						36	290				346	22	
Percent Heavy Vehicles (%)		16		16						13							
Proportion Time Blocked																	
Percent Grade (%)		0															
Right Turn Channelized																	
Median Type Storage		Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		7.1		6.2						4.1						
Critical Headway (sec)		6.56		6.36						4.23						
Base Follow-Up Headway (sec)		3.5		3.3						2.2						
Follow-Up Headway (sec)		3.64		3.44						2.32						

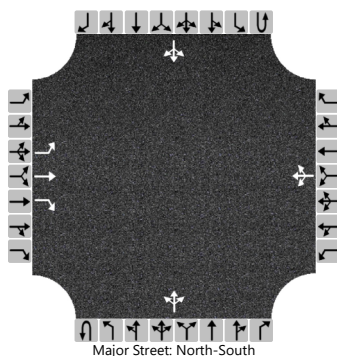
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)			59							38							
Capacity, c (veh/h)			470							1110							
v/c Ratio			0.12							0.03							
95% Queue Length, Q ₉₅ (veh)			0.4							0.1							
Control Delay (s/veh)			13.7							8.4	0.3						
Level of Service (LOS)			B							A	A						
Approach Delay (s/veh)		13.7								1.2							
Approach LOS		B								A							

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	CR 2054 @ CR 235A		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	CR 2054		
Analysis Year	2022			North/South Street	CR 235A		
Time Analyzed	AM Peak			Peak Hour Factor	0.91		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Existing						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		1	1	1		0	1	0		0	1	0		0	1	0
Configuration		L	T	R			LTR				LTR				LTR	
Volume (veh/h)		21	20	17		17	15	22		17	241	10		21	204	19
Percent Heavy Vehicles (%)		5	5	5		17	17	17		15				17		
Proportion Time Blocked																
Percent Grade (%)	0				0											
Right Turn Channelized	Yes															
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		7.1	6.5	6.2		7.1	6.5	6.2		4.1				4.1		
Critical Headway (sec)		7.15	6.55	6.25		7.27	6.67	6.37		4.25				4.27		
Base Follow-Up Headway (sec)		3.5	4.0	3.3		3.5	4.0	3.3		2.2				2.2		
Follow-Up Headway (sec)		3.55	4.05	3.35		3.65	4.15	3.45		2.34				2.35		

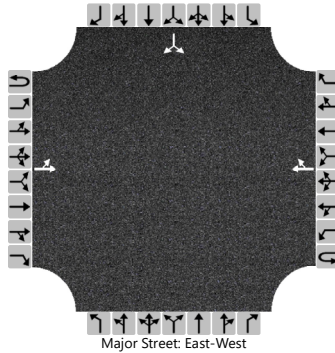
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		23	22	19			59			19				23		
Capacity, c (veh/h)		369	398	797			463			1249				1205		
v/c Ratio		0.06	0.06	0.02			0.13			0.01				0.02		
95% Queue Length, Q ₉₅ (veh)		0.2	0.2	0.1			0.4			0.0				0.1		
Control Delay (s/veh)		15.4	14.6	9.6			13.9			7.9	0.1	0.1		8.0	0.2	0.2
Level of Service (LOS)		C	B	A			B			A	A	A		A	A	A
Approach Delay (s/veh)		13.4				13.9				0.6				0.9		
Approach LOS		B				B				A				A		

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	CR 235 @ CR 235A/NW 173rd St		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	CR 235		
Analysis Year	2022			North/South Street	CR 235A/NW 173rd St		
Time Analyzed	AM Peak			Peak Hour Factor	0.95		
Intersection Orientation	East-West			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Existing						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0		0	0	0		0	1	0
Configuration		LT						TR							LR	
Volume (veh/h)		130	146				165	77						77		90
Percent Heavy Vehicles (%)		8												2		2
Proportion Time Blocked																
Percent Grade (%)														0		
Right Turn Channelized																
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		4.1												7.1		6.2
Critical Headway (sec)		4.18												6.42		6.22
Base Follow-Up Headway (sec)		2.2												3.5		3.3
Follow-Up Headway (sec)		2.27												3.52		3.32

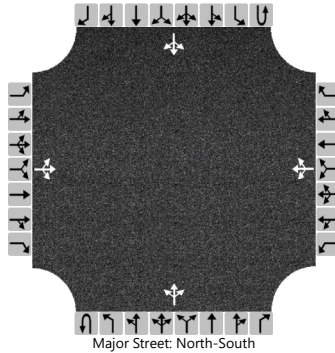
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		137														176	
Capacity, c (veh/h)		1276														543	
v/c Ratio		0.11														0.32	
95% Queue Length, Q ₉₅ (veh)		0.4														1.4	
Control Delay (s/veh)		8.2	1.0													14.8	
Level of Service (LOS)		A	A													B	
Approach Delay (s/veh)		4.3												14.8			
Approach LOS		A												B			

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	NW 78th Avenue/CR 232 @ CR 235		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	NW 78th Avenue/CR 232		
Analysis Year	2022			North/South Street	CR 235		
Time Analyzed	AM Peak			Peak Hour Factor	0.91		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Existing						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound				
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R	
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6	
Number of Lanes		0	1	0		0	1	0	0	0	1	0	0	0	1	0	
Configuration			LTR				LTR				LTR				LTR		
Volume (veh/h)		59	112	20		11	51	56		25	153	26		22	196	7	
Percent Heavy Vehicles (%)		10	10	10		3	3	3		10				13			
Proportion Time Blocked																	
Percent Grade (%)		0				0											
Right Turn Channelized																	
Median Type Storage		Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		7.1	6.5	6.2		7.1	6.5	6.2		4.1				4.1		
Critical Headway (sec)		7.20	6.60	6.30		7.13	6.53	6.23		4.20				4.23		
Base Follow-Up Headway (sec)		3.5	4.0	3.3		3.5	4.0	3.3		2.2				2.2		
Follow-Up Headway (sec)		3.59	4.09	3.39		3.53	4.03	3.33		2.29				2.32		

Delay, Queue Length, and Level of Service

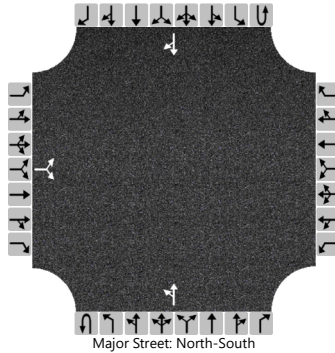
Flow Rate, v (veh/h)			210				130			27				24			
Capacity, c (veh/h)			423				543			1300				1313			
v/c Ratio			0.50				0.24			0.02				0.02			
95% Queue Length, Q ₉₅ (veh)			2.7				0.9			0.1				0.1			
Control Delay (s/veh)			21.6				13.7			7.8	0.2	0.2		7.8	0.2	0.2	
Level of Service (LOS)			C				B			A	A	A		A	A	A	
Approach Delay (s/veh)		21.6				13.7				1.1				0.9			
Approach LOS		C				B				A				A			

AM Background (Peak Season) Conditions

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto	Intersection	NW 140th St at CR 2054				
Agency/Co.	CHW	Jurisdiction	Alachua County				
Date Performed	5/24/2022	East/West Street	CR 2054				
Analysis Year	2029	North/South Street	NW 140th St				
Time Analyzed	AM Peak	Peak Hour Factor	0.94				
Intersection Orientation	North-South	Analysis Time Period (hrs)	0.25				
Project Description	Fletcher Trace - Background						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement																
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	1	0		0	0	0		0	1	0		0	1	0
Configuration			LR							LT						TR
Volume (veh/h)		30		45						39	310				370	24
Percent Heavy Vehicles (%)		16		16						13						
Proportion Time Blocked																
Percent Grade (%)	0															
Right Turn Channelized																
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		7.1		6.2						4.1						
Critical Headway (sec)		6.56		6.36						4.23						
Base Follow-Up Headway (sec)		3.5		3.3						2.2						
Follow-Up Headway (sec)		3.64		3.44						2.32						

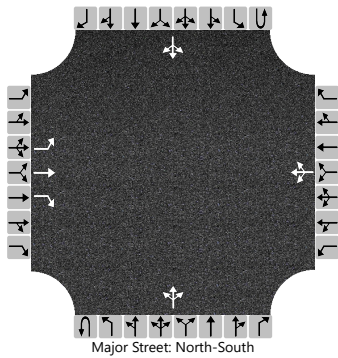
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)			80							41						
Capacity, c (veh/h)			443							1083						
v/c Ratio			0.18							0.04						
95% Queue Length, Q ₉₅ (veh)			0.7							0.1						
Control Delay (s/veh)			14.9							8.5	0.4					
Level of Service (LOS)			B							A	A					
Approach Delay (s/veh)	14.9								1.3							
Approach LOS	B								A							

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	CR 2054 @ CR 235A		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	CR 2054		
Analysis Year	2029			North/South Street	CR 235A		
Time Analyzed	AM Peak			Peak Hour Factor	0.91		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Background						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound				
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R	
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6	
Number of Lanes		1	1	1		0	1	0	0	0	1	0	0	0	1	0	
Configuration		L	T	R			LTR				LTR				LTR		
Volume (veh/h)		29	27	23		23	20	30		21	305	13		27	258	24	
Percent Heavy Vehicles (%)		5	5	5		17	17	17		15				17			
Proportion Time Blocked																	
Percent Grade (%)		0				0											
Right Turn Channelized		Yes															
Median Type Storage	Undivided																

Critical and Follow-up Headways

Base Critical Headway (sec)		7.1	6.5	6.2		7.1	6.5	6.2		4.1				4.1		
Critical Headway (sec)		7.15	6.55	6.25		7.27	6.67	6.37		4.25				4.27		
Base Follow-Up Headway (sec)		3.5	4.0	3.3		3.5	4.0	3.3		2.2				2.2		
Follow-Up Headway (sec)		3.55	4.05	3.35		3.65	4.15	3.45		2.34				2.35		

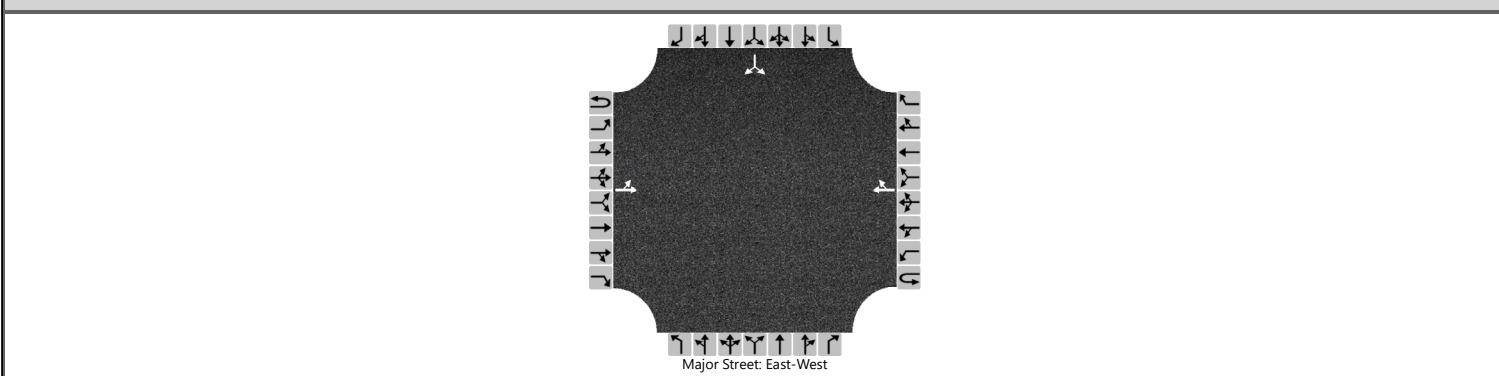
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		32	30	25		80				23				30			
Capacity, c (veh/h)		271	317	736		369				1180				1131			
v/c Ratio		0.12	0.09	0.03		0.22				0.02				0.03			
95% Queue Length, Q ₉₅ (veh)		0.4	0.3	0.1		0.8				0.1				0.1			
Control Delay (s/veh)		20.0	17.5	10.1		17.5				8.1	0.2	0.2		8.3	0.3	0.3	
Level of Service (LOS)		C	C	B		C				A	A	A		A	A	A	
Approach Delay (s/veh)		16.3				17.5				0.7				1.0			
Approach LOS		C				C				A				A			

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	CR 235 @ CR 235A/NW 173rd St		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	CR 235		
Analysis Year	2029			North/South Street	CR 235A/NW 173rd St		
Time Analyzed	AM Peak			Peak Hour Factor	0.95		
Intersection Orientation	East-West			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Background						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0		0	0	0		0	1	0
Configuration		LT						TR							LR	
Volume (veh/h)		166	187				211	99						97		114
Percent Heavy Vehicles (%)		8												2		2
Proportion Time Blocked																
Percent Grade (%)														0		
Right Turn Channelized																
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		4.1												7.1		6.2
Critical Headway (sec)		4.18												6.42		6.22
Base Follow-Up Headway (sec)		2.2												3.5		3.3
Follow-Up Headway (sec)		2.27												3.52		3.32

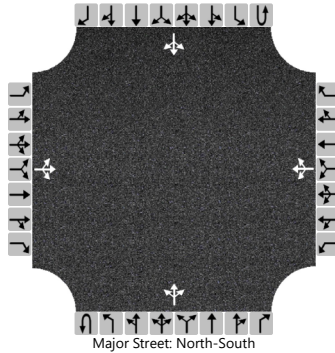
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		175														222	
Capacity, c (veh/h)		1200														434	
v/c Ratio		0.15														0.51	
95% Queue Length, Q ₉₅ (veh)		0.5														2.8	
Control Delay (s/veh)		8.5	1.4													21.6	
Level of Service (LOS)		A	A													C	
Approach Delay (s/veh)		4.7												21.6			
Approach LOS		A												C			

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	NW 78th Avenue/CR 232 @ CR 235		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	NW 78th Avenue/CR 232		
Analysis Year	2029			North/South Street	CR 235		
Time Analyzed	AM Peak			Peak Hour Factor	0.91		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Background						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	1	0		0	1	0	0	0	1	0	0	0	1	0
Configuration			LTR				LTR				LTR				LTR	
Volume (veh/h)		73	140	25		14	64	70		32	196	33		28	251	9
Percent Heavy Vehicles (%)		10	10	10		3	3	3		10				13		
Proportion Time Blocked																
Percent Grade (%)	0				0											
Right Turn Channelized																
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		7.1	6.5	6.2		7.1	6.5	6.2		4.1				4.1		
Critical Headway (sec)		7.20	6.60	6.30		7.13	6.53	6.23		4.20				4.23		
Base Follow-Up Headway (sec)		3.5	4.0	3.3		3.5	4.0	3.3		2.2				2.2		
Follow-Up Headway (sec)		3.59	4.09	3.39		3.53	4.03	3.33		2.29				2.32		

Delay, Queue Length, and Level of Service

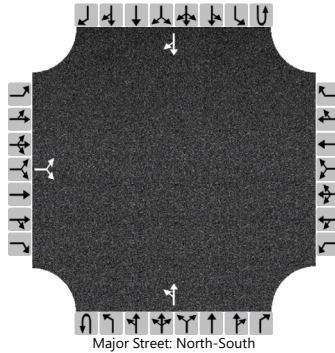
Flow Rate, v (veh/h)			262				163			35				31		
Capacity, c (veh/h)			328				432			1232				1252		
v/c Ratio			0.80				0.38			0.03				0.02		
95% Queue Length, Q ₉₅ (veh)			6.6				1.7			0.1				0.1		
Control Delay (s/veh)			48.0				18.3			8.0	0.3	0.3		7.9	0.2	0.2
Level of Service (LOS)			E				C			A	A	A		A	A	A
Approach Delay (s/veh)	48.0				18.3				1.2				1.0			
Approach LOS	E				C				A				A			

AM Buildout (Peak Season) Conditions

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	NW 140th St at CR 2054		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	CR 2054		
Analysis Year	2029			North/South Street	NW 140th St		
Time Analyzed	AM Peak			Peak Hour Factor	0.94		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Buildout						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound				
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R	
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6	
Number of Lanes		0	1	0		0	0	0	0	0	1	0	0	0	1	0	
Configuration			LR							LT						TR	
Volume (veh/h)		30		49						50	445				416	24	
Percent Heavy Vehicles (%)		16		16						13							
Proportion Time Blocked																	
Percent Grade (%)		0															
Right Turn Channelized																	
Median Type Storage		Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		7.1		6.2						4.1						
Critical Headway (sec)		6.56		6.36						4.23						
Base Follow-Up Headway (sec)		3.5		3.3						2.2						
Follow-Up Headway (sec)		3.64		3.44						2.32						

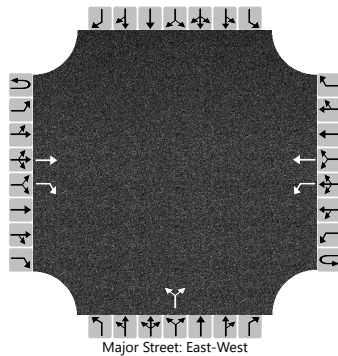
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)			84							53							
Capacity, c (veh/h)			362							1038							
v/c Ratio			0.23							0.05							
95% Queue Length, Q ₉₅ (veh)			0.9							0.2							
Control Delay (s/veh)			17.9							8.7	0.6						
Level of Service (LOS)			C							A	A						
Approach Delay (s/veh)		17.9								1.4							
Approach LOS		C								A							

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto	Intersection	CR 235 @ North Site Access				
Agency/Co.	CHW	Jurisdiction	Alachua County				
Date Performed	5/24/2022	East/West Street	CR 235				
Analysis Year	2029	North/South Street	North Site Access				
Time Analyzed	AM Peak	Peak Hour Factor	0.84				
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25				
Project Description	Fletcher Trace - Buildout						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	1	0	1	1	0		0	1	0		0	0	0
Configuration			T	R		L	T				LR					
Volume (veh/h)			368	11		21	339			30		62				
Percent Heavy Vehicles (%)						11				2		2				
Proportion Time Blocked																
Percent Grade (%)									0							
Right Turn Channelized	No															
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)						4.1					7.1		6.2			
Critical Headway (sec)						4.21					6.42		6.22			
Base Follow-Up Headway (sec)						2.2					3.5		3.3			
Follow-Up Headway (sec)						2.30					3.52		3.32			

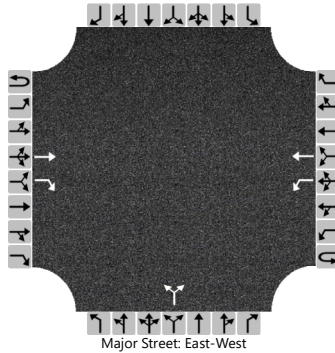
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)						25					110					
Capacity, c (veh/h)						1063					463					
v/c Ratio						0.02					0.24					
95% Queue Length, Q ₉₅ (veh)						0.1					0.9					
Control Delay (s/veh)						8.5					15.2					
Level of Service (LOS)						A					C					
Approach Delay (s/veh)					0.5				15.2							
Approach LOS					A				C							

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	CR 235 @ South Site Access		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	CR 235		
Analysis Year	2029			North/South Street	South Access		
Time Analyzed	AM Peak			Peak Hour Factor	0.84		
Intersection Orientation	East-West			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Buildout						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	1	0	1	1	0		0	1	0		0	0	0
Configuration			T	R		L	T				LR					
Volume (veh/h)			295	14		29	340			41		84				
Percent Heavy Vehicles (%)						11				2		2				
Proportion Time Blocked																
Percent Grade (%)									0							
Right Turn Channelized	No															
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)						4.1				7.1		6.2				
Critical Headway (sec)						4.21				6.42		6.22				
Base Follow-Up Headway (sec)						2.2				3.5		3.3				
Follow-Up Headway (sec)						2.30				3.52		3.32				

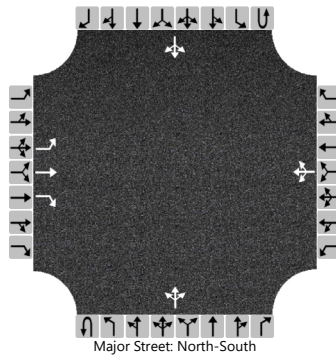
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)						35						149				
Capacity, c (veh/h)						1143						511				
v/c Ratio						0.03						0.29				
95% Queue Length, Q ₉₅ (veh)						0.1						1.2				
Control Delay (s/veh)						8.2						14.9				
Level of Service (LOS)						A						B				
Approach Delay (s/veh)					0.6				14.9							
Approach LOS					A				B							

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	CR 2054 @ CR 235A		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	CR 2054		
Analysis Year	2029			North/South Street	CR 235A		
Time Analyzed	AM Peak			Peak Hour Factor	0.91		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Buildout						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement																
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		1	1	1		0	1	0	0	0	1	0	0	0	1	0
Configuration		L	T	R			LTR				LTR				LTR	
Volume (veh/h)		29	27	24		24	20	30		23	320	15		27	263	24
Percent Heavy Vehicles (%)		5	5	5		17	17	17		15				17		
Proportion Time Blocked																
Percent Grade (%)	0				0											
Right Turn Channelized	Yes															
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		7.1	6.5	6.2		7.1	6.5	6.2		4.1				4.1		
Critical Headway (sec)		7.15	6.55	6.25		7.27	6.67	6.37		4.25				4.27		
Base Follow-Up Headway (sec)		3.5	4.0	3.3		3.5	4.0	3.3		2.2				2.2		
Follow-Up Headway (sec)		3.55	4.05	3.35		3.65	4.15	3.45		2.34				2.35		

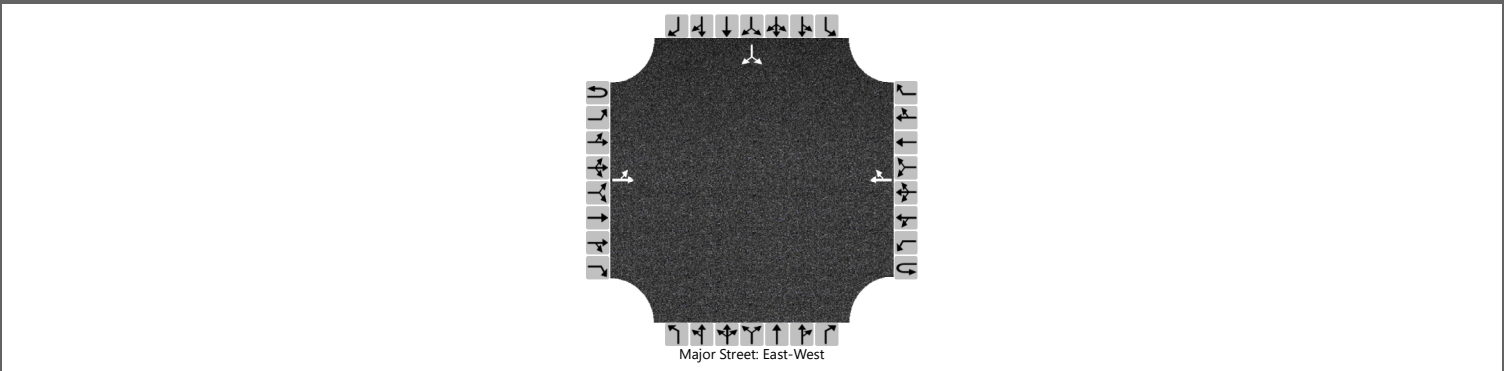
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		32	30	26			81			25				30		
Capacity, c (veh/h)		259	304	730			352			1175				1112		
v/c Ratio		0.12	0.10	0.04			0.23			0.02				0.03		
95% Queue Length, Q ₉₅ (veh)		0.4	0.3	0.1			0.9			0.1				0.1		
Control Delay (s/veh)		20.9	18.1	10.1			18.3			8.1	0.2	0.2		8.3	0.3	0.3
Level of Service (LOS)		C	C	B			C			A	A	A		A	A	A
Approach Delay (s/veh)	16.7				18.3				0.7				1.0			
Approach LOS	C				C				A				A			

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	CR 235 @ CR 235A/NW 173rd St		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	CR 235		
Analysis Year	2029			North/South Street	CR 235A/NW 173rd St		
Time Analyzed	AM Peak			Peak Hour Factor	0.95		
Intersection Orientation	East-West			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Buildout						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0		0	0	0		0	1	0
Configuration		LT						TR							LR	
Volume (veh/h)		166	205				263	118						104		114
Percent Heavy Vehicles (%)		8												2		2
Proportion Time Blocked																
Percent Grade (%)														0		
Right Turn Channelized																
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		4.1												7.1		6.2
Critical Headway (sec)		4.18												6.42		6.22
Base Follow-Up Headway (sec)		2.2												3.5		3.3
Follow-Up Headway (sec)		2.27												3.52		3.32

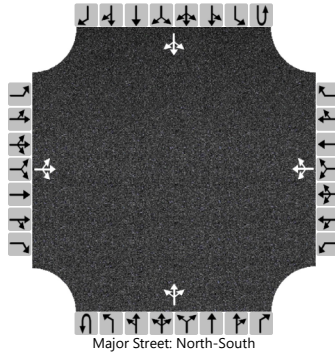
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		175														229
Capacity, c (veh/h)		1126														380
v/c Ratio		0.16														0.60
95% Queue Length, Q ₉₅ (veh)		0.5														3.8
Control Delay (s/veh)		8.8	1.5													27.8
Level of Service (LOS)		A	A													D
Approach Delay (s/veh)		4.8												27.8		
Approach LOS		A												D		

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	NW 78th Avenue/CR 232 @ CR 235		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	NW 78th Avenue/CR 232		
Analysis Year	2029			North/South Street	CR 235		
Time Analyzed	AM Peak			Peak Hour Factor	0.91		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Buildout						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound				
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R	
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6	
Number of Lanes		0	1	0		0	1	0	0	0	1	0	0	0	1	0	
Configuration			LTR				LTR				LTR				LTR		
Volume (veh/h)		75	140	25		14	64	72		32	210	33		35	289	16	
Percent Heavy Vehicles (%)		10	10	10		3	3	3		10				13			
Proportion Time Blocked																	
Percent Grade (%)		0				0											
Right Turn Channelized																	
Median Type Storage		Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		7.1	6.5	6.2		7.1	6.5	6.2		4.1				4.1		
Critical Headway (sec)		7.20	6.60	6.30		7.13	6.53	6.23		4.20				4.23		
Base Follow-Up Headway (sec)		3.5	4.0	3.3		3.5	4.0	3.3		2.2				2.2		
Follow-Up Headway (sec)		3.59	4.09	3.39		3.53	4.03	3.33		2.29				2.32		

Delay, Queue Length, and Level of Service

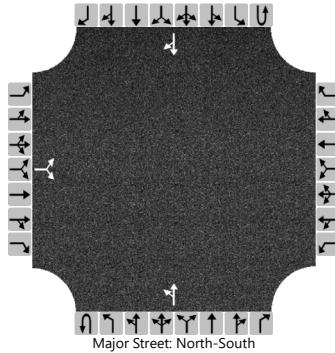
Flow Rate, v (veh/h)			264				165				35				38		
Capacity, c (veh/h)			287				387				1181				1236		
v/c Ratio			0.92				0.43				0.03				0.03		
95% Queue Length, Q ₉₅ (veh)			8.6				2.1				0.1				0.1		
Control Delay (s/veh)			73.7				21.1				8.1	0.3	0.3		8.0	0.3	
Level of Service (LOS)			F				C				A	A	A		A	A	
Approach Delay (s/veh)		73.7				21.1				1.2				1.1			
Approach LOS		F				C				A				A			

PM Existing (Peak Season) Conditions

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	NW 140th St at CR 2054		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	CR 2054		
Analysis Year	2022			North/South Street	NW 140th St		
Time Analyzed	PM Peak			Peak Hour Factor	0.87		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Existing						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	1	0		0	0	0	0	0	1	0	0	0	1	0
Configuration			LR							LT						TR
Volume (veh/h)		18		29						25	422				353	17
Percent Heavy Vehicles (%)		15		15						6						
Proportion Time Blocked																
Percent Grade (%)	0															
Right Turn Channelized																
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		7.1		6.2						4.1						
Critical Headway (sec)		6.55		6.35						4.16						
Base Follow-Up Headway (sec)		3.5		3.3						2.2						
Follow-Up Headway (sec)		3.64		3.44						2.25						

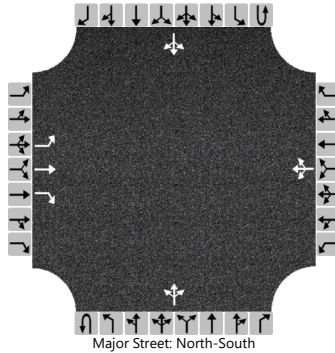
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)			54							29						
Capacity, c (veh/h)			403							1113						
v/c Ratio			0.13							0.03						
95% Queue Length, Q ₉₅ (veh)			0.5							0.1						
Control Delay (s/veh)			15.3							8.3	0.3					
Level of Service (LOS)			C							A	A					
Approach Delay (s/veh)	15.3								0.7							
Approach LOS	C								A							

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	CR 2054 @ CR 235A		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	CR 2054		
Analysis Year	2022			North/South Street	CR 235A		
Time Analyzed	AM Peak			Peak Hour Factor	0.91		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Existing						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		1	1	1		0	1	0	0	0	1	0	0	0	1	0
Configuration		L	T	R			LTR				LTR				LTR	
Volume (veh/h)		21	20	17		17	15	22		17	241	10		21	204	19
Percent Heavy Vehicles (%)		5	5	5		17	17	17		15				17		
Proportion Time Blocked																
Percent Grade (%)	0				0											
Right Turn Channelized	Yes															
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		7.1	6.5	6.2		7.1	6.5	6.2		4.1				4.1		
Critical Headway (sec)		7.15	6.55	6.25		7.27	6.67	6.37		4.25				4.27		
Base Follow-Up Headway (sec)		3.5	4.0	3.3		3.5	4.0	3.3		2.2				2.2		
Follow-Up Headway (sec)		3.55	4.05	3.35		3.65	4.15	3.45		2.34				2.35		

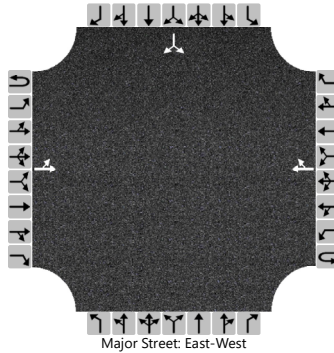
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		23	22	19			59			19				23		
Capacity, c (veh/h)		369	398	797			463			1249				1205		
v/c Ratio		0.06	0.06	0.02			0.13			0.01				0.02		
95% Queue Length, Q ₉₅ (veh)		0.2	0.2	0.1			0.4			0.0				0.1		
Control Delay (s/veh)		15.4	14.6	9.6			13.9			7.9	0.1	0.1		8.0	0.2	0.2
Level of Service (LOS)		C	B	A			B			A	A	A		A	A	A
Approach Delay (s/veh)		13.4				13.9				0.6				0.9		
Approach LOS		B				B				A				A		

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	CR 235 @ CR 235A/NW 173rd St		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	CR 235		
Analysis Year	2022			North/South Street	CR 235A/NW 173rd St		
Time Analyzed	PM Peak			Peak Hour Factor	0.92		
Intersection Orientation	East-West			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Existing						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6								
Priority																
Number of Lanes	0	0	1	0	0	0	1	0					0	1	0	
Configuration		LT						TR							LR	
Volume (veh/h)		105	237				177	79						65		96
Percent Heavy Vehicles (%)		6												3		3
Proportion Time Blocked																
Percent Grade (%)														0		
Right Turn Channelized																
Median Type Storage					Undivided											

Critical and Follow-up Headways

Base Critical Headway (sec)		4.1												7.1		6.2
Critical Headway (sec)		4.16												6.43		6.23
Base Follow-Up Headway (sec)		2.2												3.5		3.3
Follow-Up Headway (sec)		2.25												3.53		3.33

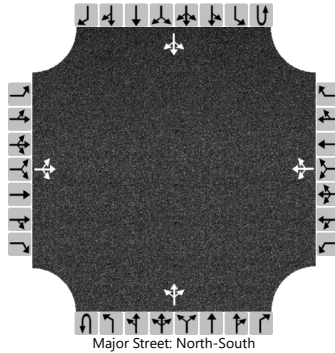
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		114													175	
Capacity, c (veh/h)		1262													528	
v/c Ratio		0.09													0.33	
95% Queue Length, Q ₉₅ (veh)		0.3													1.4	
Control Delay (s/veh)		8.1	0.9												15.2	
Level of Service (LOS)		A	A												C	
Approach Delay (s/veh)		3.1													15.2	
Approach LOS		A													C	

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	NW 78th Avenue/CR 232 @ CR 235		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	NW 78th Avenue/CR 232		
Analysis Year	2022			North/South Street	CR 235		
Time Analyzed	PM Peak			Peak Hour Factor	0.91		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Existing						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	1	0		0	1	0	0	0	1	0	0	0	1	0
Configuration			LTR				LTR				LTR				LTR	
Volume (veh/h)		25	75	18		18	151	47		28	265	14		17	190	50
Percent Heavy Vehicles (%)		14	14	14		2	2	2		7				10		
Proportion Time Blocked																
Percent Grade (%)	0				0											
Right Turn Channelized																
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		7.1	6.5	6.2		7.1	6.5	6.2		4.1				4.1		
Critical Headway (sec)		7.24	6.64	6.34		7.12	6.52	6.22		4.17				4.20		
Base Follow-Up Headway (sec)		3.5	4.0	3.3		3.5	4.0	3.3		2.2				2.2		
Follow-Up Headway (sec)		3.63	4.13	3.43		3.52	4.02	3.32		2.26				2.29		

Delay, Queue Length, and Level of Service

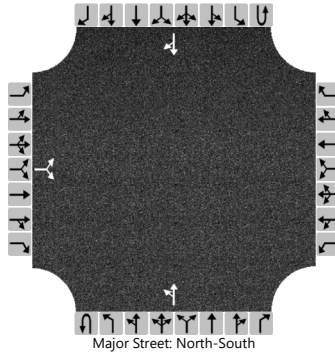
Flow Rate, v (veh/h)			130				237			31				19		
Capacity, c (veh/h)			308				398			1272				1210		
v/c Ratio			0.42				0.60			0.02				0.02		
95% Queue Length, Q ₉₅ (veh)			2.0				3.7			0.1				0.0		
Control Delay (s/veh)			25.0				26.5			7.9	0.2	0.2		8.0	0.1	0.1
Level of Service (LOS)			C				D			A	A	A		A	A	A
Approach Delay (s/veh)	25.0				26.5				0.9				0.7			
Approach LOS	C				D				A				A			

PM Background (Peak Season) Conditions

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto	Intersection	NW 140th St at CR 2054				
Agency/Co.	CHW	Jurisdiction	Alachua County				
Date Performed	5/24/2022	East/West Street	CR 2054				
Analysis Year	2029	North/South Street	NW 140th St				
Time Analyzed	PM Peak	Peak Hour Factor	0.87				
Intersection Orientation	North-South	Analysis Time Period (hrs)	0.25				
Project Description	Fletcher Trace - Background						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement																
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	1	0		0	0	0		0	1	0		0	1	0
Configuration			LR							LT						TR
Volume (veh/h)		24		39						27	511				429	18
Percent Heavy Vehicles (%)		15		15						6						
Proportion Time Blocked																
Percent Grade (%)	0															
Right Turn Channelized																
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		7.1		6.2						4.1						
Critical Headway (sec)		6.55		6.35						4.16						
Base Follow-Up Headway (sec)		3.5		3.3						2.2						
Follow-Up Headway (sec)		3.64		3.44						2.25						

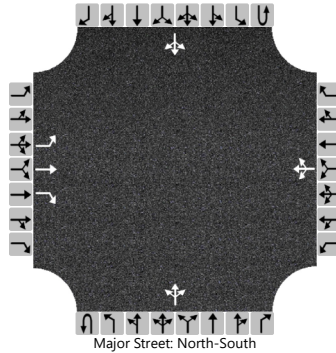
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)			72							31						
Capacity, c (veh/h)			325							1032						
v/c Ratio			0.22							0.03						
95% Queue Length, Q ₉₅ (veh)			0.8							0.1						
Control Delay (s/veh)			19.2							8.6	0.4					
Level of Service (LOS)			C							A	A					
Approach Delay (s/veh)	19.2								0.8							
Approach LOS	C								A							

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	CR 2054 @ CR 235A		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	CR 2054		
Analysis Year	2029			North/South Street	CR 235A		
Time Analyzed	PM Peak			Peak Hour Factor	0.96		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Background						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound				
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R	
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6	
Number of Lanes		1	1	1		0	1	0	0	0	1	0	0	0	1	0	
Configuration		L	T	R			LTR				LTR				LTR		
Volume (veh/h)		31	24	30		22	37	33		24	265	13		37	274	30	
Percent Heavy Vehicles (%)		8	8	8		18	18	18		23				14			
Proportion Time Blocked																	
Percent Grade (%)		0				0											
Right Turn Channelized		Yes															
Median Type Storage		Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		7.1	6.5	6.2		7.1	6.5	6.2		4.1				4.1		
Critical Headway (sec)		7.18	6.58	6.28		7.28	6.68	6.38		4.33				4.24		
Base Follow-Up Headway (sec)		3.5	4.0	3.3		3.5	4.0	3.3		2.2				2.2		
Follow-Up Headway (sec)		3.57	4.07	3.37		3.66	4.16	3.46		2.41				2.33		

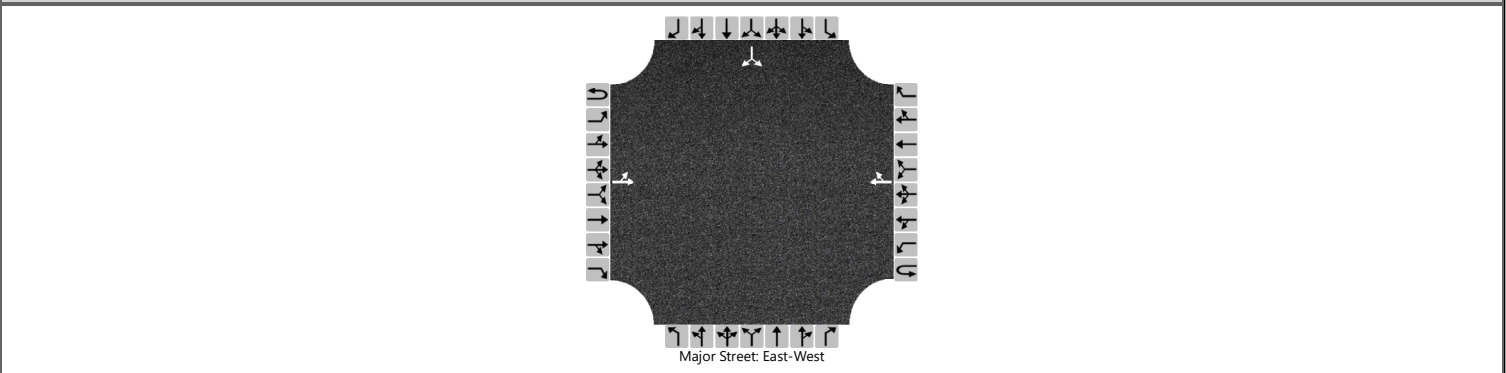
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		32	25	31		96				25				39			
Capacity, c (veh/h)		263	325	725		377				1134				1207			
v/c Ratio		0.12	0.08	0.04		0.25				0.02				0.03			
95% Queue Length, Q ₉₅ (veh)		0.4	0.2	0.1		1.0				0.1				0.1			
Control Delay (s/veh)		20.6	17.0	10.2		17.8				8.2	0.2	0.2		8.1	0.3	0.3	
Level of Service (LOS)		C	C	B		C				A	A	A		A	A	A	
Approach Delay (s/veh)		15.9				17.8				0.9				1.2			
Approach LOS		C				C				A				A			

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto	Intersection	CR 235 @ CR 235A/NW 173rd St				
Agency/Co.	CHW	Jurisdiction	Alachua County				
Date Performed	5/24/2022	East/West Street	CR 235				
Analysis Year	2029	North/South Street	CR 235A/NW 173rd St				
Time Analyzed	PM Peak	Peak Hour Factor	0.92				
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25				
Project Description	Fletcher Trace - Background						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0		0	0	0		0	1	0
Configuration		LT						TR							LR	
Volume (veh/h)		134	362				278	101						87		128
Percent Heavy Vehicles (%)		6												3		3
Proportion Time Blocked																
Percent Grade (%)														0		
Right Turn Channelized																
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		4.1												7.1		6.2
Critical Headway (sec)		4.16												6.43		6.23
Base Follow-Up Headway (sec)		2.2												3.5		3.3
Follow-Up Headway (sec)		2.25												3.53		3.33

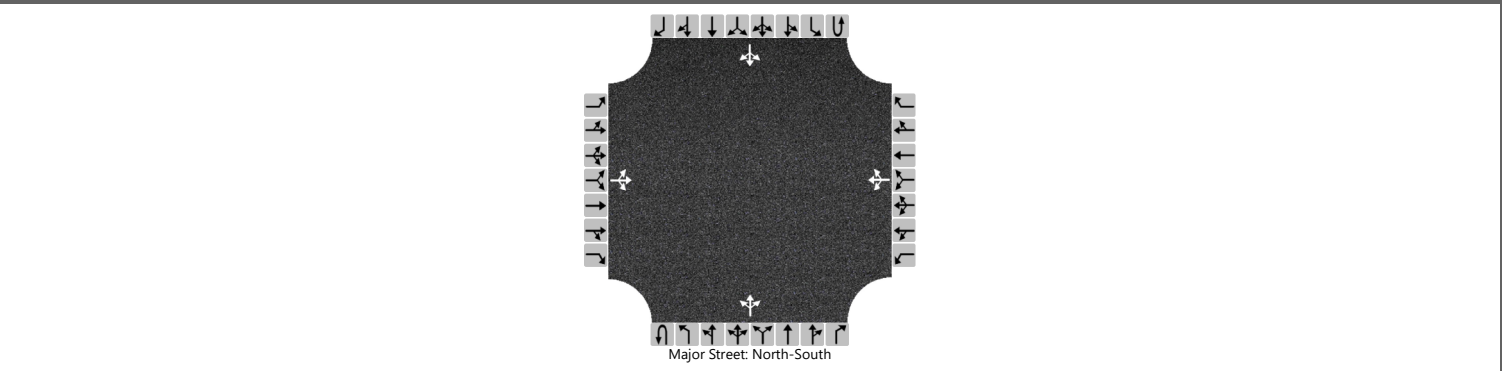
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		146													234		
Capacity, c (veh/h)		1126													359		
v/c Ratio		0.13													0.65		
95% Queue Length, Q ₉₅ (veh)		0.4													4.4		
Control Delay (s/veh)		8.7	1.4												31.9		
Level of Service (LOS)		A	A												D		
Approach Delay (s/veh)		3.4												31.9			
Approach LOS		A												D			

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	NW 78th Avenue/CR 232 @ CR 235		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	NW 78th Avenue/CR 232		
Analysis Year	2029			North/South Street	CR 235		
Time Analyzed	PM Peak			Peak Hour Factor	0.91		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Background						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound				
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R	
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6	
Number of Lanes		0	1	0		0	1	0	0	0	1	0	0	0	1	0	
Configuration			LTR				LTR				LTR				LTR		
Volume (veh/h)		31	93	22		22	188	59		36	339	18		22	243	64	
Percent Heavy Vehicles (%)		14	14	14		2	2	2		7				10			
Proportion Time Blocked																	
Percent Grade (%)		0				0											
Right Turn Channelized																	
Median Type Storage		Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		7.1	6.5	6.2		7.1	6.5	6.2		4.1				4.1		
Critical Headway (sec)		7.24	6.64	6.34		7.12	6.52	6.22		4.17				4.20		
Base Follow-Up Headway (sec)		3.5	4.0	3.3		3.5	4.0	3.3		2.2				2.2		
Follow-Up Headway (sec)		3.63	4.13	3.43		3.52	4.02	3.32		2.26				2.29		

Delay, Queue Length, and Level of Service

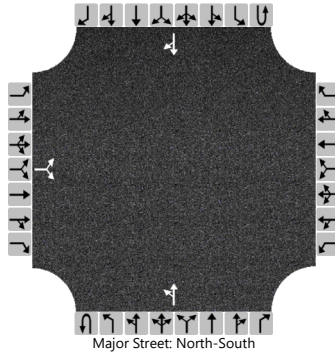
Flow Rate, v (veh/h)			160				296			40				24			
Capacity, c (veh/h)			158				301			1194				1124			
v/c Ratio			1.01				0.98			0.03				0.02			
95% Queue Length, Q ₉₅ (veh)			7.9				10.2			0.1				0.1			
Control Delay (s/veh)			132.8				86.1			8.1	0.3	0.3		8.3	0.2	0.2	
Level of Service (LOS)			F				F			A	A	A		A	A	A	
Approach Delay (s/veh)		132.8				86.1				1.1				0.8			
Approach LOS		F				F				A				A			

PM Buildout (Peak Season) Conditions

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	NW 140th St at CR 2054		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	CR 2054		
Analysis Year	2029			North/South Street	NW 140th St		
Time Analyzed	PM Peak			Peak Hour Factor	0.87		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Buildout						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	1	0		0	0	0	0	0	1	0	0	0	1	0
Configuration			LR							LT						TR
Volume (veh/h)		24		52						34	601				583	18
Percent Heavy Vehicles (%)		15		15						6						
Proportion Time Blocked																
Percent Grade (%)	0															
Right Turn Channelized																
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		7.1		6.2						4.1						
Critical Headway (sec)		6.55		6.35						4.16						
Base Follow-Up Headway (sec)		3.5		3.3						2.2						
Follow-Up Headway (sec)		3.64		3.44						2.25						

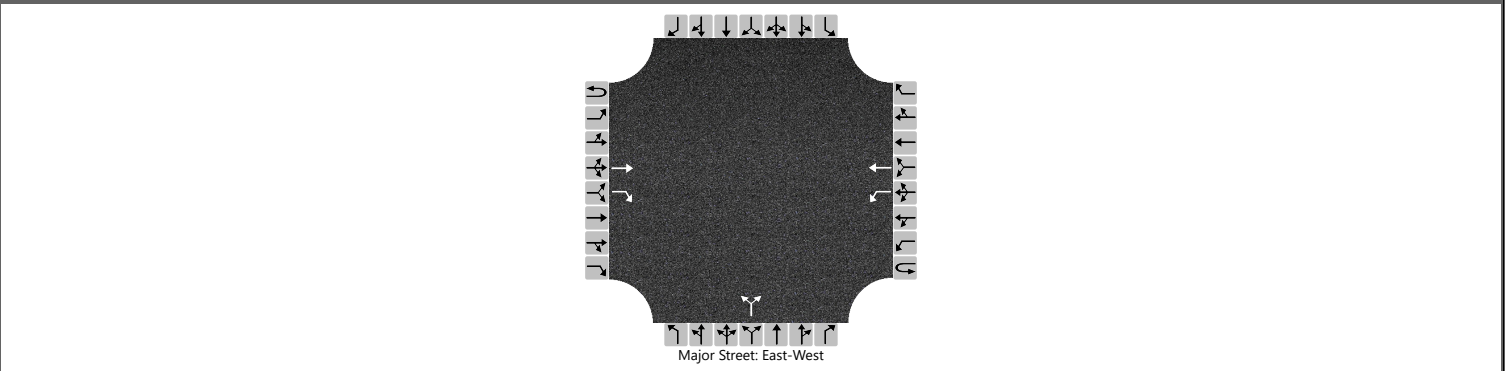
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)			87							39						
Capacity, c (veh/h)			243							886						
v/c Ratio			0.36							0.04						
95% Queue Length, Q ₉₅ (veh)			1.6							0.1						
Control Delay (s/veh)			27.9							9.3	0.7					
Level of Service (LOS)			D							A	A					
Approach Delay (s/veh)	27.9								1.1							
Approach LOS	D								A							

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	CR 235 @ North Site Access		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	CR 235		
Analysis Year	2029			North/South Street	North Site Access		
Time Analyzed	PM Peak			Peak Hour Factor	0.92		
Intersection Orientation	East-West			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Buildout						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Number of Lanes	0	0	1	1	0	1	1	0		0	1	0		0	0	0
Configuration			T	R		L	T				LR					
Volume (veh/h)			500	34		70	475			20		41				
Percent Heavy Vehicles (%)						14				2		2				
Proportion Time Blocked																
Percent Grade (%)									0							
Right Turn Channelized	No															
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)						4.1					7.1		6.2			
Critical Headway (sec)						4.24					6.42		6.22			
Base Follow-Up Headway (sec)						2.2					3.5		3.3			
Follow-Up Headway (sec)						2.33					3.52		3.32			

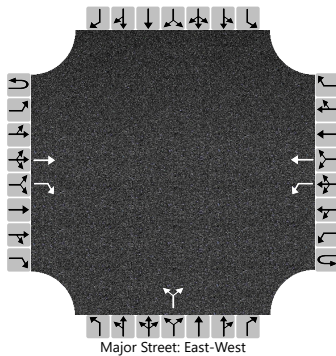
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)						76					66					
Capacity, c (veh/h)						937					331					
v/c Ratio						0.08					0.20					
95% Queue Length, Q ₉₅ (veh)						0.3					0.7					
Control Delay (s/veh)						9.2					18.6					
Level of Service (LOS)						A					C					
Approach Delay (s/veh)					1.2				18.6							
Approach LOS					A				C							

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	CR 235 @ South Site Access		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	CR 235		
Analysis Year	2029			North/South Street	South Site Access		
Time Analyzed	PM Peak			Peak Hour Factor	0.92		
Intersection Orientation	East-West			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Buildout						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6	7	8	9		10	11	12	
Priority																
Number of Lanes	0	0	1	1	0	1	1	0	0	1	0		0	0	0	
Configuration			T	R		L	T			LR						
Volume (veh/h)			478	48		96	399			28		56				
Percent Heavy Vehicles (%)						14				2		2				
Proportion Time Blocked																
Percent Grade (%)									0							
Right Turn Channelized	No															
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)						4.1				7.1		6.2				
Critical Headway (sec)						4.24				6.42		6.22				
Base Follow-Up Headway (sec)						2.2				3.5		3.3				
Follow-Up Headway (sec)						2.33				3.52		3.32				

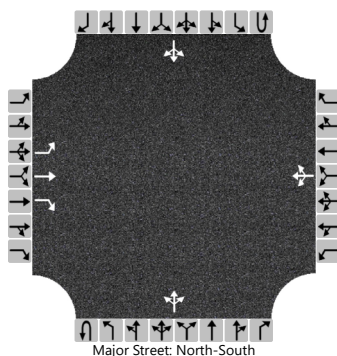
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)						104					91					
Capacity, c (veh/h)						944					341					
v/c Ratio						0.11					0.27					
95% Queue Length, Q ₉₅ (veh)						0.4					1.1					
Control Delay (s/veh)						9.3					19.4					
Level of Service (LOS)						A					C					
Approach Delay (s/veh)					1.8				19.4							
Approach LOS					A				C							

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	CR 2054 @ CR 235A		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	CR 2054		
Analysis Year	2029			North/South Street	CR 235A		
Time Analyzed	PM Peak			Peak Hour Factor	0.96		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Buildout						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement																
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		1	1	1		0	1	0	0	0	1	0	0	0	1	0
Configuration		L	T	R			LTR				LTR				LTR	
Volume (veh/h)		31	24	32		24	37	33		25	276	14		37	291	30
Percent Heavy Vehicles (%)		8	8	8		18	18	18		23				14		
Proportion Time Blocked																
Percent Grade (%)	0				0											
Right Turn Channelized	Yes															
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		7.1	6.5	6.2		7.1	6.5	6.2		4.1				4.1		
Critical Headway (sec)		7.18	6.58	6.28		7.28	6.68	6.38		4.33				4.24		
Base Follow-Up Headway (sec)		3.5	4.0	3.3		3.5	4.0	3.3		2.2				2.2		
Follow-Up Headway (sec)		3.57	4.07	3.37		3.66	4.16	3.46		2.41				2.33		

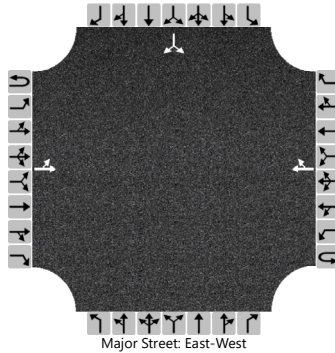
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		32	25	33			98			26				39		
Capacity, c (veh/h)		248	311	708			358			1116				1194		
v/c Ratio		0.13	0.08	0.05			0.27			0.02				0.03		
95% Queue Length, Q ₉₅ (veh)		0.4	0.3	0.1			1.1			0.1				0.1		
Control Delay (s/veh)		21.7	17.6	10.3			18.8			8.3	0.2	0.2		8.1	0.3	0.3
Level of Service (LOS)		C	C	B			C			A	A	A		A	A	A
Approach Delay (s/veh)		16.4				18.8				0.9				1.1		
Approach LOS		C				C				A				A		

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	CR 235 @ CR 235A/NW 173rd St		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	CR 235		
Analysis Year	2029			North/South Street	CR 235A/NW 173rd St		
Time Analyzed	PM Peak			Peak Hour Factor	0.92		
Intersection Orientation	East-West			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Buildout						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0		0	0	0		0	1	0
Configuration		LT						TR							LR	
Volume (veh/h)		134	422				313	114						108		128
Percent Heavy Vehicles (%)		6												3		3
Proportion Time Blocked																
Percent Grade (%)														0		
Right Turn Channelized																
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		4.1												7.1		6.2
Critical Headway (sec)		4.16												6.43		6.23
Base Follow-Up Headway (sec)		2.2												3.5		3.3
Follow-Up Headway (sec)		2.25												3.53		3.33

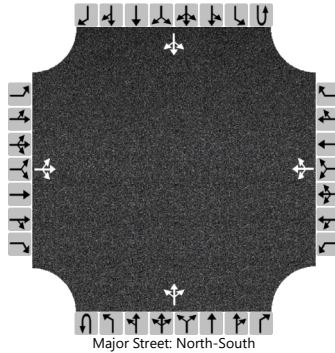
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		146													257		
Capacity, c (veh/h)		1076													293		
v/c Ratio		0.14													0.87		
95% Queue Length, Q ₉₅ (veh)		0.5													7.8		
Control Delay (s/veh)		8.9	1.6												64.1		
Level of Service (LOS)		A	A												F		
Approach Delay (s/veh)		3.4												64.1			
Approach LOS		A												F			

HCS Two-Way Stop-Control Report

General Information				Site Information			
Analyst	Daniel Soto			Intersection	NW 78th Avenue/CR 232 @ CR 235		
Agency/Co.	CHW			Jurisdiction	Alachua County		
Date Performed	5/24/2022			East/West Street	NW 78th Avenue/CR 232		
Analysis Year	2029			North/South Street	CR 235		
Time Analyzed	PM Peak			Peak Hour Factor	0.91		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	Fletcher Trace - Buildout						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	1	0		0	1	0	0	0	1	0	0	0	1	0
Configuration			LTR				LTR				LTR				LTR	
Volume (veh/h)		38	93	22		22	188	66		36	385	18		26	270	68
Percent Heavy Vehicles (%)		14	14	14		2	2	2		7				10		
Proportion Time Blocked																
Percent Grade (%)	0				0											
Right Turn Channelized																
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		7.1	6.5	6.2		7.1	6.5	6.2		4.1				4.1		
Critical Headway (sec)		7.24	6.64	6.34		7.12	6.52	6.22		4.17				4.20		
Base Follow-Up Headway (sec)		3.5	4.0	3.3		3.5	4.0	3.3		2.2				2.2		
Follow-Up Headway (sec)		3.63	4.13	3.43		3.52	4.02	3.32		2.26				2.29		

Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)			168				303			40				29		
Capacity, c (veh/h)			85				264			1160				1076		
v/c Ratio			1.97				1.15			0.03				0.03		
95% Queue Length, Q ₉₅ (veh)			14.6				13.4			0.1				0.1		
Control Delay (s/veh)			556.3				142.0			8.2	0.4	0.4		8.4	0.3	0.3
Level of Service (LOS)			F				F			A	A	A		A	A	A
Approach Delay (s/veh)	556.3				142.0				1.0				0.9			
Approach LOS	F				F				A				A			

Appendix J

Roadway Segment

Analysis

**Table 4.1
Transportation Public Facilities Impacts**

Roadway Segment (FDOT Segment #, CoA Comp Plan #)	Segment Description	AADT/ Peak Hour	Comp Plan MSV^^	Existing Traffic**	Reserved Trips	Available Capacity**	Percentage of Capacity Utilized
Interstate		Min LOS Standard: C					
I-75 (32, 1)	From North City Limit to US 441	AADT	91,600	29,500	208	61,892	32.43%
		Peak Hour	8,250	3,098	15	5,137	37.73%
I-75 (31, 2)	From US 441 to the South City Limit	AADT	91,600	55,956	208	35,436	61.31%
		Peak Hour	8,250	5,875	15	2,360	71.39%
State Roads		Min LOS Standard: D					
U.S. Hwy 441 (4127, 3)	From MPO Boundary to CR 25A East Intersection	AADT	43,000	20,000	43	22,957	46.61%
		Peak Hour	3,870	1,800	5	2,065	46.64%
U.S. Hwy 441 (106, 4)	From CR 25A East Intersection to SR 235	AADT	45,700	18,230	5,689	21,781	52.34%
		Peak Hour	4,110	1,732	452	1,926	53.14%
U.S. Hwy 441 (107, 5)	From SR 235 to I-75	AADT	39,000	22,581	2,160	14,259	63.44%
		Peak Hour	3,510	2,145	170	1,195	65.95%
U.S. Hwy 441 (4107, 6)	From I-75 to CR 235A	AADT	39,000	27,914	1,927	9,159	76.52%
		Peak Hour	3,510	2,652	154	704	79.94%
U.S. Hwy 441 (14, 7)	From CR 235A to NW 188th Street	AADT	43,000	22,250	1,565	19,185	55.38%
		Peak Hour	3,870	2,114	129	1,627	57.96%
SR 235 (108, 8)	From NW 143rd Place to US 441	AADT	14,400	9,400	5	4,995	65.31%
		Peak Hour	1,290	893	1	396	69.30%
SR 235 (109, 9)	From US 441 to NW 140th Street	AADT	14,400	7,255	90	7,055	51.01%
		Peak Hour	1,290	689	10	591	54.19%
SR 235 (4109/1439, 10)	From NW 140th Street to East City Limit	AADT	14,400	4,500	44	9,856	31.56%
		Peak Hour	1,290	428	7	855	33.72%
County Facilities		Min LOS Standard: D					
CR 235 (11)	From NW 143rd Place to South City Limit	AADT	15,120	6,180	1,018	7,922	47.61%
		Peak Hour	1,359	587	110	662	51.30%
CR 241 (12)	From NW SR 235 to North City Limit	AADT	15,120	1,578	0	13,542	10.44%
		Peak Hour	1,359	150	0	1,209	11.03%
CR 241 (13)	From CR 235 to South City Limit	AADT	20,880	6,025	765	14,090	32.52%
		Peak Hour	1,881	572	43	1,266	32.72%
CR 2054 (14)	From SR 235 to West City Limit	AADT	15,120	4,161	35	10,924	27.75%
		Peak Hour	1,359	395	0	964	29.09%
CR 2054 (15)	From SR 235 to US 441	AADT	15,120	2,788	2,115	10,217	32.43%
		Peak Hour	1,359	265	128	966	28.91%
CR 235A (16)	From US 441 to North City Limit	AADT	15,120	1,402	816	12,902	14.67%
		Peak Hour	1,359	133	85	1,141	16.06%
CR 235A (17)	From US 441 to CR 235	AADT	15,120	5,302	112	9,706	35.81%
		Peak Hour	1,359	504	12	843	37.95%

* Florida Department of Transportation, District Two, Level of Service Reporting Tool 2019, accessed April 7, 2021.

** Formula: Comp Plan MSV - (Existing Traffic + Reserved Trips from Development Orders with Concurrency Reservation.)

^ County Facility AADT counts provided by Alachua County Public Works, April 2022.

^^ AADT & Peak Hour MSVs calculated using LOSPLAN 2012. County Facilities reflect a 10 percent reduction in the MSV calculated within LOSPLAN 2012 as set forth in the Generalized Tables for AADT / Peak Hour Volumes, FDOT 2018 Q/LOS Handbook.

Appendix I Turn Lane Warrant Analysis

When Not to Consider Exclusive Right-Turn Lanes

- Dense or built-out corridors with limited space
- Right-turn lane that would negatively impact pedestrians or bicyclists
- Vehicular movements from driveways or median openings that cross the right-turn lane resulting in multiple threat crashes
- Context classifications C2T, C4, C5, or C6

When Exclusive Right-Turn Lanes are Beneficial

There are instances when adding an exclusive right-turn lane for unsignalized driveways are beneficial to traffic operations and safety. **Table 27** provides some guidance for this situation based on the speed limit of the roadway and how many right turns occur per hour. Locations where the Auto and Truck Modal Emphasis is "High" may be appropriate for consideration of Exclusive Right Turn Lanes.

Table 27 – Recommended Guidelines for Exclusive Right-Turn Lanes to Unsignalized Driveway¹⁰

Roadway Posted Speed Limit	Number of Right Turns Per Hour
45 mph or less	80 – 125 ¹
Over 45 mph	35 – 55 ²
<i>Note: A posted speed limit of 45 mph may be used with these thresholds if the operating speeds are known to be over 45 mph during the time of peak right turn demand.</i>	
<i>Note on traffic projections: Projecting turning volumes is, at best, a knowledgeable estimate. Keep this in mind especially if the projections of right turns are close to meeting the guidelines. In that case, consider requiring the turn lane.</i>	
<i>The lower threshold of 80 right-turn vehicles per hour would be most used for higher volume (greater than 600 vehicles per hour, per lane in one direction on the major roadway) or two-lane roads where lateral movement is restricted. The 125 right-turn vehicles per hour upper threshold would be most appropriate on lower volume roadways, multilane highways, or driveways with a large entry radius (50 feet or greater).</i>	
<i>² The lower threshold of 35 right-turn vehicles per hour would be most appropriately used on higher volume two-lane roadways where lateral movement is restricted. The 55 right-turn vehicles per hour upper threshold would be most appropriate on lower volume roadways, multilane highways, or driveways with large entry radius (50 feet or greater).</i>	

Source: [NCHRP Report 420 \(Impacts of Access Management Techniques\)](#)

These recommendations are primarily based on the research done in [NCHRP Report 420, Impacts of Access Management Techniques, Chapter 4 – Unsignalized Access Spacing \(Technique 1B\)](#), and [Use of Speed Differential as a Measure to Evaluate the Need for Right-Turn Deceleration Lane at Unsignalized Intersections](#).

In the *NCHRP Report 420*, the observed high-speed roads, 30 to 40 right-turn vehicles per hour caused evasive maneuvers on 5 - 10 percent of the following through vehicles. For lower speed roadways, 80 to 110 right-turn vehicles caused 15 - 20 percent of the following through vehicles to make evasive maneuvers. The choice of acceptable percentages of through vehicles impacted is a decision based on reasonable expectations of the different roadways.

In this study, by modeling speed differentials, a better understanding of the impacts of through volume and driveway radius was discovered.

¹⁰ May not be appropriate for signalized locations where signal phasing plays an important role in determining the need for right turn lanes.

CR 235/North Site Access
 EBR
 AM(PM)
 11(34)

CR 235/South Site Access
 EBR
 AM(PM)
 14(48)

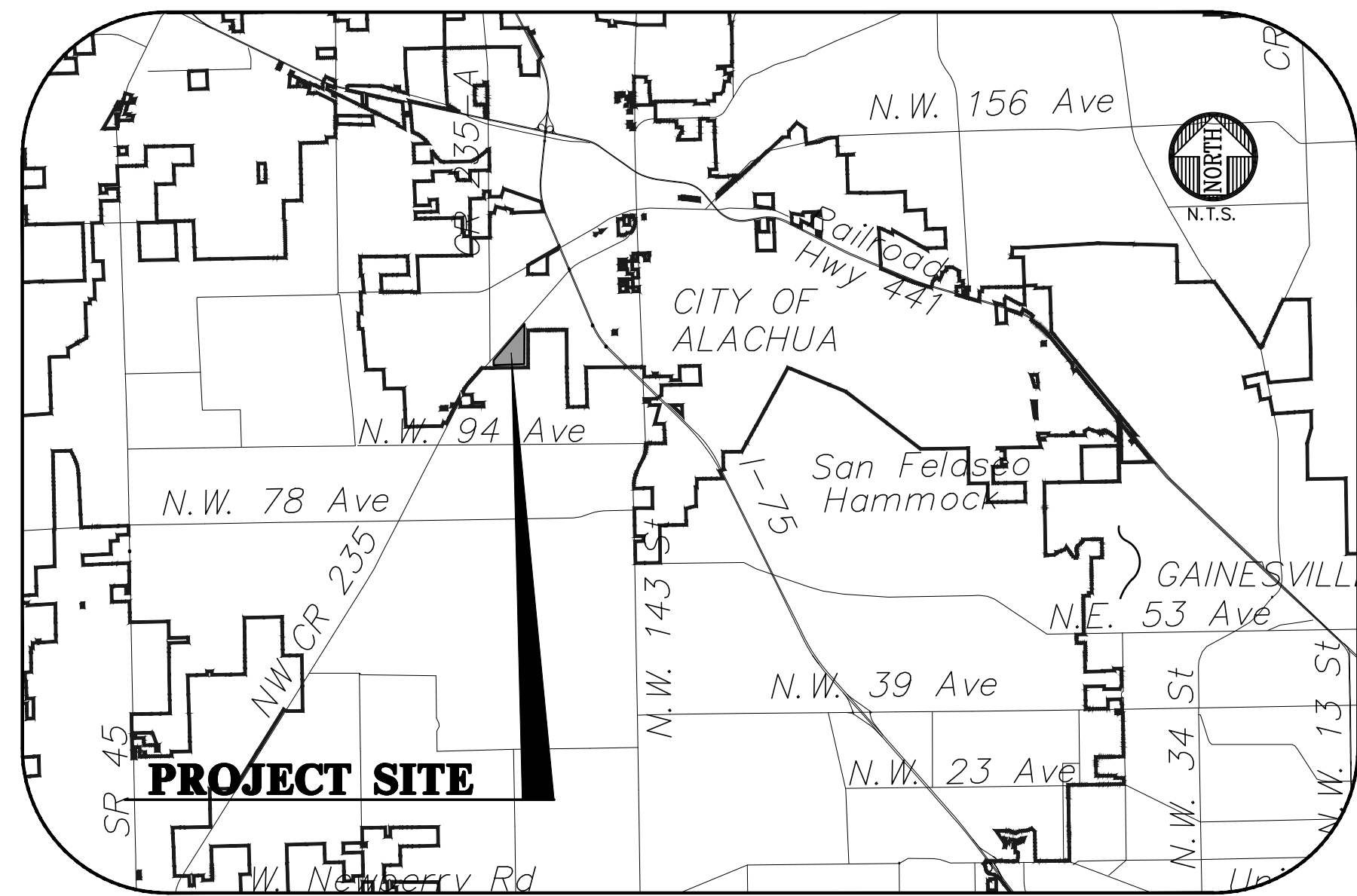
PRELIMINARY PLAT FOR: FLETCHER TRACE SUBDIVISION

ALACHUA COUNTY PARCELS 03980-002-001

CITY OF ALACHUA, FLORIDA

SECTION 28, TOWNSHIP 08 SOUTH, RANGE 18 EAST

NOT FOR FINAL RECORDING



VICINITY MAP GENERAL NOTES

- LAND OWNER:
FLETCHER DEVELOPMENT, LLC.
4510 NW 6TH PLACE, 3RD FLOOR
GAINESVILLE, FL 32607
(352)224-6400
blake@thefletchercompanies.com
- DEVELOPER/SUBDIVIDER:
FLETCHER DEVELOPMENT, LLC.
4510 NW 6TH PLACE, 3RD FLOOR
GAINESVILLE, FL 32607
(352)224-6400
blake@thefletchercompanies.com
- AGENT OF DEVELOPER/SUBDIVIDER:
CHW
11801 RESEARCH DRIVE
ALACHUA, FL 32615
(352)331-1976
- ENGINEER OF RECORD:
DANIEL H. YOUNG, P.E.
(352) 331-1976
daniely@chw-inc.com
- SURVEYOR OF RECORD:
CHAD COLSON, PSM
CHW
11801 RESEARCH DRIVE
ALACHUA, FL 32615
(352) 331-1976
chad@chw-inc.com
- DATE OF BOUNDARY SURVEY:
10/21/2021
- WATER SUPPLY:
AN 8-INCH POTABLE WATER MAIN RUNS ALONG THE CR 235 RIGHT-OF-WAY.
DIRECT CONNECTION IS ANTICIPATED WITHOUT THE NEED FOR JACK AND BORE OF CR 235.
- SEWAGE DISPOSAL:
A NEW GRAVITY SEWER SYSTEM WILL CONNECT TO A PROPOSED SANITARY LIFT STATION
LOCATED WITHIN THE DEVELOPMENT. THE PROPOSED LIFT STATION WILL PUMP TO EXISTING
CITY OF ALACHUA GRAVITY SEWER SYSTEM LOCATED AT THE INTERSECTION OF CR 235A AND
NW 115 AVE.
- DRAINAGE:
STORMWATER MANAGEMENT FACILITIES (SMF) ARE LOCATED THROUGHOUT THE
DEVELOPMENT, INCLUDING ALONG CR 235 AND THE SITE'S LOW AREA. THIS PLAN
ILLUSTRATES APPROXIMATELY 23% OF THE PROJECT SITE. FINAL SIZE AND LOCATION OF SMFs
WILL BE DETERMINED DURING SITE PLAN REVIEW.
- ELECTRICAL UTILITY PROVISION:
CLAY ELECTRIC WILL BE EXTENDED TO THE PROJECT SITE FROM
CR 235A AND ALONG FROM CR 235 TO SUPPLY THE
UNDERGROUND ELECTRIC TO THE DEVELOPMENT.
- NATURAL FEATURES:
N/A
- ZONING/LAND USE INFORMATION:
ZONING = PD-R
LAND USE = MODERATE DENSITY RESIDENTIAL

DEVELOPABLE AREA/LOTS	FRONT	REAR	SIDE	STREET-FACING GARAGES*
A (1-32, 75-128, 133-215 227-247, 298-346, 353-372)	10'	5'	5'	18'
B (33-74, 373-472)	10'	5'	5'	18'
C (129-132, 216-226 291-297,347-354)	10'	12'	5'	18'
D (248-290)	10'	12'	5'	18'

* FOR STREET-FACING GARAGES, THE GARAGE PORTION OF THE STRUCTURE SHALL BE SET BACK A MINIMUM 18 FEET.

- DEVELOPMENT CONTAINS 410 SINGLE FAMILY LOTS AND 28 MULTI-FAMILY LOTS.
- COVENANTS AND RESTRICTIONS:
PROVIDED
- ROADWAY TYPE: URBAN CURB AND GUTTER ROADWAY WITH STORM SEWER PIPING AND RENTAL LIGHTING FROM CLAY ELECTRIC.
- UTILITY PROVIDERS:
WATER: CITY OF ALACHUA
SEWER: CITY OF ALACHUA
ELECTRIC: CLAY ELECTRIC
PHONE / CABLE: WINDSTREAM AND COX
- PHASES SHOWN CAN BE CONSTRUCTED IN ANY ORDER ASSUMING THE NECESSARY INFRASTRUCTURE IS INSTALLED TO SUPPORT EACH GIVEN PHASE
- THE HOMEOWNER'S ASSOCIATION (HOA) SHALL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF ALL COMPONENTS OF THE STORMWATER SYSTEM NOT IN THE RIGHT-OF-WAY. THE CITY OF ALACHUA WILL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE STORMWATER SYSTEM WITHIN THE RIGHT-OF-WAY.

LEGAL DESCRIPTION: (OFFICIAL RECORDS BOOK 2140, PAGE 1834)

A TRACT OF LAND SITUATED IN SECTION 28, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT AN IRON PIPE AT THE SOUTHWEST CORNER OF THE FOREMENTIONED SECTION 28, TOWNSHIP 8 SOUTH, RANGE 18 EAST FOR THE POINT OF BEGINNING AND RUN N.00°42'43"E., ALONG THE WEST LINE OF SAID SECTION, A DISTANCE OF 402.89 FEET TO THE SOUTHEASTERLY RIGHT OF WAY LINE OF COUNTY ROAD NO. 235 (100 FOOT RIGHT OF WAY); THENCE RUN N.41°53'43"E., ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 4071.41 FEET TO A CONCRETE MONUMENT; THENCE RUN S.01°01'49"W., A DISTANCE OF 827.97 FEET TO A CONCRETE MONUMENT AT THE NORTHWEST CORNER OF THE SOUTHEAST 1/4 OF SAID SECTION 28; THENCE RUN S.00°32'41"W., ALONG THE WEST LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 893.87 FEET TO AN IRON PIPE AT THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 28; THENCE RUN N.89°50'54"W., ALONG THE SOUTH LINE OF SAID SECTION 28, A DISTANCE OF 2684.07 FEET TO THE POINT OF BEGINNING, CONTAINING 118.191 ACRES, MORE OR LESS.

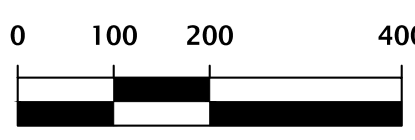
SUBJECT TO MAINTAINED RIGHT OF WAY OF COUNTY ROAD N.W. 110TH AVENUE (FORMERLY KNOWN AS COUNTY ROAD NO. N.W.28) ALONG THE SOUTH BOUNDARY THEREOF

LEGEND

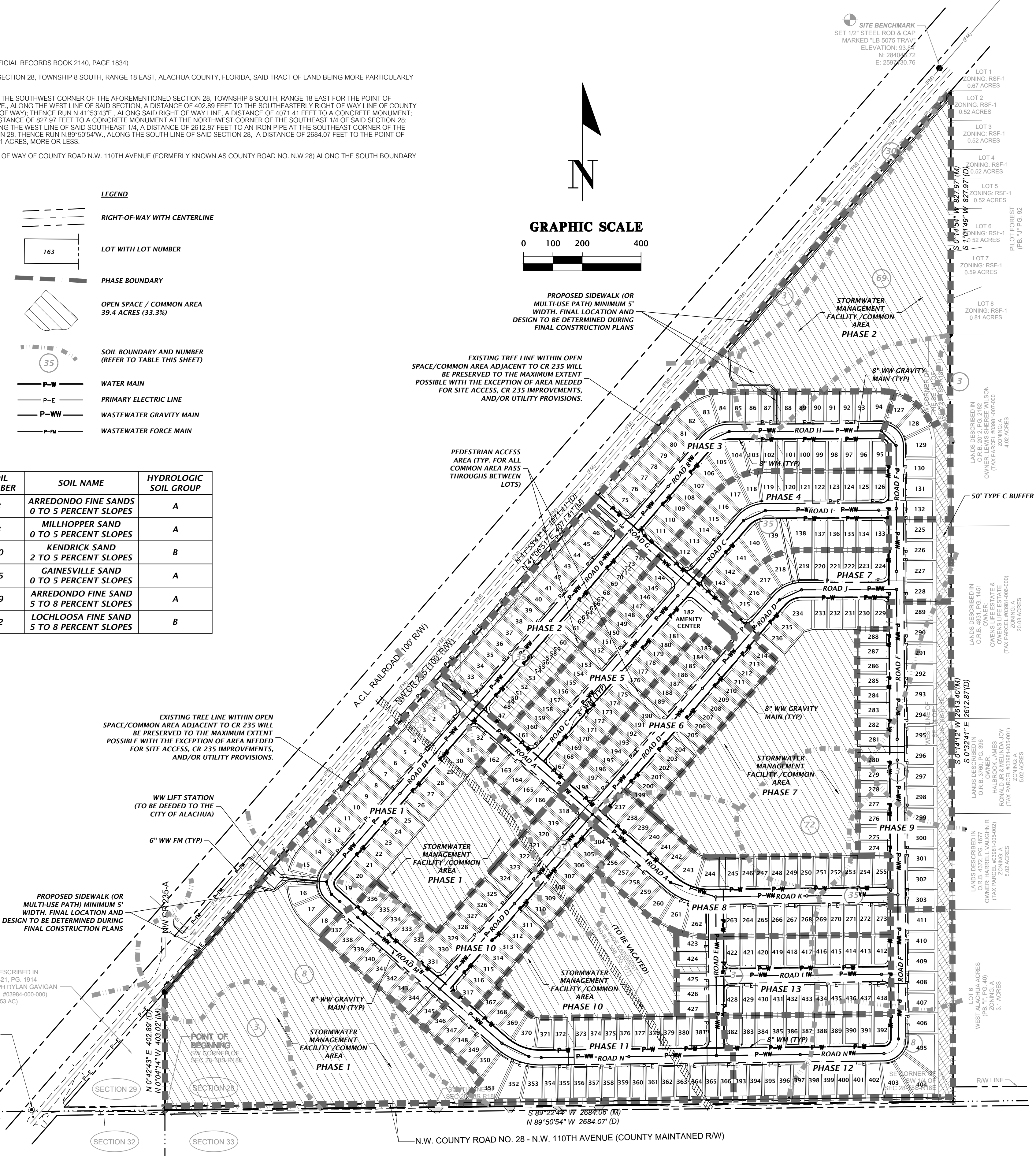
- RIGHT-OF-WAY WITH CENTERLINE
- LOT WITH LOT NUMBER
- PHASE BOUNDARY
- OPEN SPACE / COMMON AREA
39.4 ACRES (33.3%)
- SOIL BOUNDARY AND NUMBER
(REFER TO TABLE THIS SHEET)
- WATER MAIN
- PRIMARY ELECTRIC LINE
- WASTEWATER GRAVITY MAIN
- WASTEWATER FORCE MAIN

SOIL NUMBER	SOIL NAME	HYDROLOGIC SOIL GROUP
3	ARREDONDO FINE SANDS 0 TO 5 PERCENT SLOPES	A
8	MILLHOPPER SAND 0 TO 5 PERCENT SLOPES	A
30	KENDRICK SAND 2 TO 5 PERCENT SLOPES	B
35	GAINESVILLE SAND 0 TO 5 PERCENT SLOPES	A
69	ARREDONDO FINE SAND 5 TO 8 PERCENT SLOPES	A
72	LOCHLOOSA FINE SAND 5 TO 8 PERCENT SLOPES	B

GRAPHIC SCALE



FLOOD ZONE:
THIS PROPERTY IS LOCATED IN FEDERAL FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS INTERPOLATED FROM FEMA F.I.R.M. PANEL NO. 120 OF 640, COMMUNITY PANEL NO. *120669 0120 D*, EFFECTIVE DATE: JUNE 16, 2006.



SHEET INDEX

SHEET NUMBER	DESCRIPTION
2-12	MASTER PRELIMINARY PLAT
1 - 13 OF 13	DETAILED PRELIMINARY PLAT
	BOUNDARY AND TOPOGRAPHIC SURVEY

14801 Research Drive
Alachua, Florida 32615
(352)331-1976
www.nv5.com

NV5

SCALE: 1"=200'

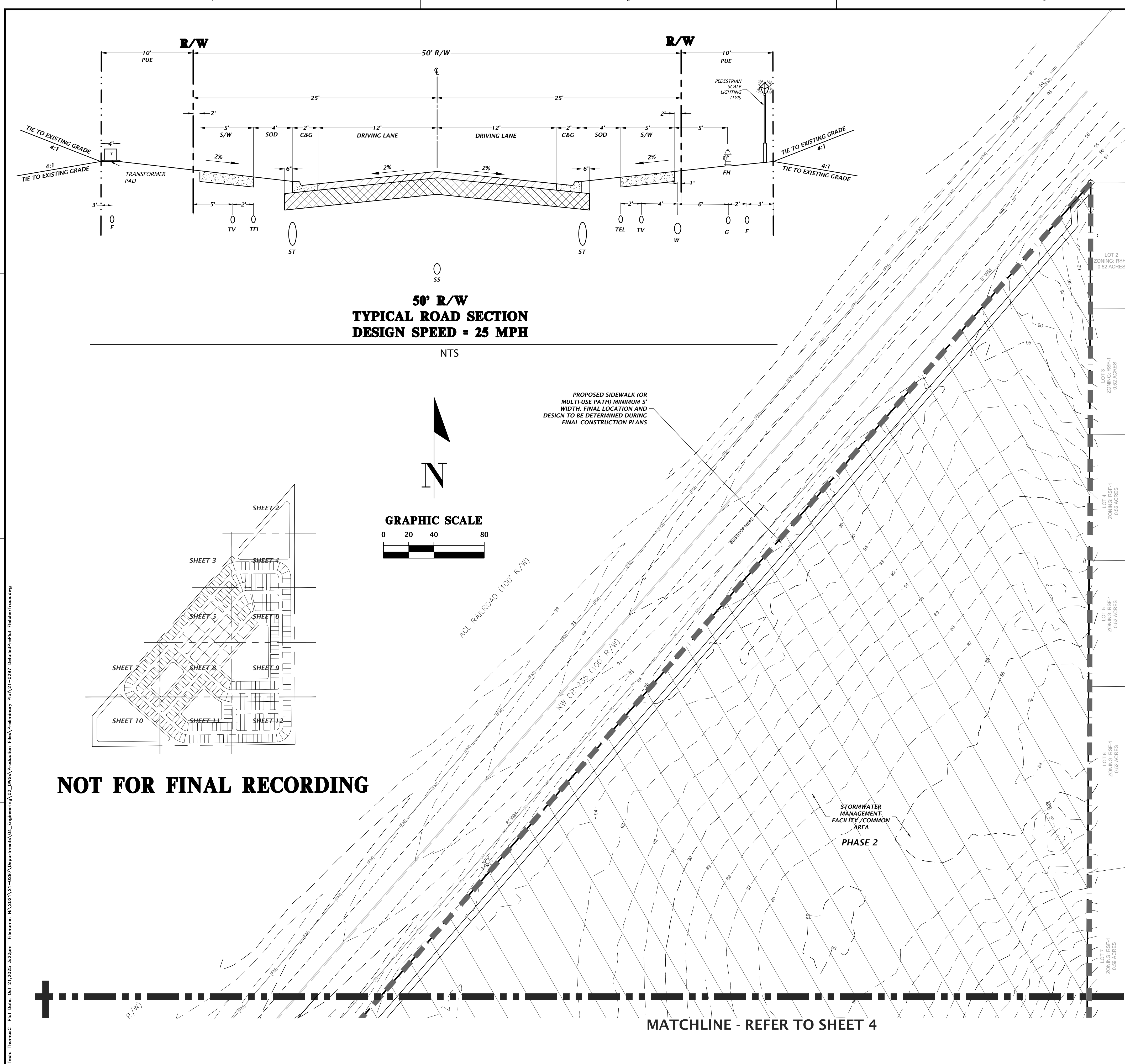
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6/8/2022 - PRELIMINARY PLAT RESUBMITTAL
8/15/2022 - PRELIMINARY PLAT RESUBMITTAL
9/15/2022 - PRELIMINARY PLAT UPDATE

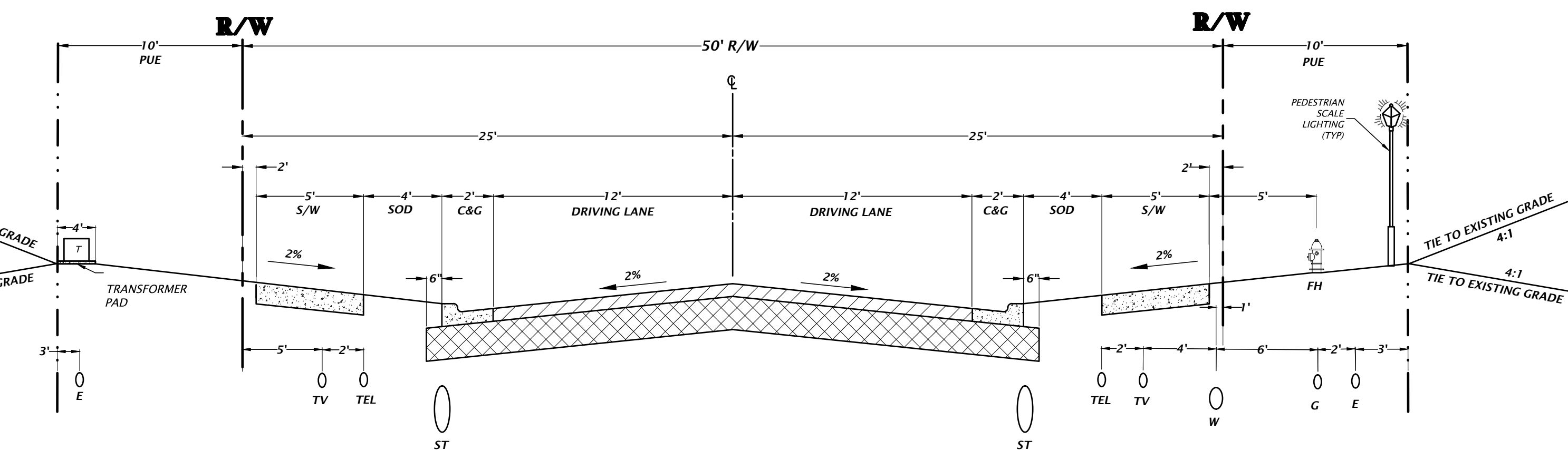
FLETCHER DEVELOPMENT
FLETCHER TRACE SUBDIVISION
PRELIMINARY PLAT

CLIENT: K. MERRITT
DESIGNER: N. COWAP
QUALITY CONTROL: T. HASTAY
PROJECT NUMBER: 21-0297

FL PE No. 84295
SHEET NO. 1

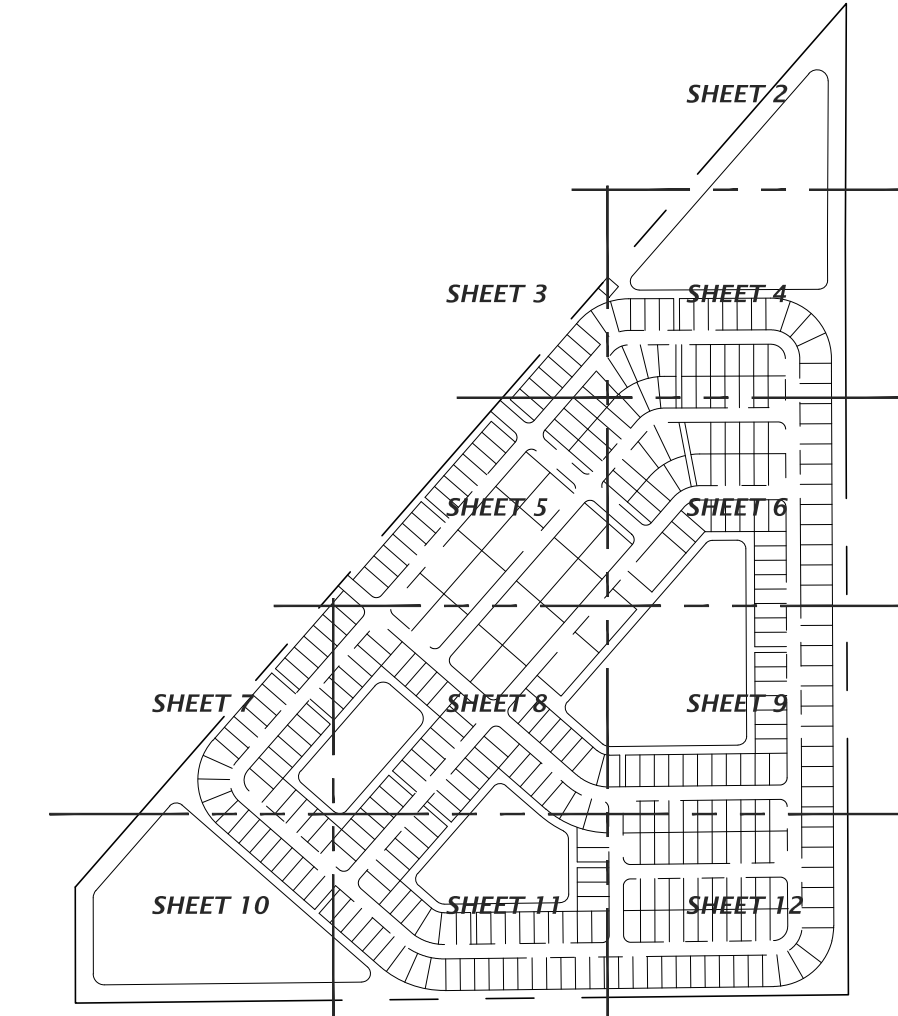
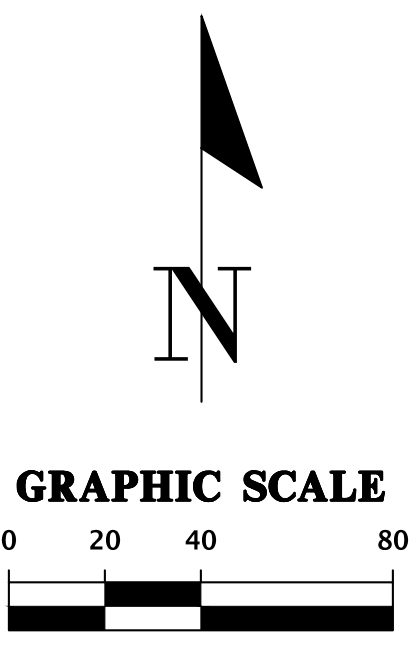


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**50' R/W
TYPICAL ROAD SECTION
DESIGN SPEED = 25 MPH**

NTS



NOT FOR FINAL RECORDING

MATCHLINE - REFER TO SHEET 4

SIGN DETAIL
1:20

SIGN NUMBER	6-3in No. Centered (6)
WIDTH x HGT.	2'-6" x 0'-9"
BORDER WIDTH	0"
CORNER RADIUS	0"
MOUNTING	Ground
BACKGROUND	TYPE: Reflective COLOR: Green
LEGEND/BORDER	TYPE: Reflective COLOR: White/Green

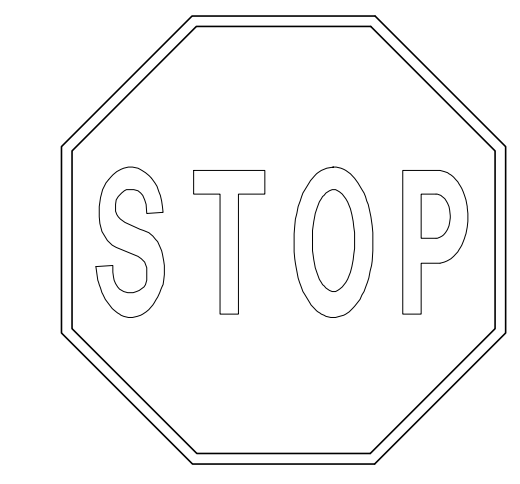
Panel Style: Street Name 6-3in no borders;
Dimensions are in inches, tenths. Letter locations are panel edge to lower left corner.

LETTER POSITIONS (X)					LENGTH	SERIES/SIZE
N	W					
1.4	3.5				4.4	C 2000
D	R					C 2000
24.7	26.9				4	3
I	6	7	T	H		C 2000
8.1	10.5	14.6	18.7	20.7	14.3	6,3

NOTE: ROAD SIGN ABOVE SHOWN FOR ILLUSTRATION PURPOSES. ACTUAL SIGNS TO BE DESIGNED ONCE ROADWAY NAMES HAVE BEEN ASSIGNED BY E911.

TYPICAL ROADWAY SIGN DETAIL

NTS



**STOP SIGN R1-1
30" x 30"**

TRAFFIC SIGN DETAIL

NTS

**PILOT FOREST
(PB. "J" PG. 92**

14801 Research Drive
Alachua, Florida 32615
(352) 331-1976
www.nv5.com

NV5

SCALE: 1"=40'

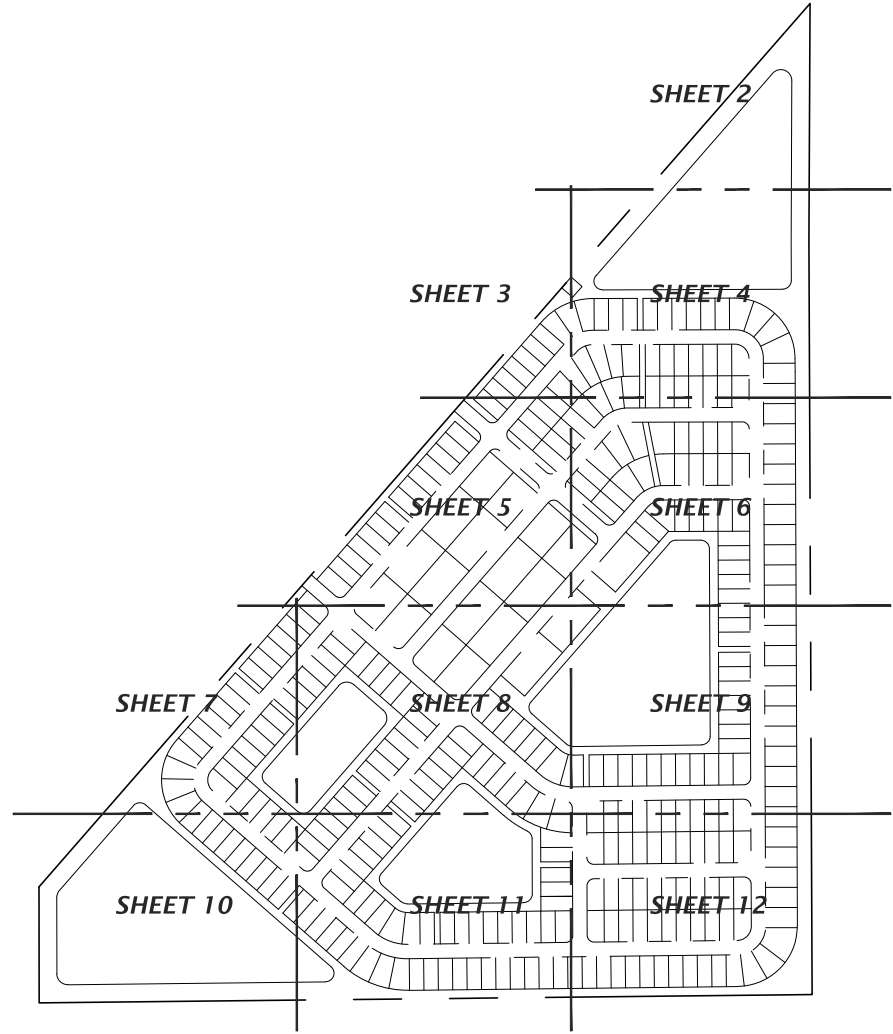
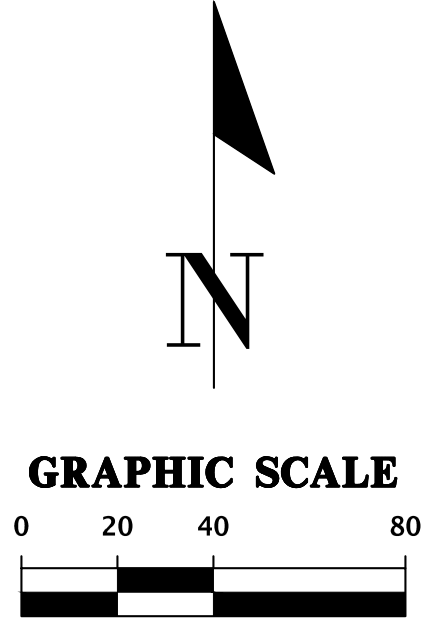
CONSTRUCTION PERSONNEL

DATE: 5/31/2022 - PRELIMINARY PLAT FIRST SUBMITTAL
6/8/2022 - PRELIMINARY PLAT RESUBMITTAL
8/24/2022 - PRELIMINARY PLAT RESUBMITTAL
10/10/2022 - PRELIMINARY PLAT RESUBMITTAL
11/14/2022 - PRELIMINARY PLAT RESUBMITTAL

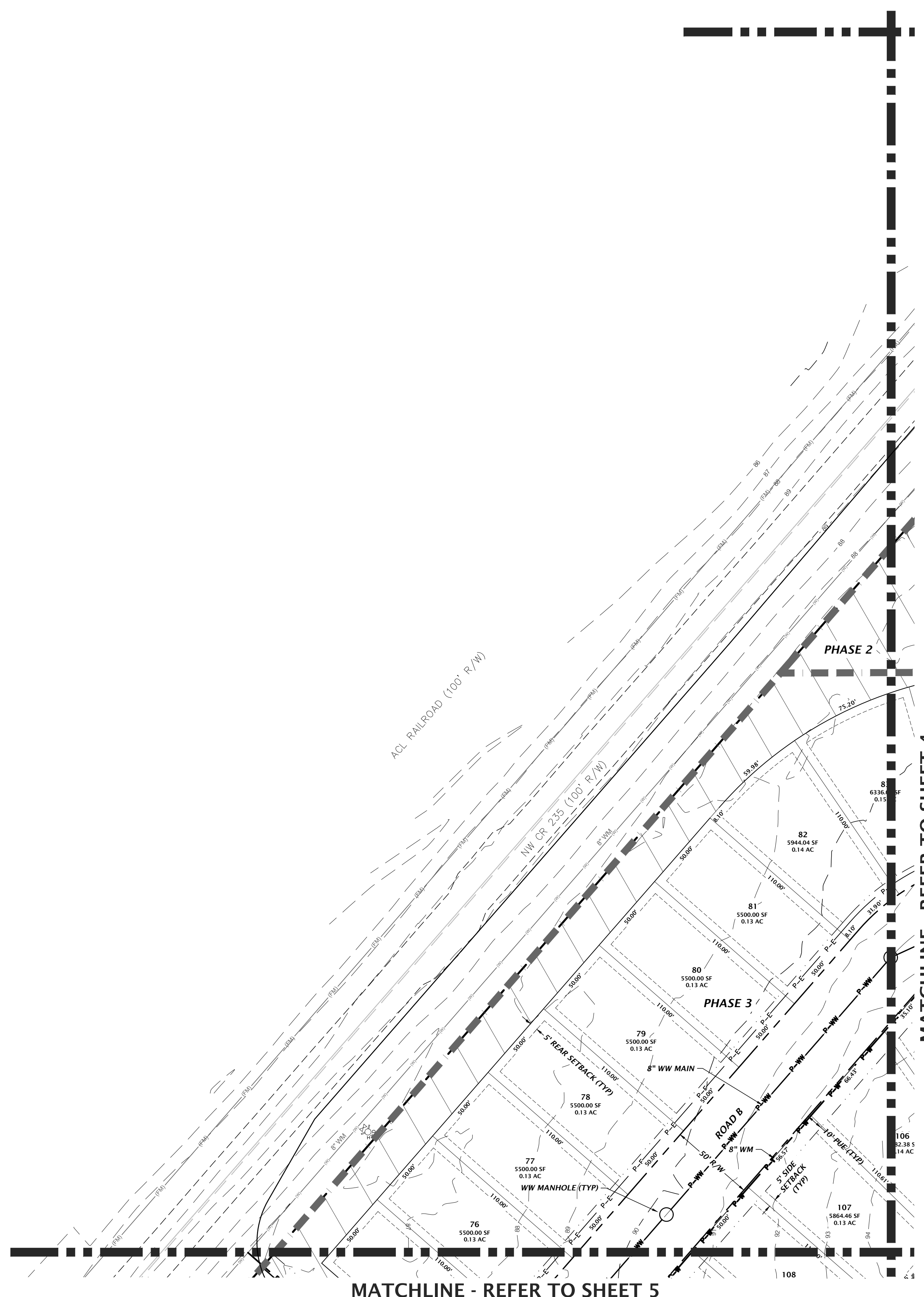
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PROJECT: FLETCHER TRACE SUBDIVISION
SHEET TITLE: PRELIMINARY PLAT
SHEET NUMBER: 21-0297
PROJECT NUMBER: 21-0297

DESIGNER: K. MERRITT
CHECKER: N. COWAP
QUALITY CONTROL: T. HASTAY
PROJECT NUMBER: 21-0297

FL PE No. 84295
SHEET NO.: 2



NOT FOR FINAL RECORDING

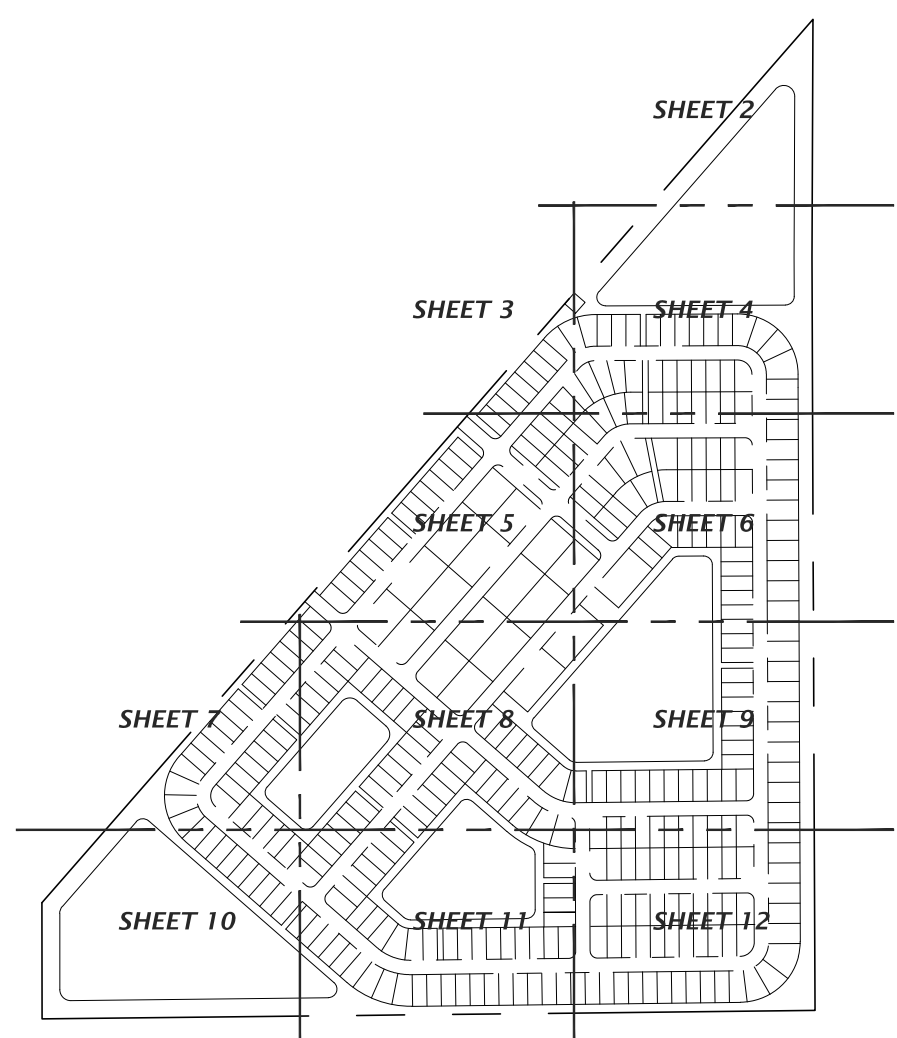
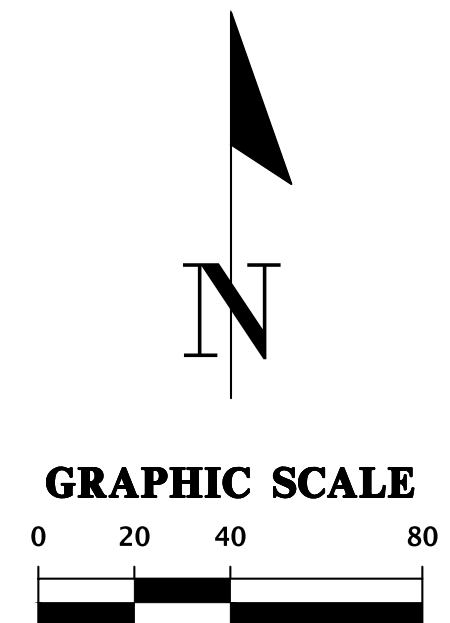
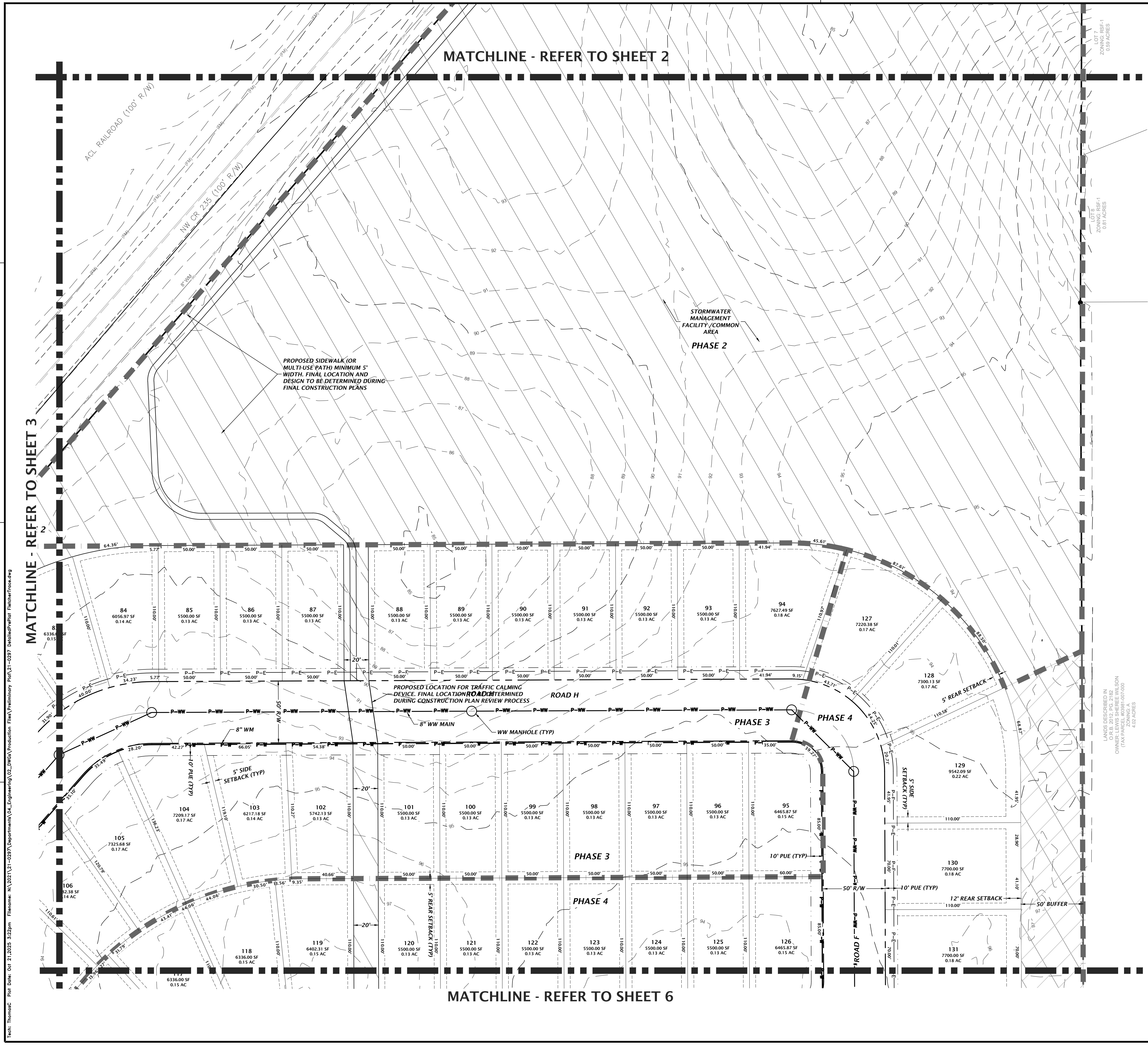


MATCHLINE - REFER TO SHEET 5

MATCHLINE - REFER TO SHEET 4

Tech: ThomasC; Plot Date: Oct 21, 2023 3:22pm; Filename: H:\2021\31-0297\Department\04_Engineering\02_DWG_Production\Task\Preliminary\Plot\31-0297_Detail\PrePlot_Technical.dwg

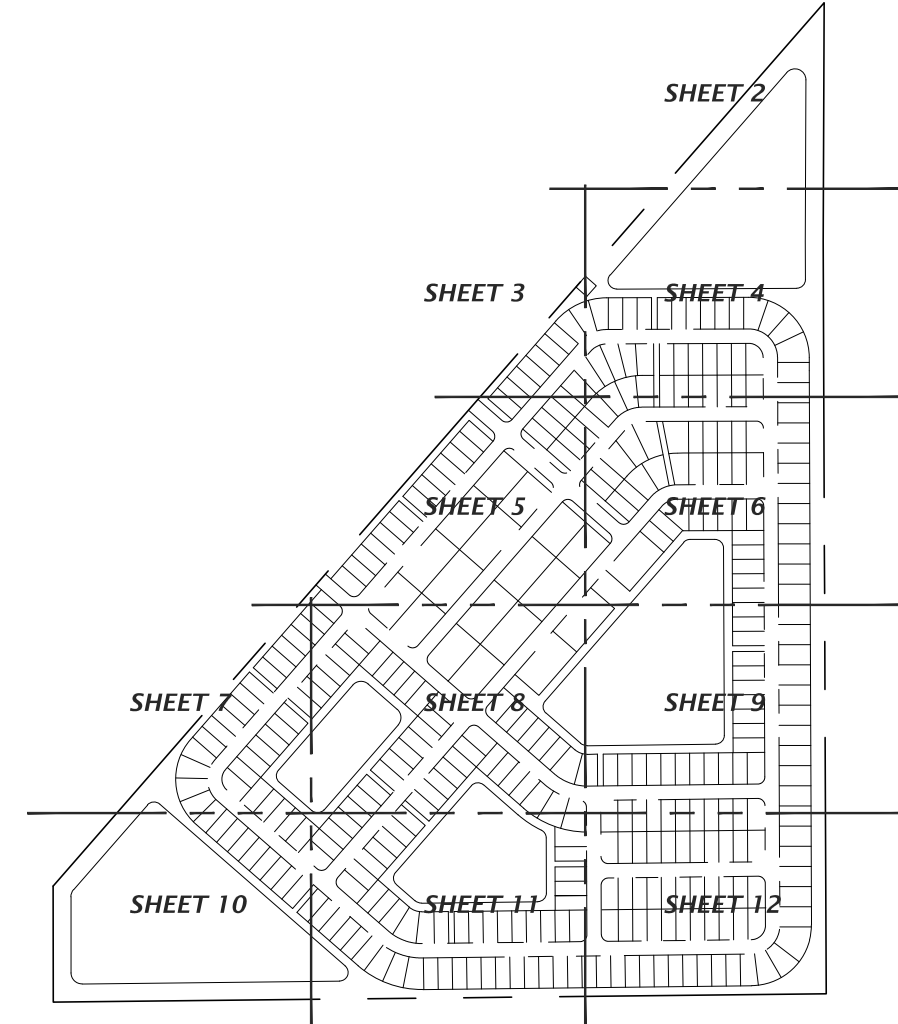
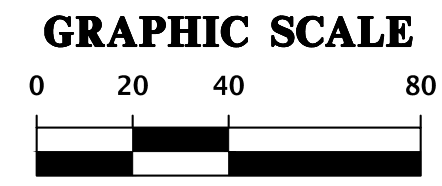
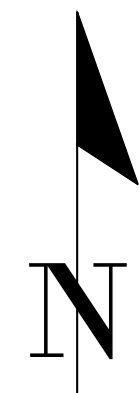
<p>14801 Research Drive Alachua, Florida 32815 (352)333-1976 www.nv5.com</p>	
<h1>NV5</h1>	
<p>SCALE: 1"=40'</p> <p>VIEW THIS SCALE BASED UPON ORIGINAL DRAWING 0"=0" (AS SHOWN) THIS SHEET ADJUST SCALES ACCORDINGLY.</p>	<p>CONSTRUCTION PERSONNEL</p>
<p>DATE: 5/31/2022 - PRELIMINARY PLAT FIRST SUBMITTAL 6/8/2022 - PRELIMINARY PLAT RESUBMITTAL 8/24/2022 - PRELIMINARY PLAT RESUBMITTAL XX/XX/2025 - PRELIMINARY PLAT UPDATE</p>	<p>CLIENT: FLETCHER DEVELOPMENT PROJECT: FLETCHER TRACE SUBDIVISION SHEET TITLE: PRELIMINARY PLAT PROJECT NUMBER: 21-0297 SHEET NUMBER: 3</p>
<p>DESIGNER: K. MERRITT CHECKER: N. COWAP QUALITY CONTROL: T. HASTAY</p>	<p>TRAVIS J. HASTAY</p>
<p>FL PE No. 84295</p>	



NOT FOR FINAL RECORDING

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14801 Research Drive Alachua, Florida 32815 (352) 333-1976 www.nv5.com	
NIV5	
SCALE: 1"=40' VERIFY ALL DIMENSIONS ON ORIGINAL DRAWING 0" MEASURE FROM THIS SHEET. ADJUST SCALES ACCORDINGLY.	CONSTRUCTION PERSONNEL:
5/31/2022 - PRELIMINARY PLAT FIRST SUBMITTAL 6/8/2022 - PRELIMINARY PLAT RESUBMITTAL 8/24/2022 - PRELIMINARY PLAT UPDATE 10/24/2022 - PRELIMINARY PLAT UPDATE	
CLIENT: K. MERRITT N. COWAP TRAVIS J. HASTAY	PROJECT: FLETCHER TRACE SUBDIVISION PRELIMINARY PLAT SHEET TITLE: DETAILED PRELIMINARY PLAT SHEET NUMBER: 21-0297
LANDS DISCLOSED IN OWNER: LEWIS SHEREE WILSON (TAX PARCELS 1000000000 4.927 ACRES)	
FL PE No. 84295 SHEET NO.: 4	

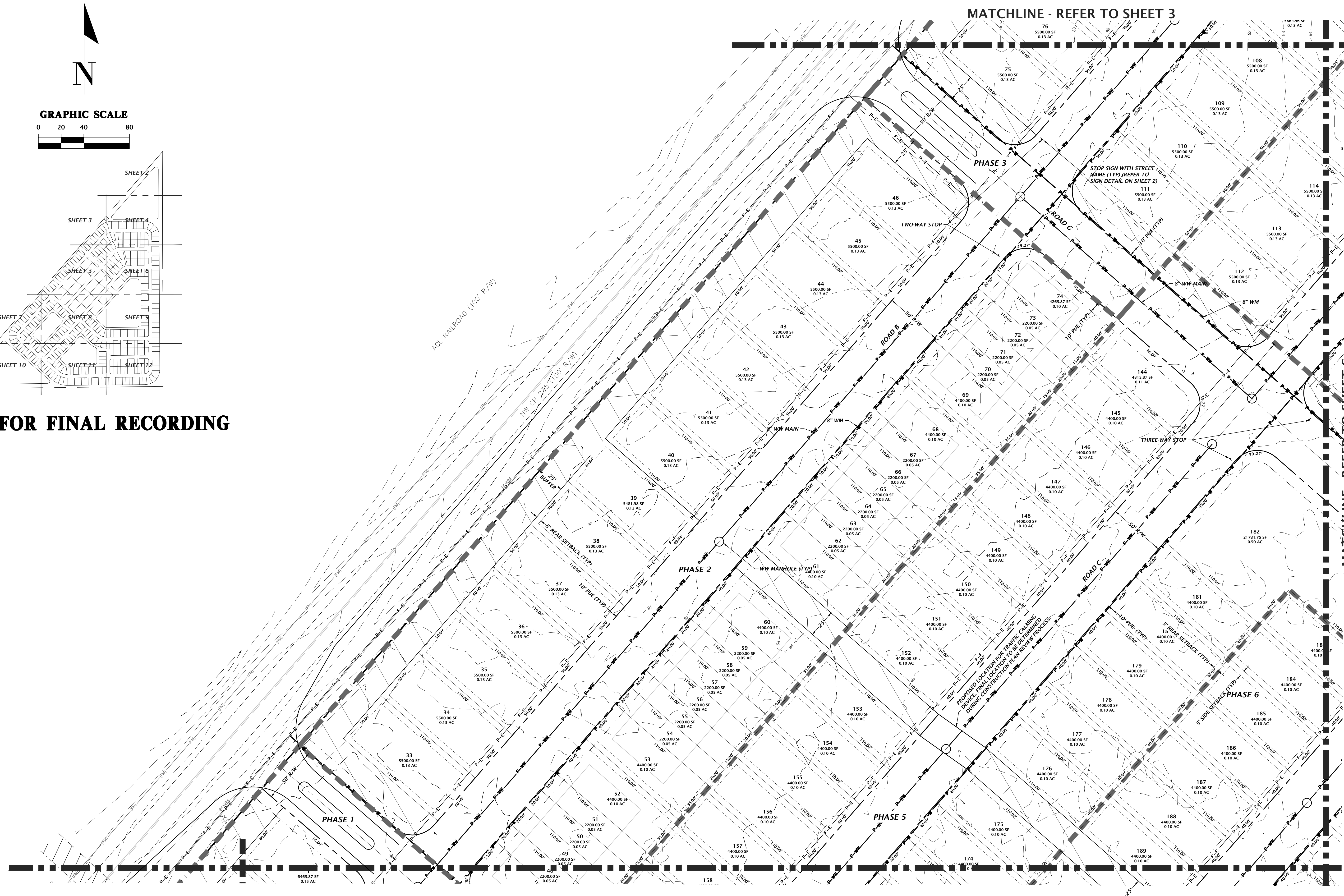


MATCHLINE - REFER TO SHEET 3

MATCHLINE - REFER TO SHEET 6

NOT FOR FINAL RECORDING

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Tech: ThomasC Plot Date: Oct 21, 2023 1:22:26m



MATCHLINE - REFER TO SHEET 7

MATCHLINE - REFER TO SHEET 8

14801 Research Drive
Alachua, Florida 32615
(352) 333-1976
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NV5

SCALE: 1"=40'
VERIFY ALL DIMENSIONS ON ORIGINAL DRAWING
0 = AS SHOWN ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

CONSTRUCTION PROVISIONS

5/31/2022 - PRELIMINARY PLAT FIRST SUBMITTAL
6/8/2022 - PRELIMINARY PLAT RESUBMITTAL
XX/XX/2025 - PRELIMINARY PLAT UPDATE

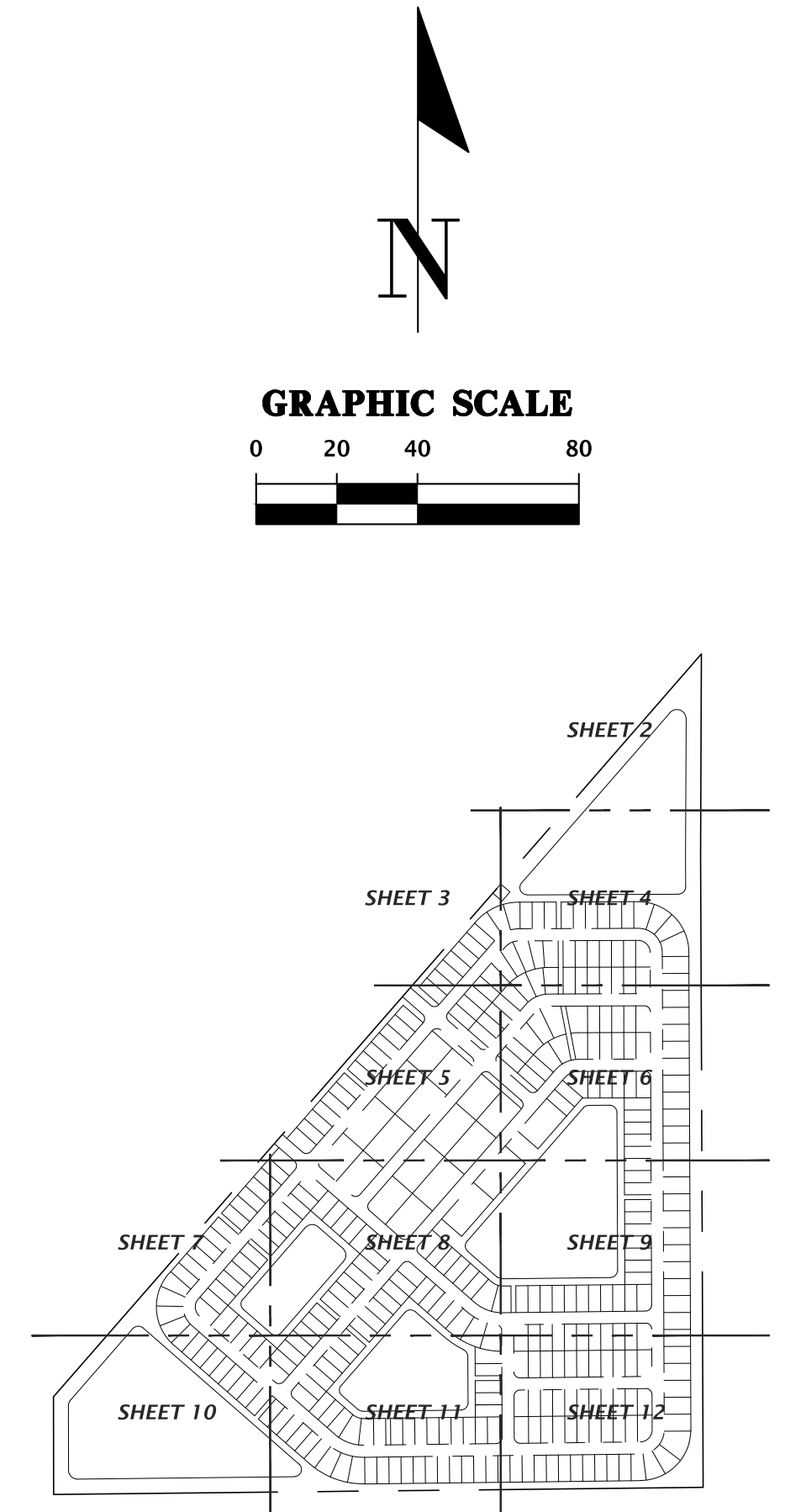
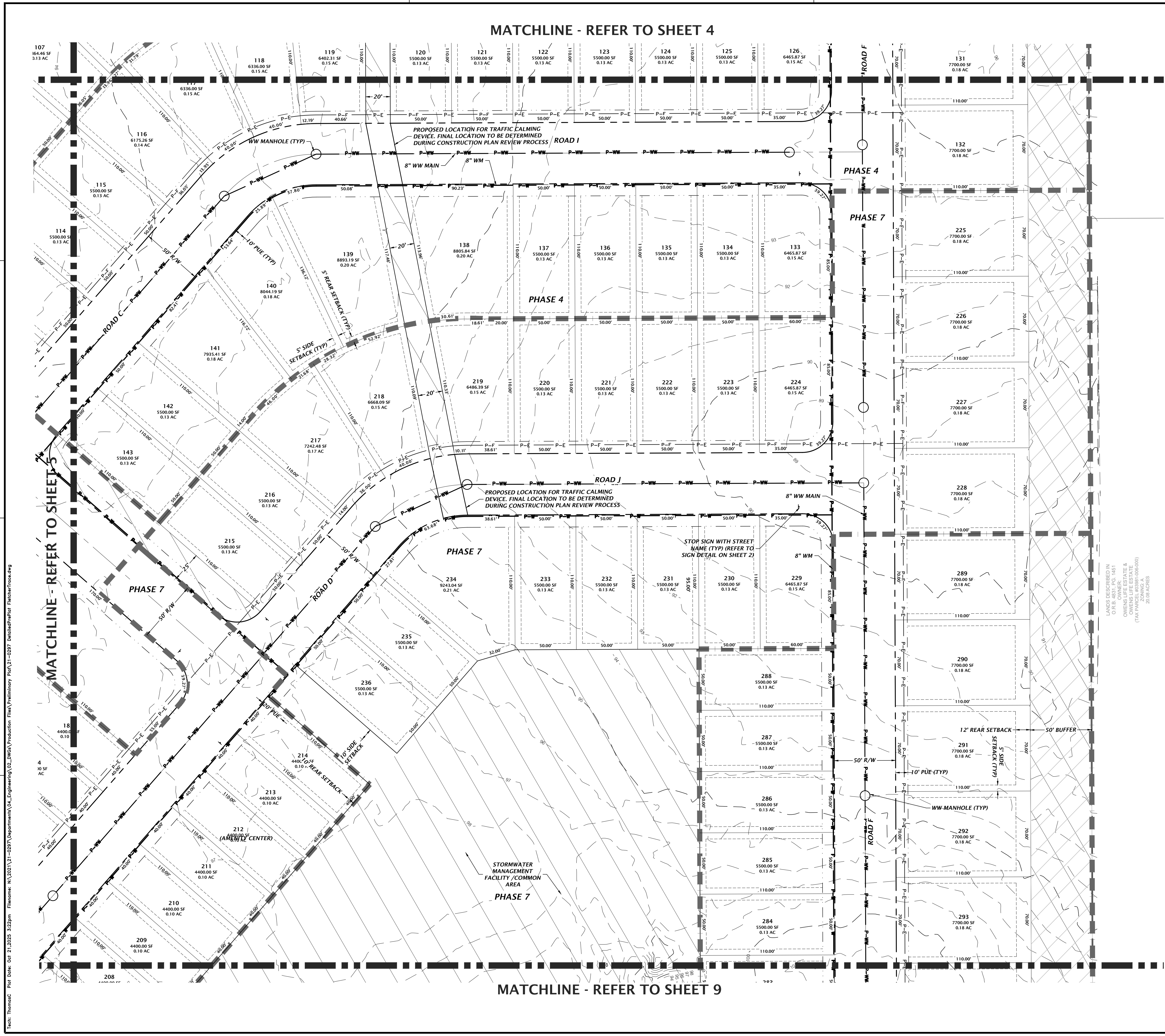
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PROJECT: FLETCHER TRACE SUBDIVISION
SHEET TITLE: PRELIMINARY PLAT
SHEET NUMBER: 21-0297

DESIGNER: K. MERRITT
CHECKER: N. COWAP
QUALITY CONTROL: T. HASTAY
PROJECT NUMBER: 21-0297

TRAVIS J. HASTAY

FL PE No. 84295

SHEET NO. 5



NOT FOR FINAL RECORDING

Tech: Thomas; Plot Date: Oct 21, 2023 3:22pm; Filename: \\N:\2023\1-0297\Department\04_Engineering\02_DWG\Production\Task\Preliminary\Plot\31-0297_Detail\PrePlot_PlotSheet.dwg

14801 Research Drive
 Alachua, Florida 32615
 (352) 333-1976
 www.nv5.com

NIV5

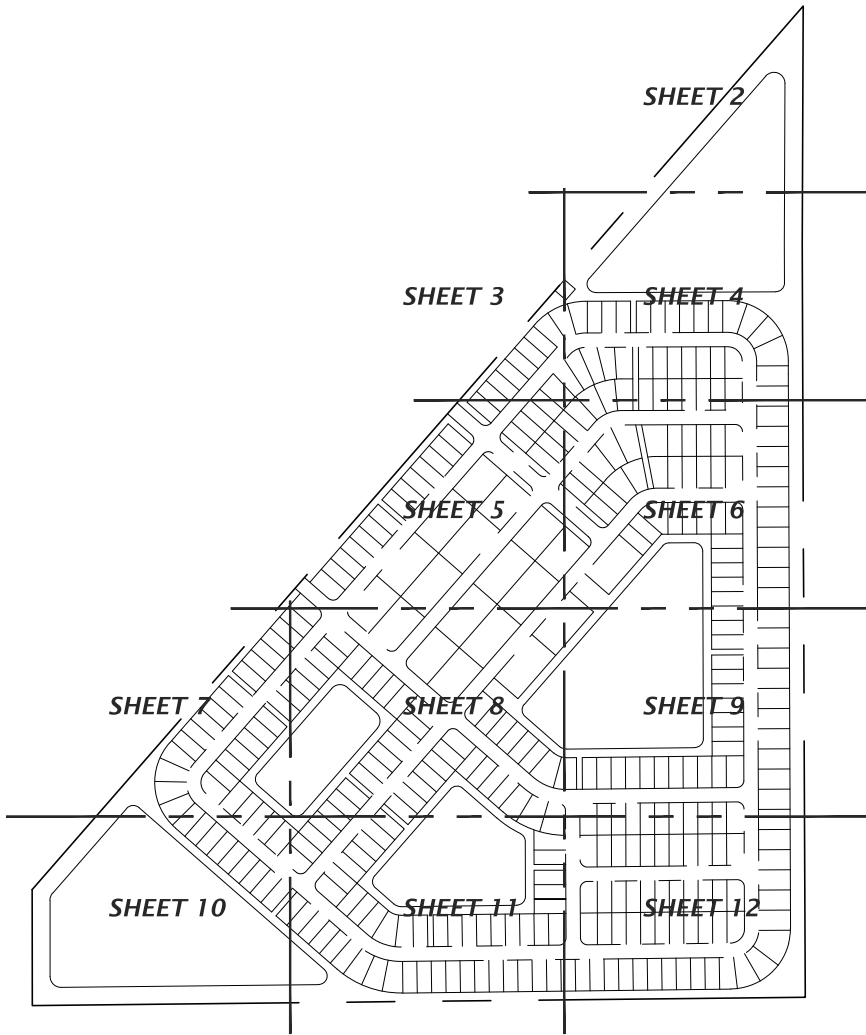
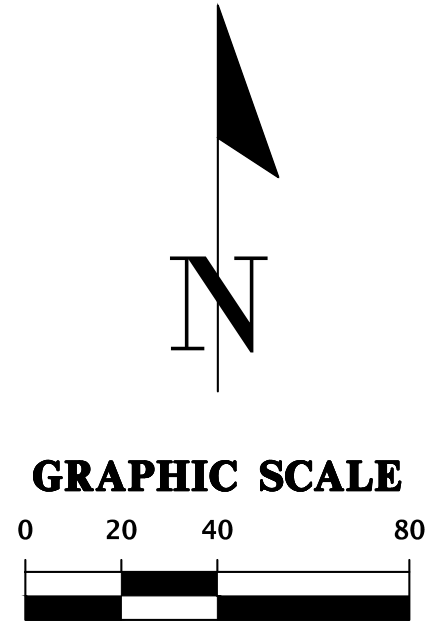
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CONSTRUCTION PHASES

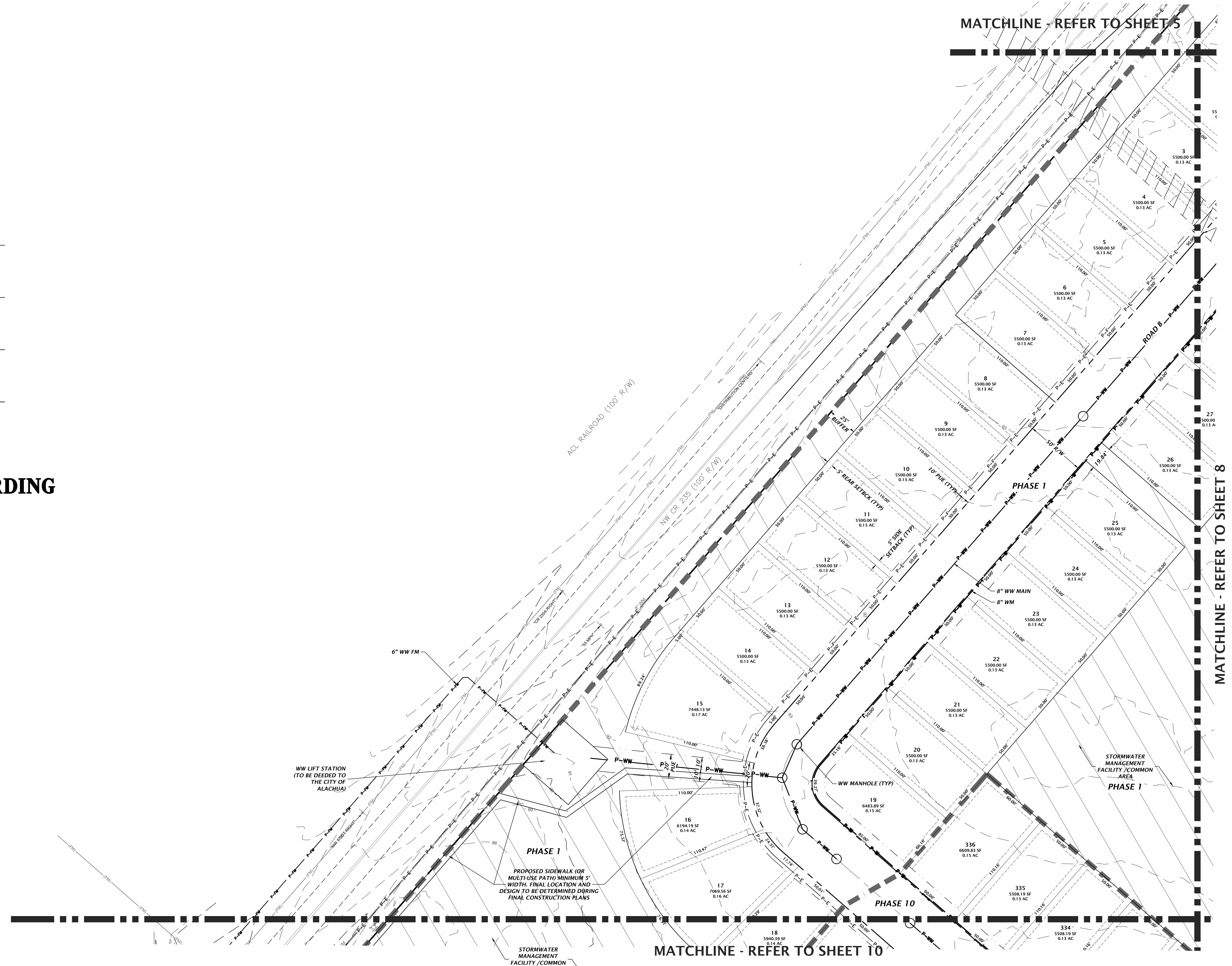
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 6/8/2022 - PRELIMINARY PLAT RESUBMITTAL
 8/24/2022 - PRELIMINARY PLAT UPDATE
 10/24/2022 - PRELIMINARY PLAT UPDATE

CLIENT:	FLETCHER DEVELOPMENT
DESIGNER:	K. MERRITT
PROJECT:	FLETCHER TRACE SUBDIVISION
QUALITY CONTROL:	N. COWAP
PROJECT NUMBER:	21-0297
SHEET TITLE:	DETAILED PRELIMINARY PLAT
DATE:	T. HASTAY

FL PE No. 84295
6



NOT FOR FINAL RECORDING



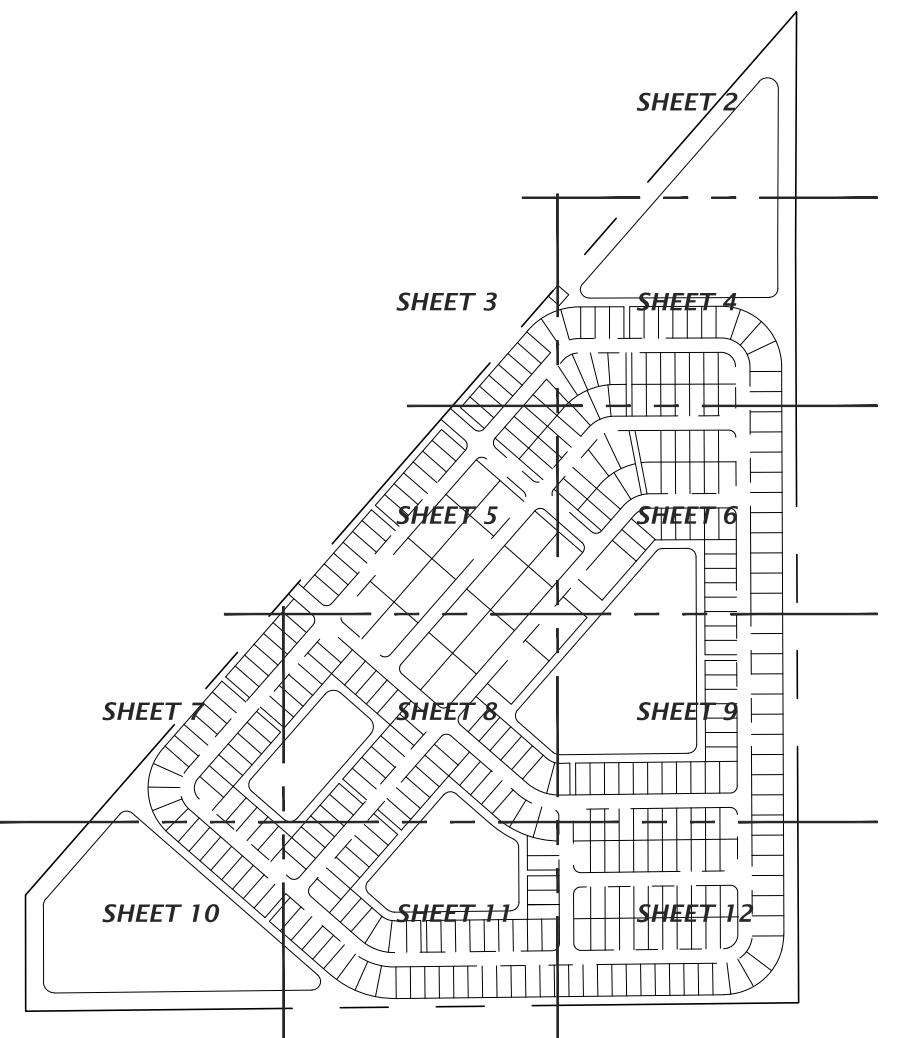
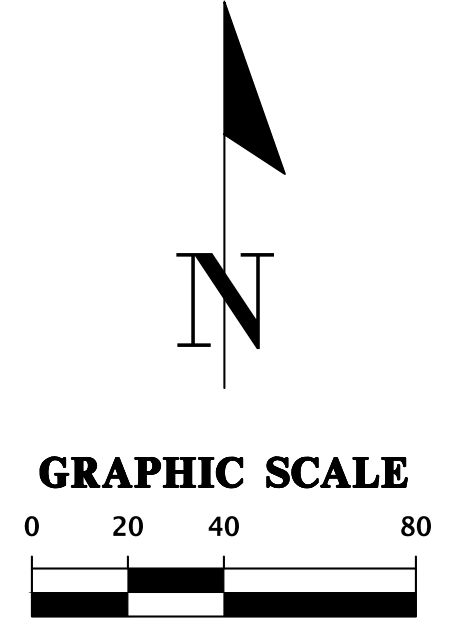
MATCHLINE - REFER TO SHEET 5

MATCHLINE - REFER TO SHEET 8

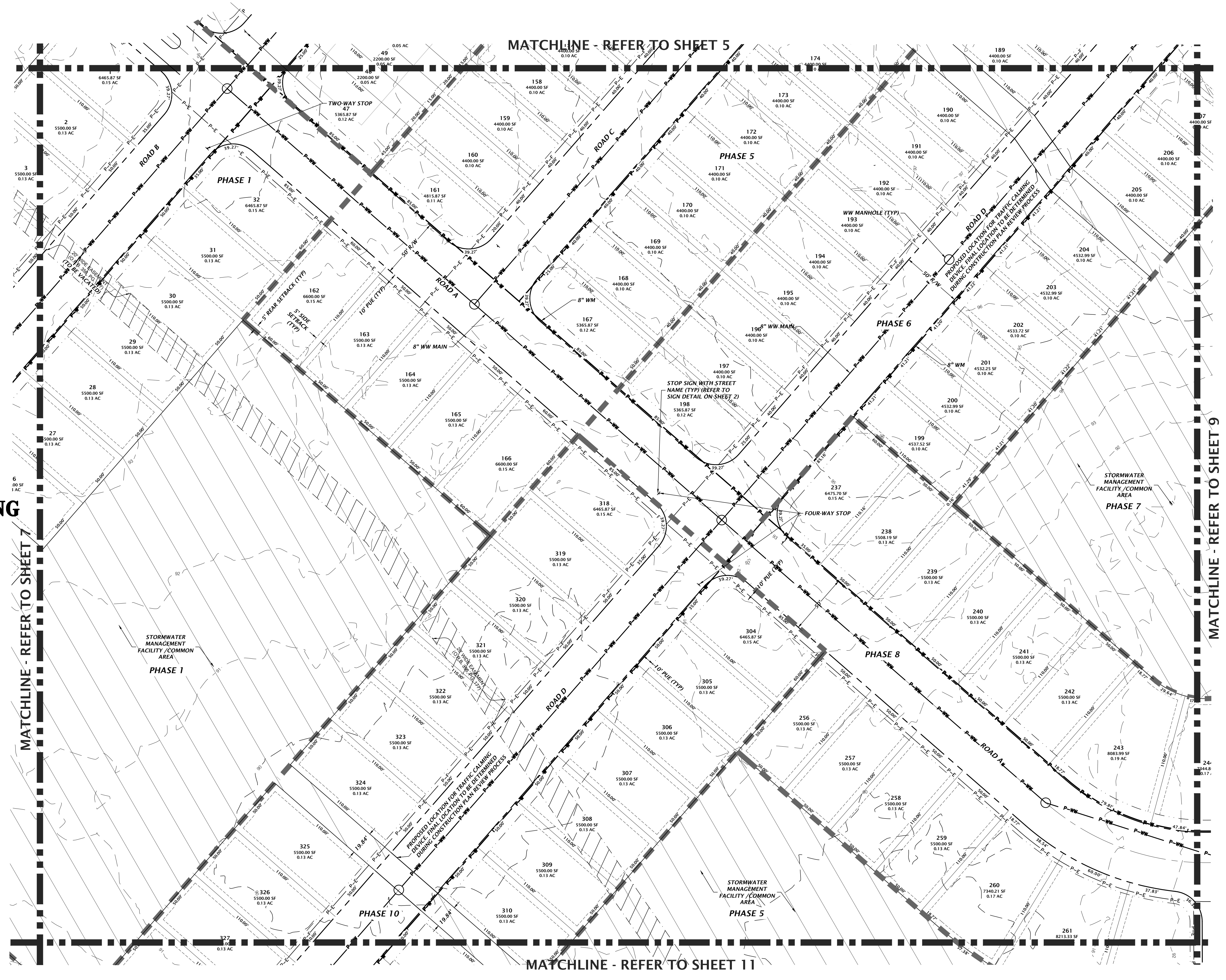
MATCHLINE - REFER TO SHEET 10

Tech: ThomasC Plot Date: Oct 21 2023 10:23pm File: \\s021\31-0297\Department\04_Engineering\02_DWG\Production Files\Preliminary Plat\31-0297 - Detailed\PrePlot - Fletch\Fletch.dwg

14801 Research Drive Alachua, Florida 32815 (352)331-1976 www.nv5.com	
NV5	
SCALE: 1"=40' VERIFY ALL DIMENSIONS ON ORIGINAL DRAWING 0 = MEASURE THESE DIMENSIONS FROM THIS SHEET, ADJUST SCALES ACCORDINGLY.	
CONSTRUCTION PROVISIONS	
SUBMITTALS: 5/31/2022 - PRELIMINARY PLAT FIRST SUBMITTAL 6/8/2022 - PRELIMINARY PLAT RESUBMITTAL 8/24/2022 - PRELIMINARY PLAT RESUBMITTAL 10/24/2022 - PRELIMINARY PLAT UPDATE	
CLIENT: FLETCHER DEVELOPMENT	PROJECT: FLETCHER TRACE SUBDIVISION PRELIMINARY PLAT
DESIGNER: K. MERRITT CHECKER: N. COWAP QUALITY CONTROL: T. HASTAY	SHEET TITLE: DETAILED PRELIMINARY PLAT PROJECT NUMBER: 21-0297
CLIENT: TRAVIS J. HASTAY	
FL PE No. 84295 SHEET NO.: 7	

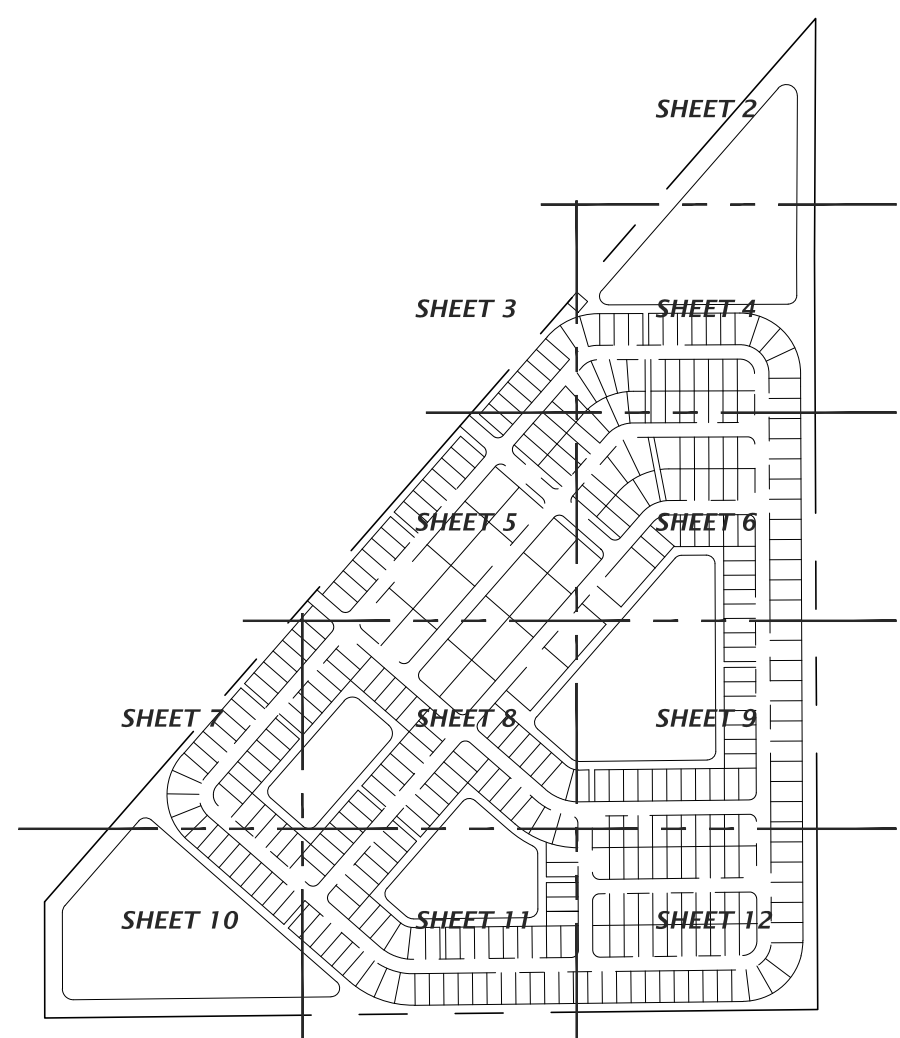
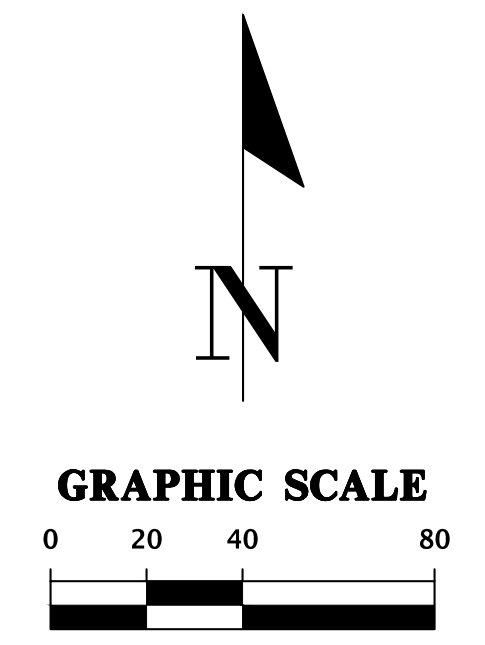
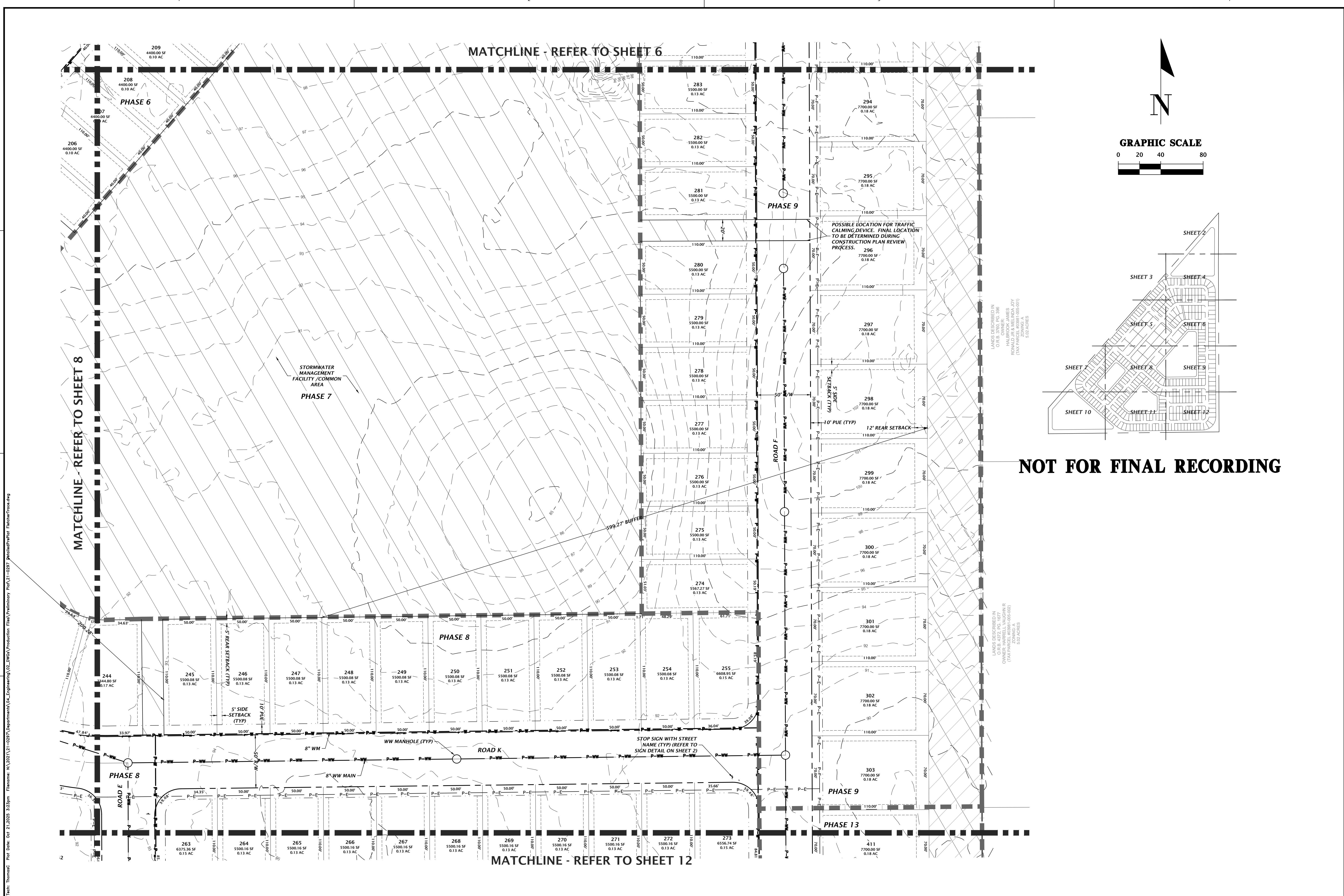


NOT FOR FINAL RECORDING



14801 Research Drive Alachua, Florida 32615 (352) 331-1976 www.nv5.com	
<h1>NV5</h1>	
SCALE: 1"=40' VERIFY ALL DIMENSIONS ON ORIGINAL DRAWING 0 = UNLESS OTHERWISE NOTED THIS SHEET ADJUST SCALES ACCORDINGLY.	CONSTRUCTION PROVISIONS
5/31/2022 - PRELIMINARY PLAT FIRST SUBMITTAL 6/8/2022 - PRELIMINARY PLAT RESUBMITTAL 8/24/2022 - PRELIMINARY PLAT RESUBMITTAL 10/24/2022 - PRELIMINARY PLAT UPDATE	CLIENT: FLETCHER DEVELOPMENT PROJECT: FLETCHER TRACE SUBDIVISION SHEET TITLE: PRELIMINARY PLAT PROJECT NUMBER: 21-0297
DESIGNER: K. MERRITT CHECKER: N. COWAP QUALITY CONTROL: T. HASTAY PROJECT NUMBER: 21-0297	SHEET NO.: 8

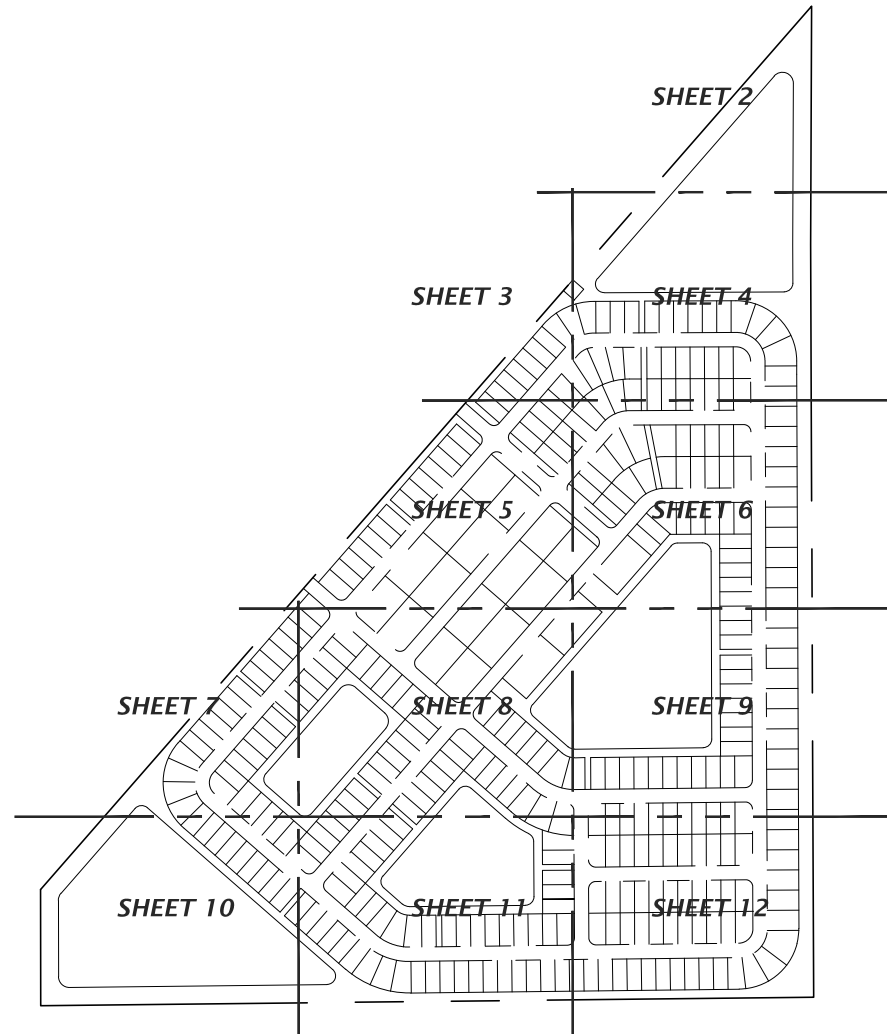
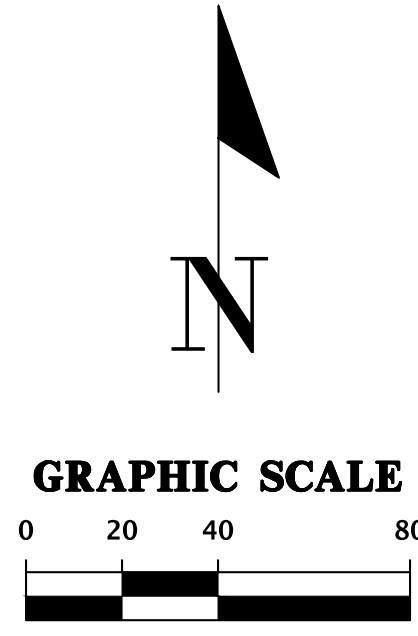
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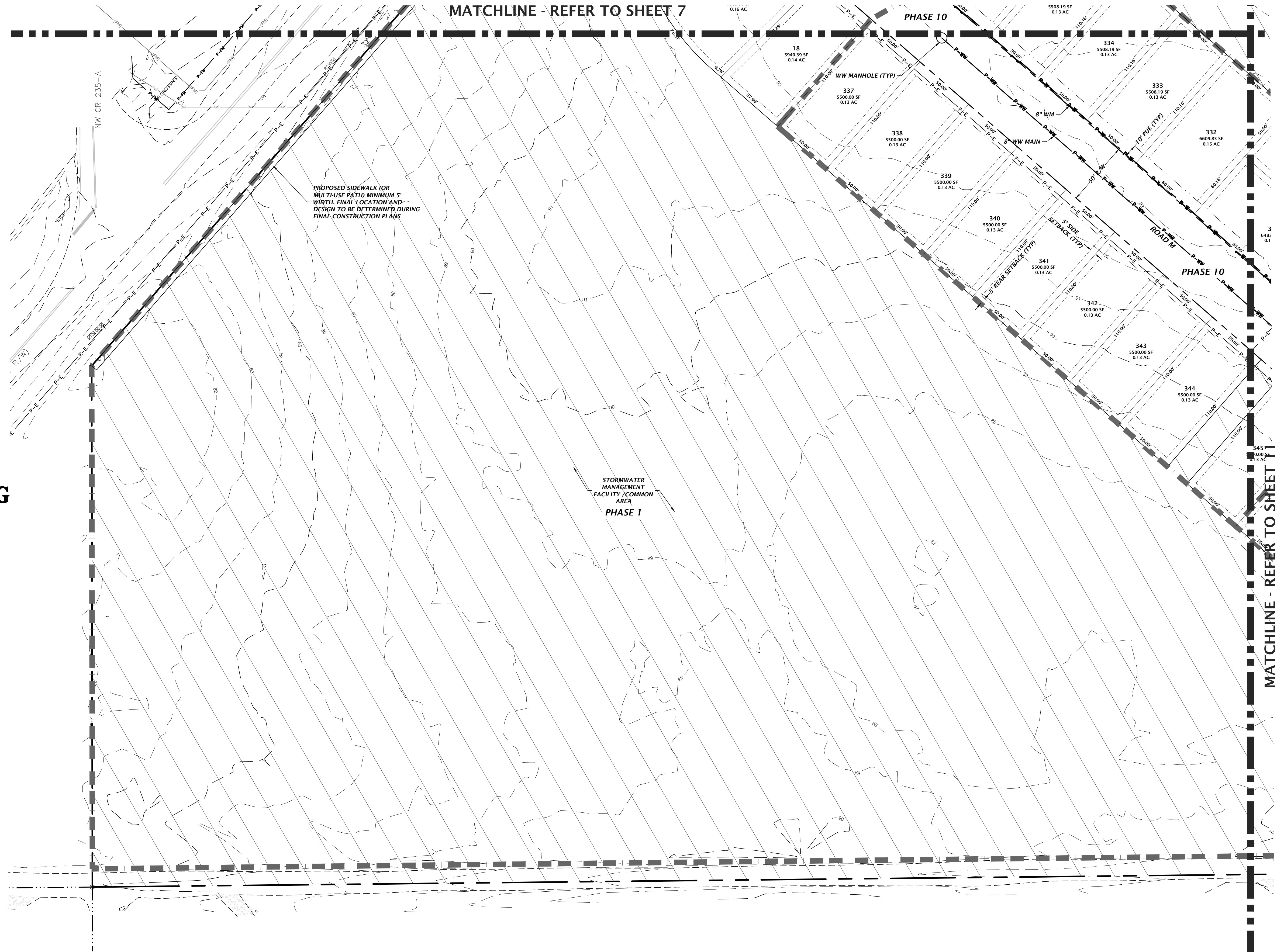
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<h1 style="margin: 0;">NIV5</h1>		14801 Research Drive Alachua, Florida 32615 (352) 333-1976 www.niv5.com	
SCALE: 1"=40' VERIFY ALL DIMENSIONS ON ORIGINAL DRAWING 0"=0' (AS SHOWN) THIS SHEET ADJUST SCALES ACCORDINGLY.		CONSTRUCTION PERSONNEL	
SUBMITTALS: 5/31/2022 - PRELIMINARY PLAT FIRST SUBMITTAL 6/8/2022 - PRELIMINARY PLAT RESUBMITTAL 8/18/2022 - PRELIMINARY PLAT RESUBMITTAL XX/XX/2022 - PRELIMINARY PLAT UPDATE		CLIENT: FLETCHER DEVELOPMENT FLETCHER TRACE SUBDIVISION PRELIMINARY PLAT SHEET TITLE: DETAILED PRELIMINARY PLAT	
DESIGNER: K. MERRITT N. COWAP T. HASTAY		PROJECT NUMBER: 21-0297	
CHECKED: TRAVIS J. HASTAY		FL PE No. 84295 SHEET NO.: 9	

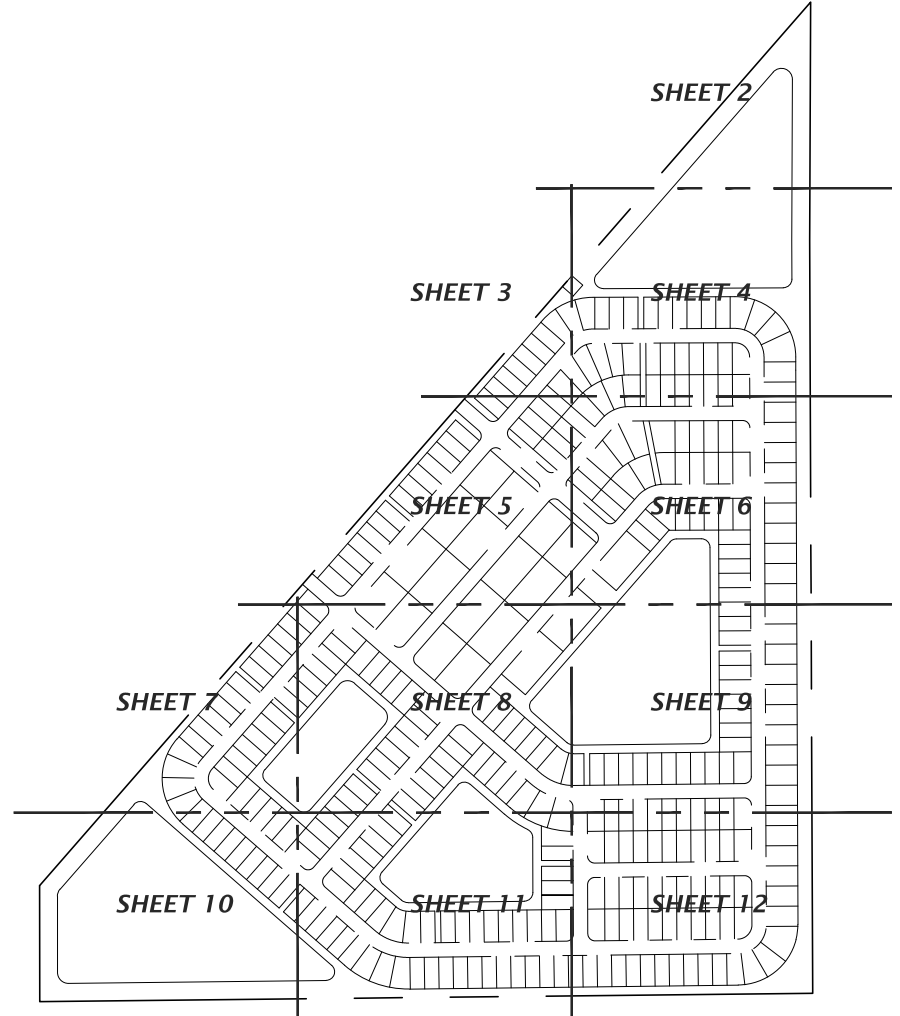
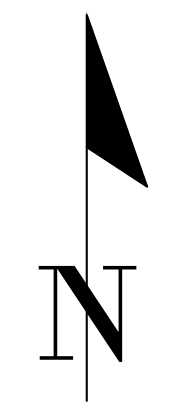
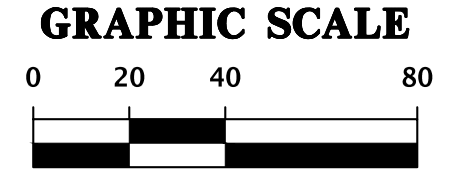


NOT FOR FINAL RECORDING

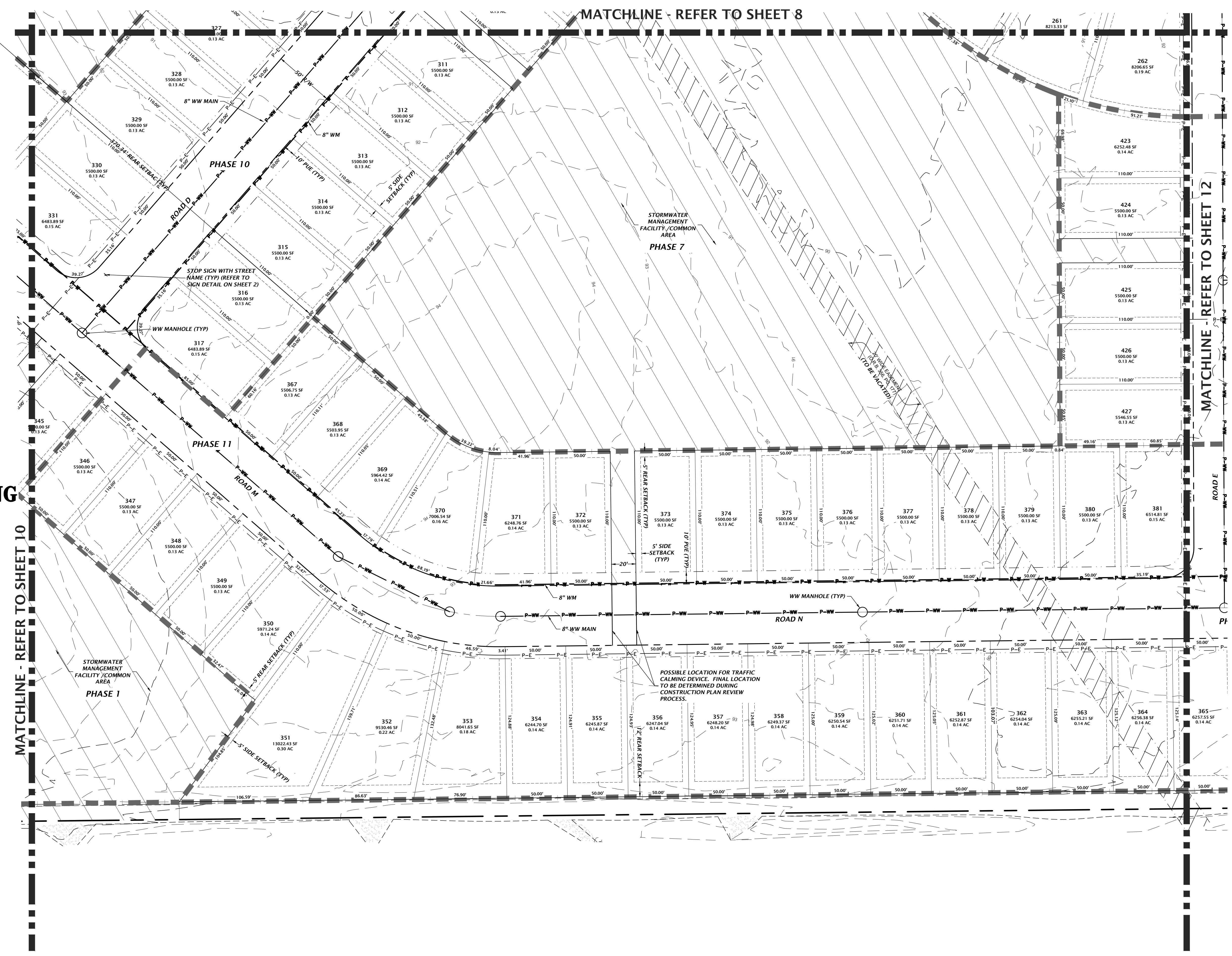


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		14801 Research Drive Alachua, Florida 32615 (352) 331-1976 www.niv5.com	
SCALE:	1"=40'	VERIFY ALL DIMENSIONS AND LOCATIONS ON ORIGINAL DRAWING. DIMENSIONS TAKE PRECEDENCE OVER THIS SHEET. ADJUST SCALES ACCORDINGLY.	
CONSTRUCTION REVISIONS			
DATE:	5/31/2022 - PRELIMINARY PLAT FIRST SUBMITTAL	CLIENT: FLETCHER DEVELOPMENT PROJECT: FLETCHER TRACE SUBDIVISION SHEET TITLE: DETAILED PRELIMINARY PLAT	
DATE:	6/8/2022 - PRELIMINARY PLAT RESUBMITTAL		
DATE:	XX/XX/2025 - PRELIMINARY PLAT UPDATE		
DATE:			
DESIGNER:	K. MERRITT	PROJECT NUMBER:	21-0297
CHECKER:	N. COWAP	PROJECT TITLE:	
QUALITY CONTROL:	T. HASTAY		
TRAVIS J. HASTAY		FL PE No. 84295 SHEET NO. 10	

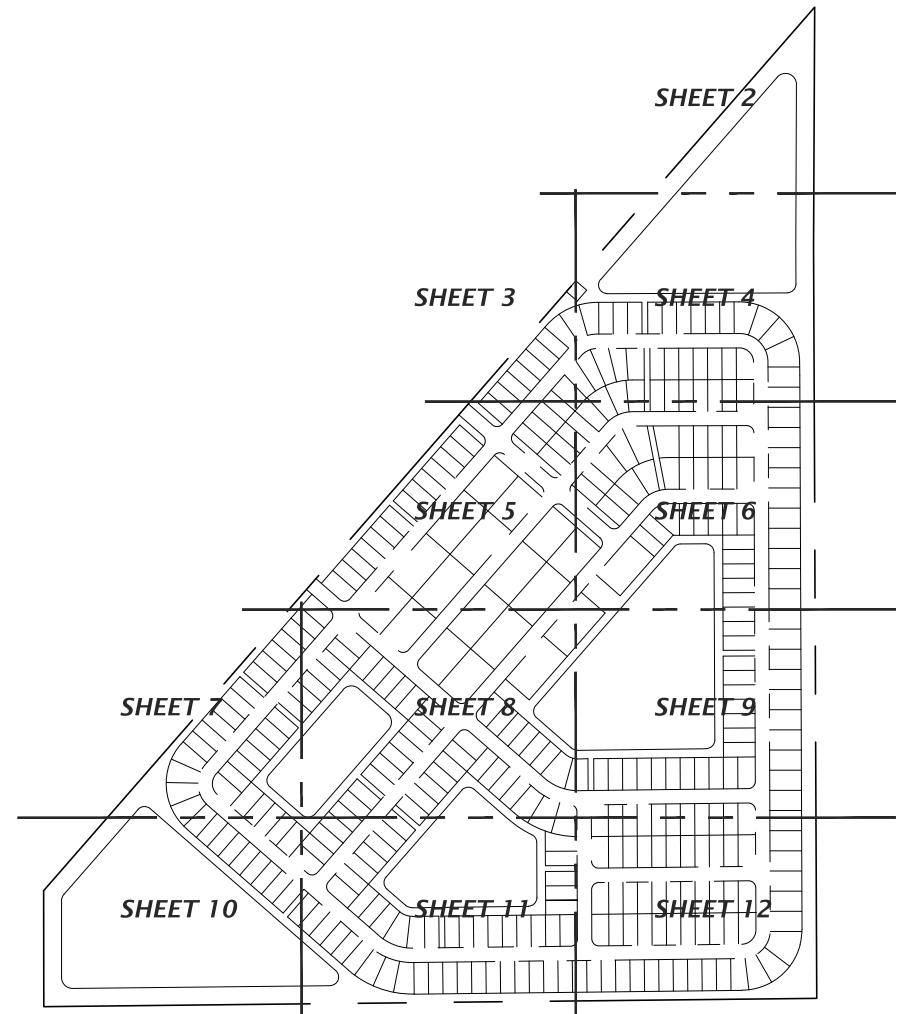
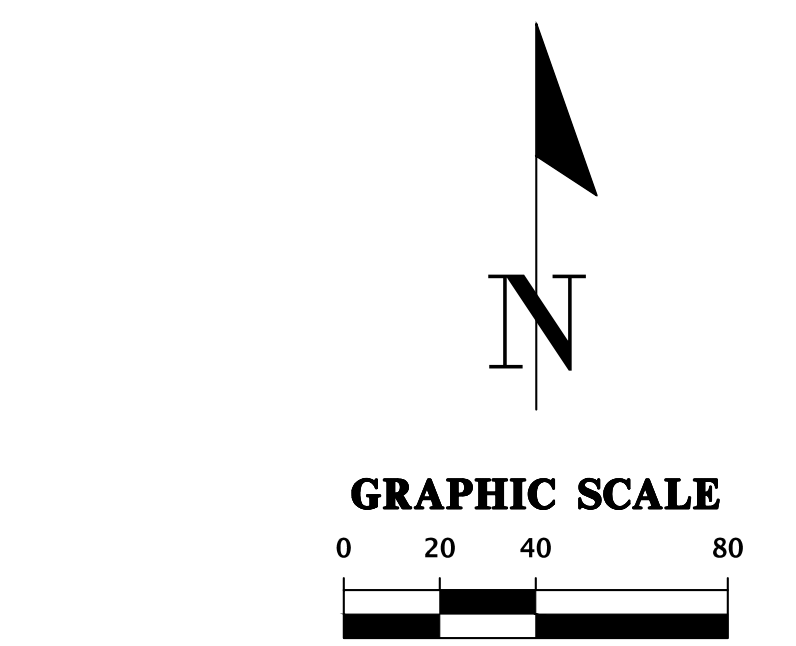
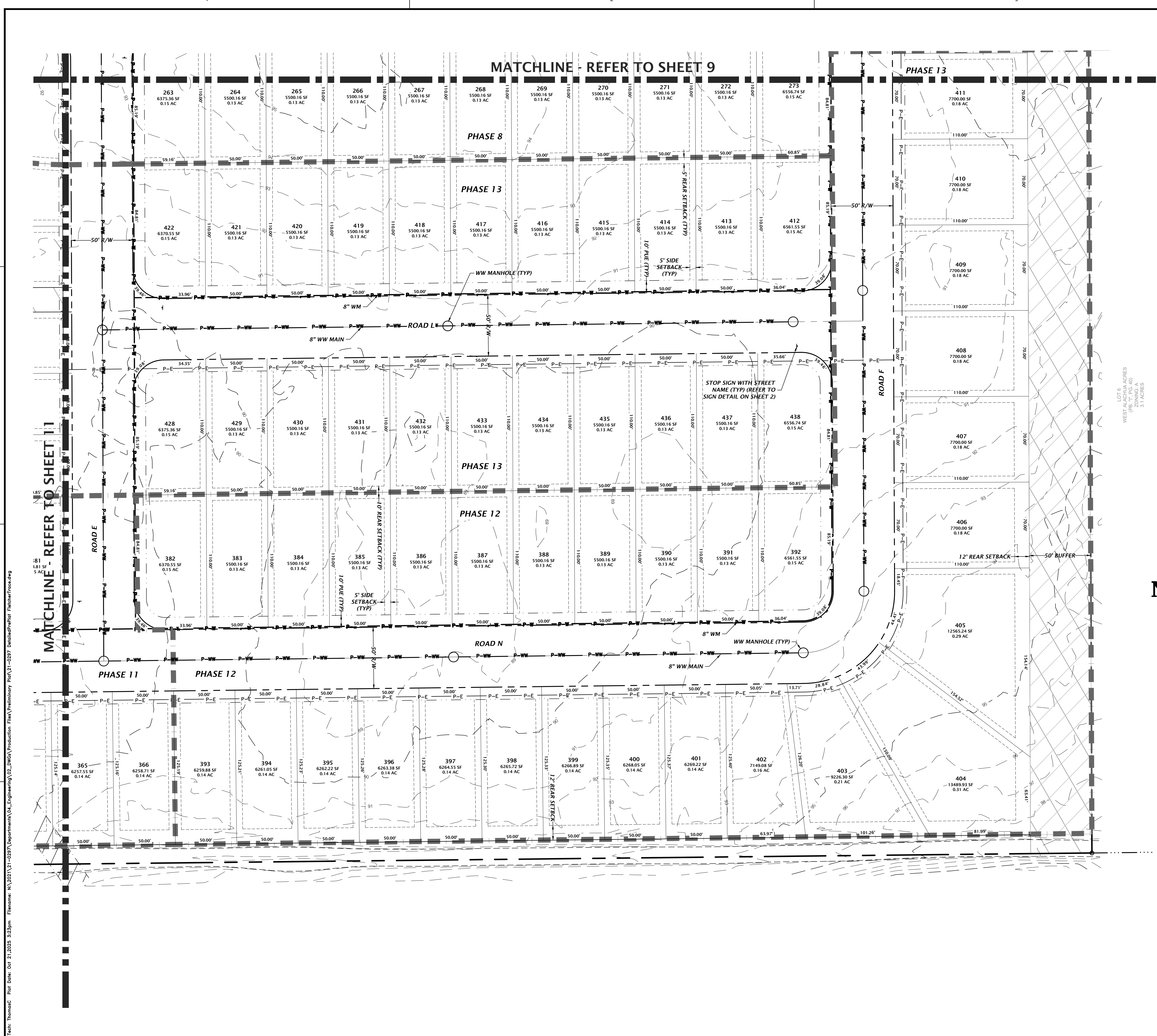


NOT FOR FINAL RECORDING



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14801 Research Drive Alachua, Florida 32615 (352)331-1976 www.nv5.com	
NV5	
VERIFY ALL DIMENSIONS AND NOTES ON ORIGINAL DRAWING. THIS SHEET ADJUST SCALES ACCORDINGLY.	
SCALE: 1"=40'	
CONSTRUCTION PROVISIONS	
5/31/2022 - PRELIMINARY PLAT FIRST SUBMITTAL 6/8/2022 - PRELIMINARY PLAT RESUBMITTAL 8/24/2022 - PRELIMINARY PLAT UPDATE 10/24/2022 - PRELIMINARY PLAT UPDATE	
CLIENT: FLETCHER DEVELOPMENT ARCHITECT: K. MERRITT ENGINEER: N. COWAP QUALITY CONTROL: T. HASTAY PROJECT NUMBER: 21-0297	PROJECT: FLETCHER TRACE SUBDIVISION SHEET TITLE: PRELIMINARY PLAT DETAILED PRELIMINARY PLAT
FL PE No. 84295 SHEET NO. 11	



NOT FOR FINAL RECORDING

Tech: ThomasC Post Date: Oct 21, 2023 3:23pm Filename: W:\2021\31-0297\Department\04_Engineering\02_DWG_Production\Task\Preliminary\Plan\31-0297_Detail\PrePlan_PlotSheet.dwg

14801 Research Drive Alachua, Florida 32615 (352) 333-1976 www.nv5.com	
NV5	
SCALE: 1"=40' VERIFY ALL DIMENSIONS ON ORIGINAL DRAWING 0 = MEASURE THESE DIMENSIONS ON THIS SHEET, ADJUST SCALES ACCORDINGLY.	CONSTRUCTION PERSONNEL DATE: 5/31/2022 - PRELIMINARY PLAT FIRST SUBMITTAL 6/8/2022 - PRELIMINARY PLAT RESUBMITTAL XX/XX/2025 - PRELIMINARY PLAT UPDATE
CLIENT: FLETCHER DEVELOPMENT PROJECT: FLETCHER TRACE SUBDIVISION SHEET TITLE: PRELIMINARY PLAT	PROJECT NUMBER: 21-0297 SHEET NUMBER: 12
FL PE No. 84295 SHEET NO. 12	

BOUNDARY & TOPOGRAPHIC SURVEY

LOCATED IN SECTION 28, TOWNSHIP 8 SOUTH, RANGE 18 EAST, CITY OF ALACHUA, ALACHUA COUNTY, FLORIDA

LEGAL DESCRIPTION: (OFFICIAL RECORDS BOOK 2140, PAGE 1834)

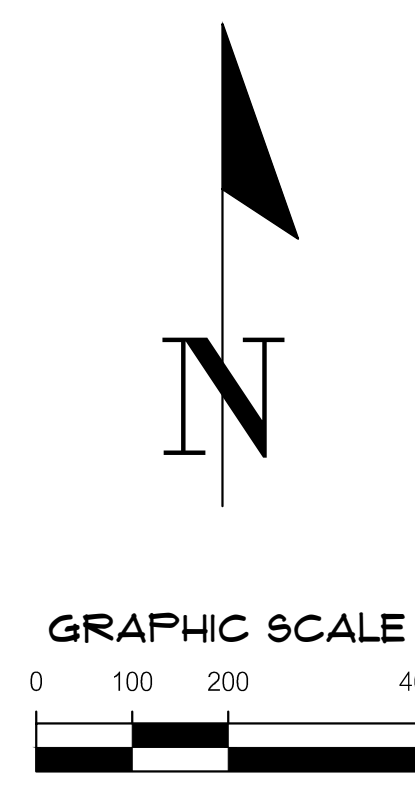
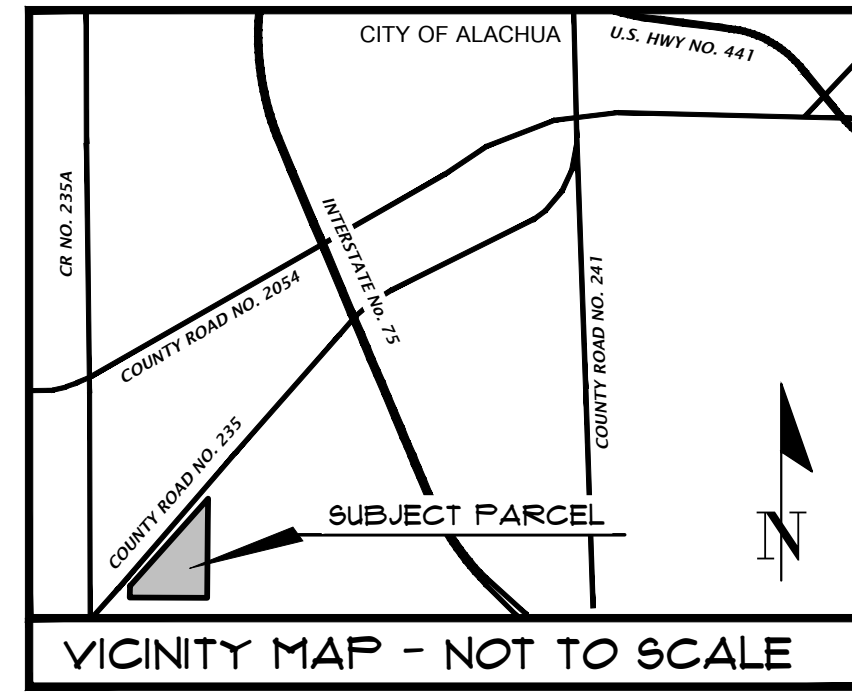
A TRACT OF LAND SITUATED IN SECTION 28, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT AN IRON PIPE AT THE SOUTHWEST CORNER OF THE AFOREMENTIONED SECTION 28, TOWNSHIP 8 SOUTH, RANGE 18 EAST FOR THE POINT OF BEGINNING AND RUN N 0° 42' 43" E, ALONG THE WEST LINE OF SAID SECTION, A DISTANCE OF 402.89 FEET TO THE SOUTHEASTLY RIGHT OF WAY LINE OF COUNTY ROAD NO. 235 (100 FOOT RIGHT OF WAY); THENCE RUN N 41° 53' 43" E, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 407.41 FEET TO A CONCRETE MONUMENT; THENCE RUN S 01° 01' 49" W, A DISTANCE OF 827.97 FEET TO A CONCRETE MONUMENT AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 28; THENCE RUN S 0° 03' 24" W, ALONG THE WEST LINE OF SAID SECTION 1/4, A DISTANCE OF 2612.87 FEET TO AN IRON PIPE AT THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 28; THENCE RUN N 89° 50' 54" W, ALONG THE SOUTH LINE OF SAID SECTION 28, A DISTANCE OF 2684.07 FEET TO THE POINT OF BEGINNING, CONTAINING 118.191 ACRES, MORE OR LESS.

SUBJECT TO MAINTAINED RIGHT OF WAY OF COUNTY ROAD N.W. 110TH AVENUE (FORMERLY KNOWN AS COUNTY ROAD NO. N.W. 28) ALONG THE SOUTH BOUNDARY THEREOF

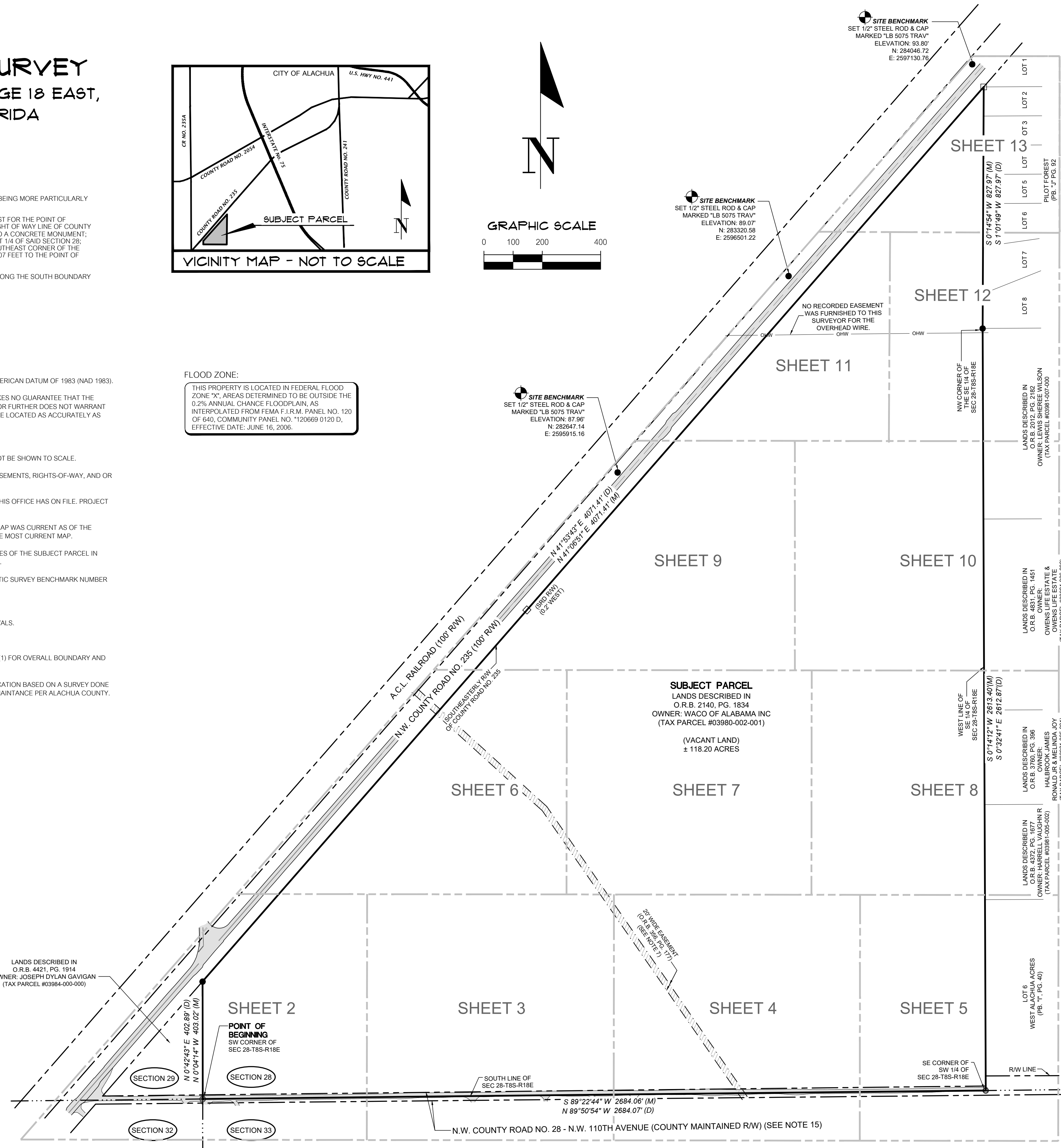
SURVEYORS NOTES:

- HORIZONTAL DATUM SHOWN HEREON IS DERIVED FROM THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 1983).
- NO UNDERGROUND INSTALLATION OF UTILITIES OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
- FENCING, SYMBOLS AND MONUMENTATION SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND MAY NOT BE SHOWN TO SCALE.
- THIS SURVEY WAS PRODUCED WITHOUT THE BENEFITS OF FURNISHED TITLE WORK. NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED TO THE SURVEYOR, AND NO SEARCH OF THE PUBLIC RECORDS HAS BEEN DONE BY THE SURVEYOR.
- THE 20' EASEMENT SHOWN HEREON IS AN APPROXIMATE LOCATION. THE LOCATION IS BASED ON A SURVEY DONE BY ACLS THAT THIS OFFICE HAS ON FILE. PROJECT NUMBER 97-362, DATED 9-25-1997.
- INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY, (F.E.M.A.) FLOOD INSURANCE RATE MAP(S), SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
- IN THE OPINION OF THIS SURVEYOR, THE PERIMETER LINES AS SHOWN HEREON REPRESENT THE LOCATION OF THE BOUNDARY LINES OF THE SUBJECT PARCEL IN RELATION TO THE DESCRIPTION OF RECORD AND THOSE EXISTING LAND CORNERS FOUND TO BE ACCEPTABLE BY THIS SURVEYOR.
- VERTICAL DATUM BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). BENCHMARK USED WAS A NATIONAL GEODETIC SURVEY BENCHMARK NUMBER 17516, WITH A PUBLISHED ELEVATION OF 160.03 FEET (NAVD 88)
- ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE NODE* LAYER IN THE SUPPLIED DIGITAL FILE.
- TOPOGRAPHIC INFORMATION SHOWN HEREON BASED ON GROUND SURVEY. CONTOURS SHOWN HEREON REFLECT 1-FOOT INTERVALS.
- ONLY TREES 3" IN DIAMETER OR GREATER (MEASURED AT CHEST HEIGHT) ARE SHOWN HEREON.
- THIS SURVEY CONSISTS OF THIRTEEN (13) SHEETS IN TOTAL. EACH SHEET IS INCOMPLETE WITHOUT THE OTHERS. SEE SHEET ONE (1) FOR OVERALL BOUNDARY AND ADJOINING INFORMATION. SEE SHEETS TWO (2) THROUGH THIRTEEN (13) FOR DETAILED TOPOGRAPHIC INFORMATION.
- THE MAINTAINED RIGHT OF WAY LINE FOR COUNTY ROAD NO. 28 (NW 110TH AVENUE) IS SHOWN HEREON AS AN APPROXIMATE LOCATION BASED ON A SURVEY DONE BY ACLS THAT THIS OFFICE HAS ON FILE. PROJECT NUMBER 97-362, DATED 9-25-1997. THERE IS NO RECORDED RIGHT OF WAY BY MAINTANCE PER ALACHUA COUNTY.



FLOOD ZONE:
THIS PROPERTY IS LOCATED IN FEDERAL FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS INTERPOLATED FROM FEMA F.I.R.M. PANEL NO. 120 OF 640, COMMUNITY PANEL NO. 120669 0120 D, EFFECTIVE DATE: JUNE 16, 2006.

- LEGEND:**
- (D) = DATA BASED ON FURNISHED DESCRIPTION
 - (M) = DATA BASED ON FIELD MEASUREMENTS
 - FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY
 - F.I.R.M. = FLOOD INSURANCE RATE MAP
 - S.F. = SQUARE FEET
 - RW = RIGHT OF WAY
 - ID. = IDENTIFICATION
 - O.R.B. = OFFICIAL RECORDS BOOK
 - P.B. = PLAT BOOK
 - PG. = PAGE
 - LO = LIVE OAK
 - LAO = LAUREL OAK
 - RO = RED OAK
 - MAPLE = MAPLE TREE
 - ELM = ELM TREE
 - CHRY = CHERRY TREE
 - HACK = HACKBERRY TREE
 - WO = WATER OAK TREE
 - BAY = BAY LEAF TREE
 - GUM = GUM TREE
 - MM = MIMOSA TREE
 - = SET 5/8" STEEL ROD & CAP (LB 5075)
 - = FOUND 5/8" STEEL ROD & CAP (NOTED)
 - = FOUND 4"x4" CONCRETE MONUMENT (NOTED)
 - = FOUND 1/2" IRON PIPE (NO ID.)
 - = FOUND 1/2" IRON ROD (NO ID.)
 - = CABLE TELEVISION BOX
 - = ELECTRIC BOX
 - = FIRE HYDRANT
 - = GUY ANCHOR
 - = SIGN
 - = TREE (SIZE AND TYPE AS NOTED)
 - = TELEPHONE PEDESTAL
 - = WOODEN POWER POLE
 - = WATER VALVE
 - = FIBER OPTIC LINE MARKER
 - = MAILBOX
 - = WOODEN POWER POLE
 - = BENCHMARK
 - X 85.5 = SPOT ELEVATION (PERSISTENT)
 - X 85.45 = SPOT ELEVATION (IMPERVIOUS)
 - = ASPHALT SURFACE
 - = DIRT / LIMEROCK SURFACE



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Alachua, Florida 32015
(352) 351-1976
www.chw-inc.com
est. 1988 FLORIDA CA-5075

CHW
Professional Consultants

1" = 200'
SCALE
REVISIONS SHALL BE MADE ON ORIGINAL DRAWING
0. ANY CHANGES TO THIS SHEET, ADJUST SCALES ACCORDINGLY.

REVISION 2-4-2025: UPDATED CERTIFICATIONS
REVISION 1-15-2025: UPDATED CERTIFICATIONS
REVISION 10-21-2021: UPDATED CERTIFICATIONS, UPDATED LEGEND, ADDED NOTE 15, UPDATED BENCHMARKS, ADDED OVERHEADWIRE

CERTIFIED BY: CHAD A. COLSON
DATE: 10/21/2021

SURVEY DATE: 10/21/2021
REVISION DATE: 2-4-2025

PROJECT NO: 21-0297
FIELD BOOK & PG: 617/75

CHAD A. COLSON
Professional Surveyor & Mapper
Florida License No. 7142

This map prepared by:
Certificate of Authorization No. LB 5075
NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR ELECTRONIC DIGITAL SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER

SHEET NO: 1 OF 13

Tech: chds File Date: Feb 04, 2025 5:12pm Filename: N:\2021\21-0297\Unpermith\01_Survey\DWG\21-0297_BOUNDAUT_TPO.dwg

BOUNDARY & TOPOGRAPHIC SURVEY

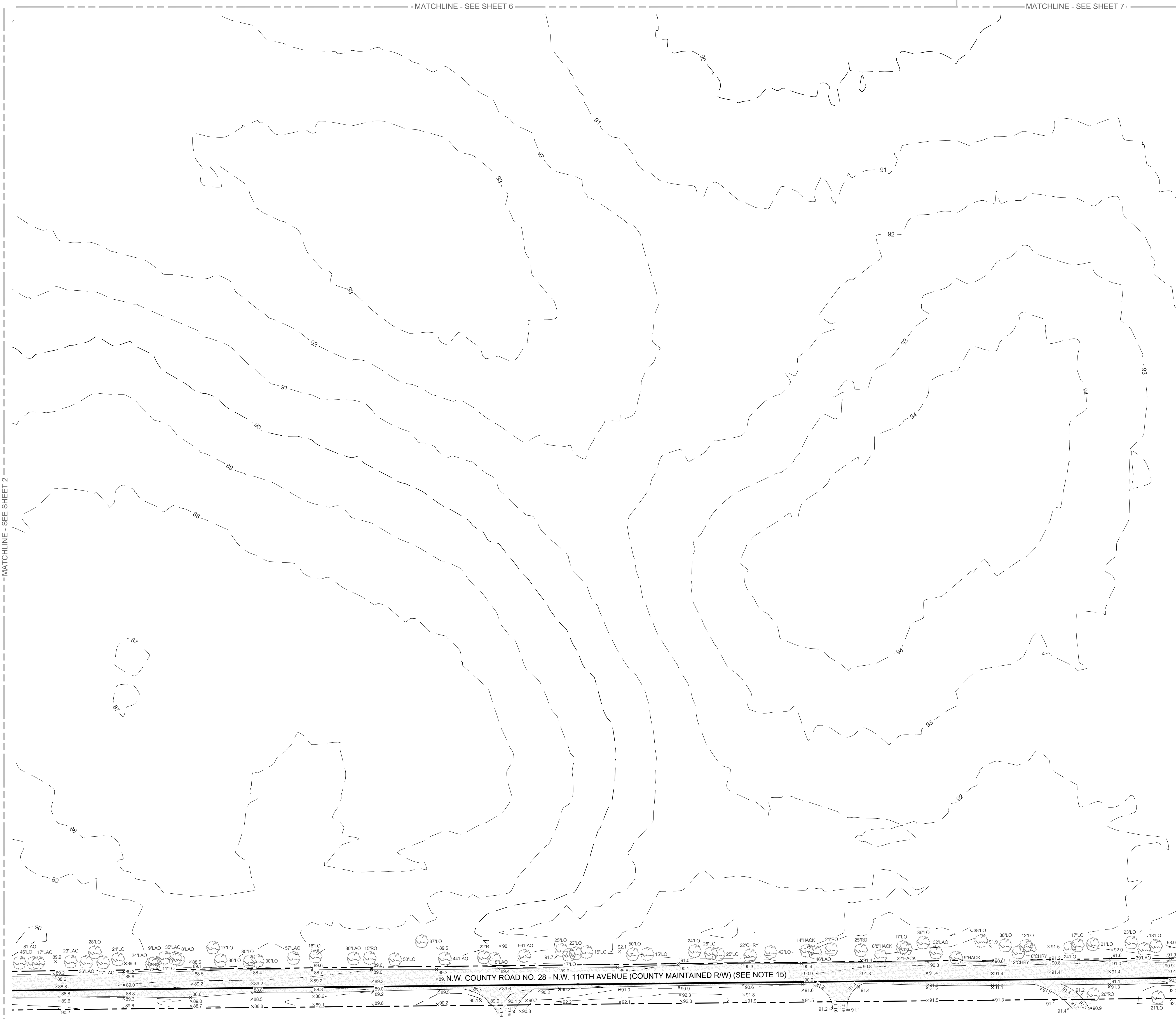
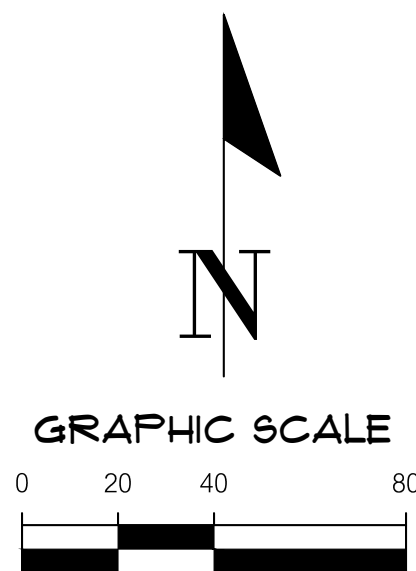
IN SECTION 28, TOWNSHIP 8 SOUTH, RANGE 18 EAST, CITY OF ALACHUA, ALACHUA COUNTY, FLORIDA

SURVEYORS NOTES:

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- NO UNDERGROUND INSTALLATION OF UTILITIES OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCRoACH.
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- ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE "NODE" LAYER IN THE SUPPLIED DIGITAL FILE.
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Tech: chds File Date: Aug 08-2022 9:45am Filename: C:\msdfiles\chds\Temp\A\chublin_3364A\31-0297 BOUNDARY TOPO (MID).dwg

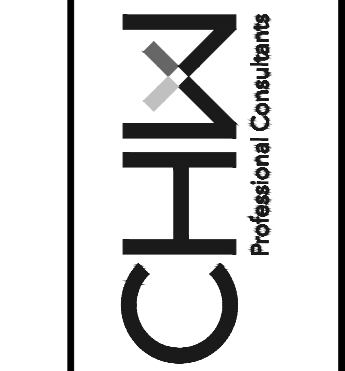
REVISION 8-3-2022, EDITED HATCHING, UPDATED LEGEND, ADDED NOTE 15, UPDATED BENCHMARKS.

REVISION NO.	DATE	BY
1	10-21-2021	CHAD A. COLSON
2	8-3-2022	CHAD A. COLSON

DESIGNED BY	CHAD A. COLSON
CHECKED BY	CHAD A. COLSON
PROJECT NO.	21-0297
FIELD BOOK & PG.	617/75

This map prepared by:
 Chad A. Colson
 Certificate of Authorization No. LB-5075
 NOT VALID WITHOUT THE ORIGINAL
 SIGNATURE AND SEAL OR ELECTRONIC
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 LICENSED SURVEYOR AND MAPPER

1800 Research Drive
 Alachua, Florida 32015
 (352) 331-1976
 www.chw-inc.com
 est. 1988 FLORIDA
 CA-5075



SCALE: 1" = 40'
 ANY SCALE DIMENSIONS ON ORIGINAL DRAWING SHALL BE USED FOR THIS SHEET. ADJUST SCALES ACCORDINGLY.

SEE SHEET ONE (1) OF THIRTEEN (13)

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PROJECT NO. 21-0297

CHAD A. COLSON
 SEE SHEET ONE (1) OF THIRTEEN (13)
 Professional Surveyor & Mapper Fla. License No. 7142

BOUNDARY & TOPOGRAPHIC SURVEY

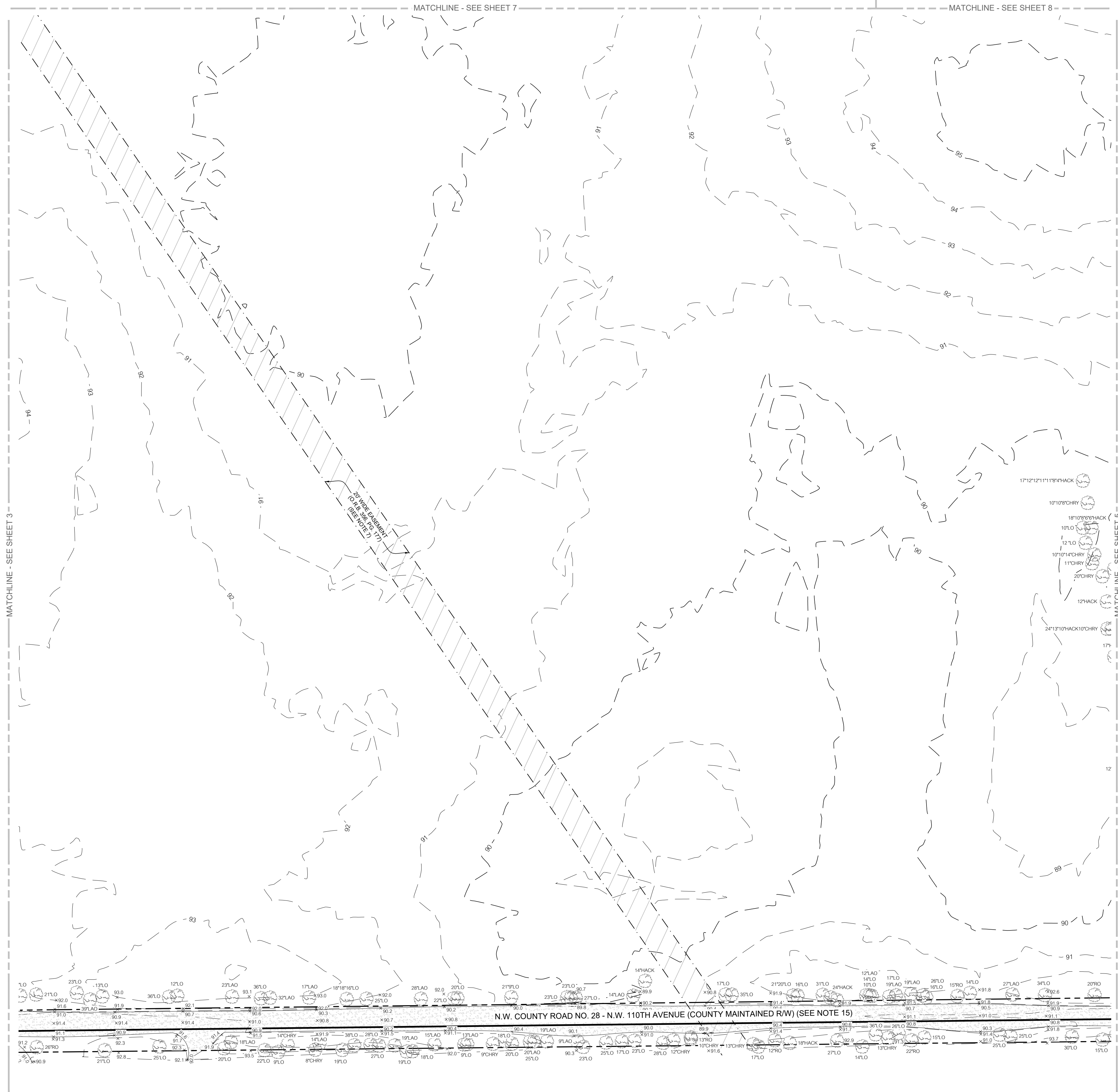
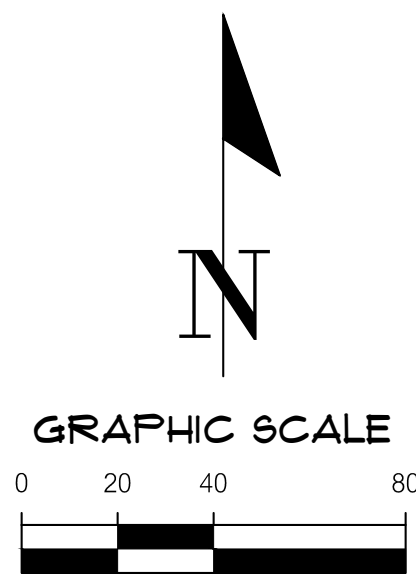
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Tech: chads File Date: Aug 08 2022 9:45am Filename: C:\Users\chads\Documents\Temp\Asst\Sub\131-0297-BOUNDARY.TDPO (MID).dwg

REVISION 8-3-2022: EDITED HATCHING, UPDATED LEGEND, ADDED NOTE 15, UPDATED BENCHMARKS.

<p style="font-size: 8px;">Professional Consultants</p>	18001 Research Drive Alachua, Florida 32015 (352) 351-1976 www.chw-inc.com est. 1988 FLORIDA CA-5075	SCALE: 1" = 40' ANY CHANGES MADE ON ORIGINAL DRAWING 0 MAY BE MADE ON THIS SHEET, ADJUST SCALES ACCORDINGLY.	SHEET NO. 4 OF 13 SEE SHEET ONE (1) OF THIRTEEN (13)	SURVEY DATE: 10-21-2021 REVISION DATE: 8-3-2022 SURVEYOR: CHAD A. COLSON PROJECT NO.: 21-0297
This map prepared by: CHAD A. COLSON Certificate of Authorization No. LB-5075 NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR ELECTRONIC DIGITAL SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER Professional Surveyor & Mapper Fla. License No. 7142				

BOUNDARY & TOPOGRAPHIC SURVEY

IN SECTION 28, TOWNSHIP 8 SOUTH, RANGE 18 EAST,
CITY OF ALACHUA, ALACHUA COUNTY, FLORIDA

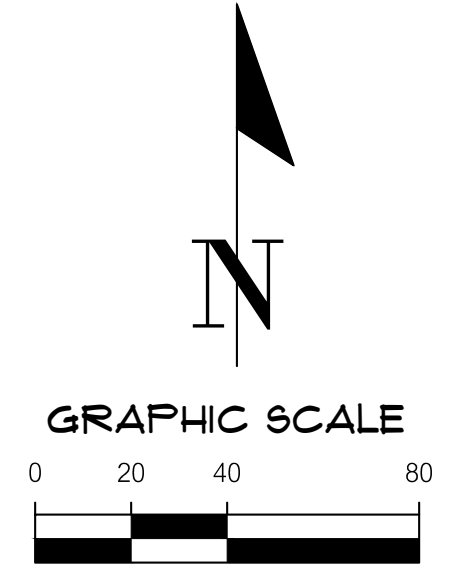
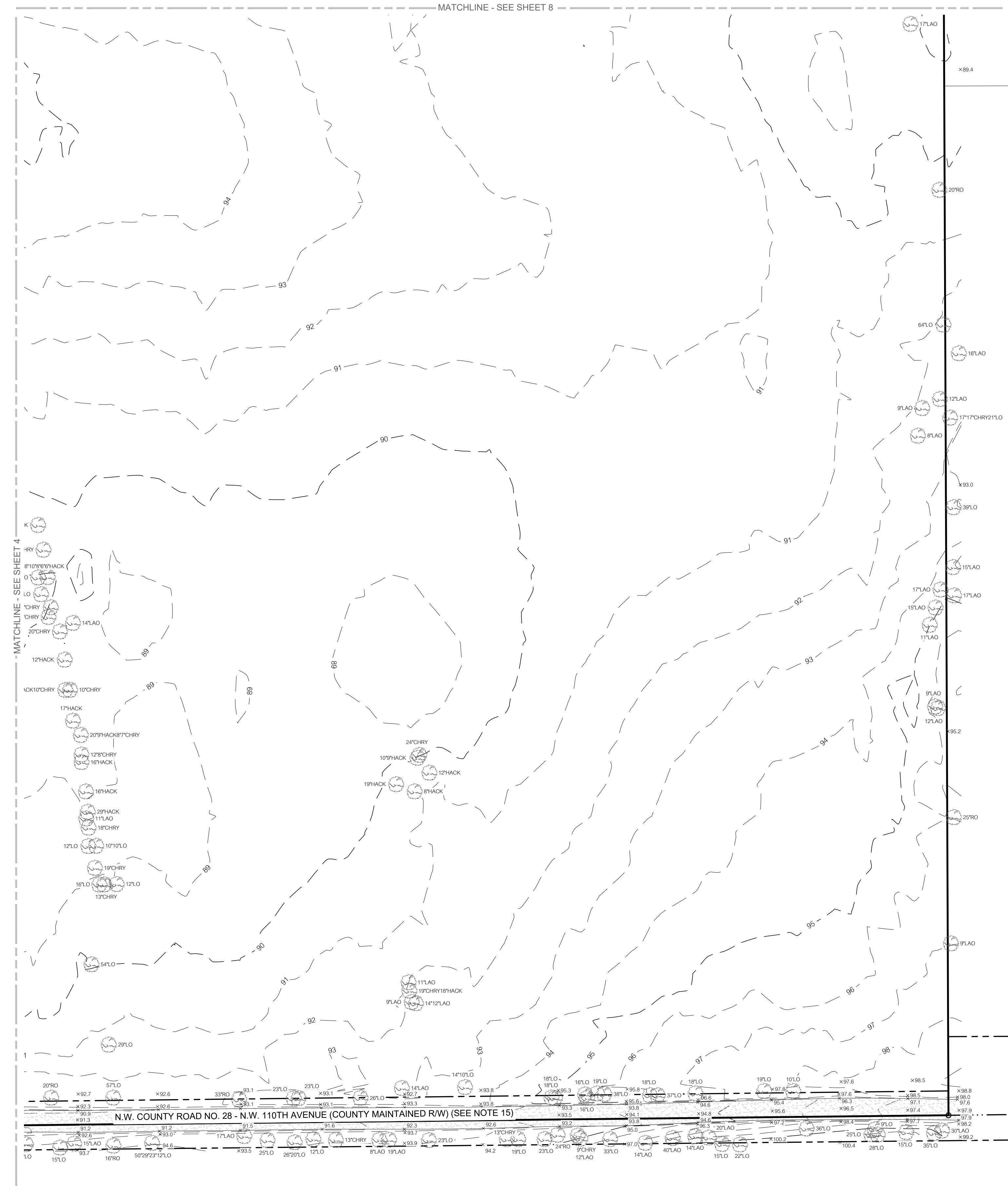
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SHEET NO.

DATE	DESCRIPTION
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CHAD A. COLSON

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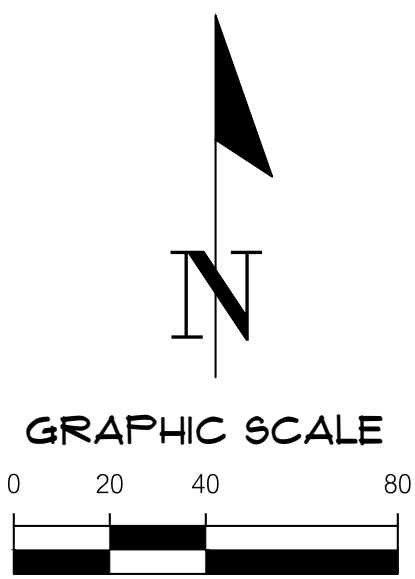
SHEET NO.
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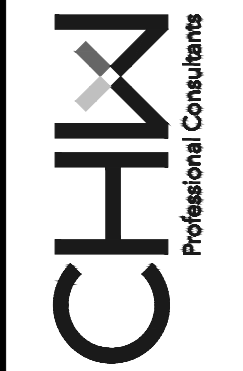
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Tech: chads File Date: Aug 08 2022 9:46am Filename: C:\msdssurvey\Temp\Arbuhim_3364\31-0297 BOUNDARY TOPO (MID).dwg

REVISION 8-3-2022: EDITED HATCHING, UPDATED LEGEND, ADDED NOTE 15, UPDATED BENCHMARKS.

11001 Research Drive
Alachua, Florida 32015
(352) 331-1976
www.chw-inc.com
est. 1988 FLORIDA
CA-5075



SCALE: 1" = 40'
REVISED SCALE BASED ON ORIGINAL DRAWING
0" MEANS THE SCALE OF THIS SHEET ADJUST TO THE SCALE OF THE ORIGINAL DRAWING

SEE SHEET ONE (1) OF THIRTEEN (13)

REVISION	DATE	BY
1	10-21-2021	CHAD A. COLSON
2	8-3-2022	CHAD A. COLSON

CHAD A. COLSON
SEE SHEET ONE (1) OF THIRTEEN (13)
Professional Surveyor & Mapper Fla. License No. 7142

This map prepared by:
Certificate of Authorization No. L.B. 5075
NOT VALID WITHOUT THE ORIGINAL
SIGNATURE AND SEAL OR ELECTRONIC
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LICENSED SURVEYOR AND MAPPER

BOUNDARY & TOPOGRAPHIC SURVEY

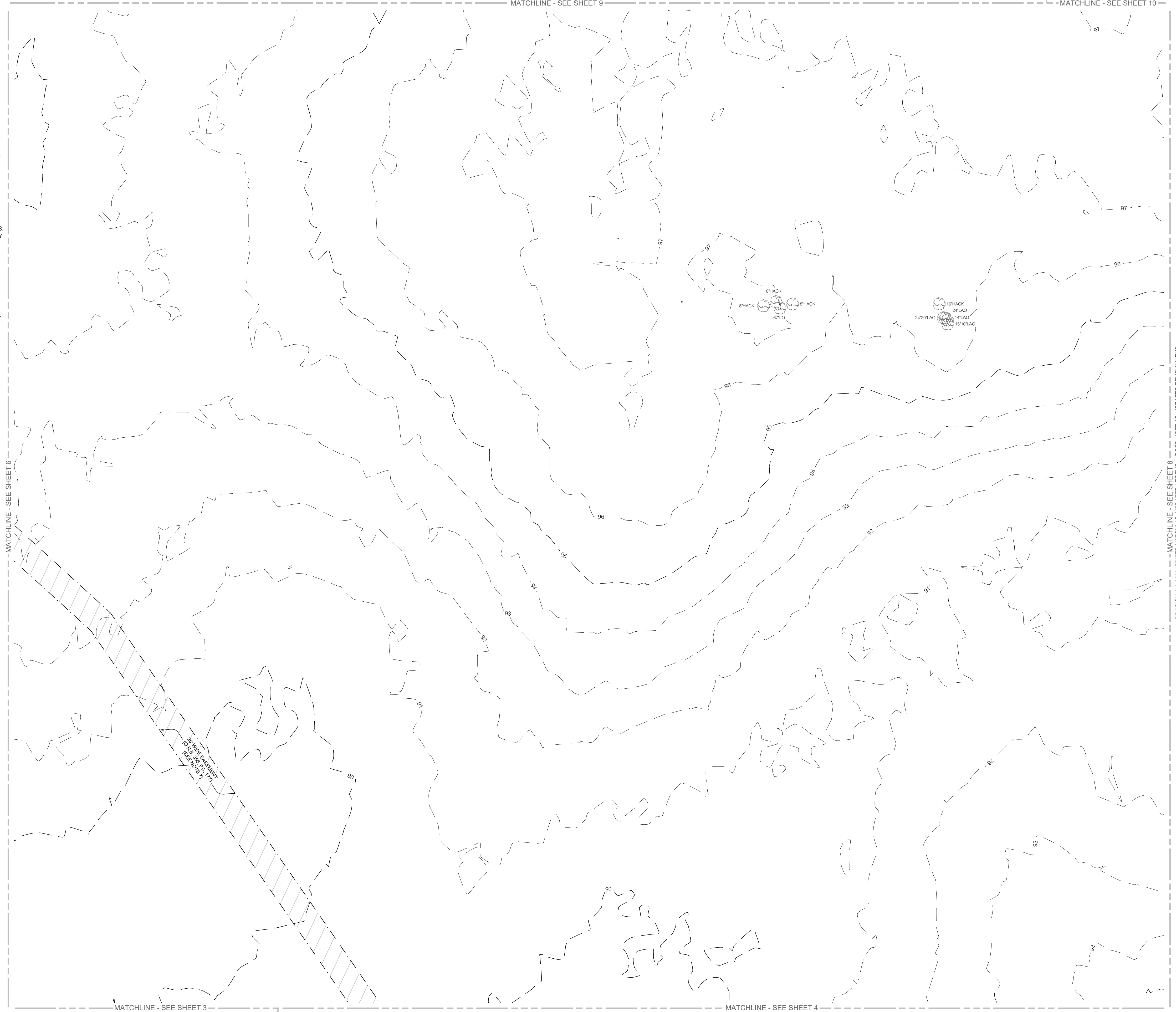
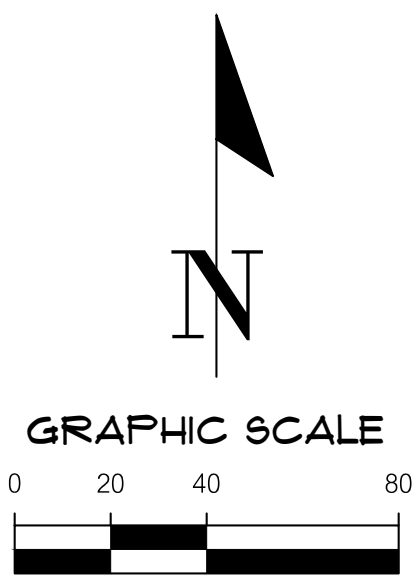
IN SECTION 28, TOWNSHIP 8 SOUTH, RANGE 18 EAST, CITY OF ALACHUA, ALACHUA COUNTY, FLORIDA

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<p>11001 Research Drive Alachua, Florida 32915 (352) 331-9176 www.chw-inc.com est. 1988 FLORIDA CA-5075</p> <p style="font-size: 2em; font-weight: bold; text-align: center;">CHW</p> <p style="text-align: center; font-size: 0.8em;">Professional Consultants</p>	<p>SCALE: 1" = 40'</p> <p>REVISIONS SHALL BE MADE ON ORIGINAL DRAWING. ANY CHANGES SHALL BE MADE ON THIS SHEET. ADJUST SCALES ACCORDINGLY.</p>	<p>REVISION 8-3-2022: EDITED MATCHLINES, UPDATED LEGEND, ADDED NOTE 15, UPDATED BENCHMARKS.</p> <p>SHEET NO: 7 OF 13</p>
<p>CHAD A. COLSON</p> <p>Professional Surveyor & Mapper Fla. License No. 7142</p>	<p>SEE SHEET ONE (1) OF THIRTEEN (13)</p>	<p>PROJECT NO: 21-0297</p> <p>FIELD BOOK & PG: 617/75</p>
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BOUNDARY & TOPOGRAPHIC SURVEY

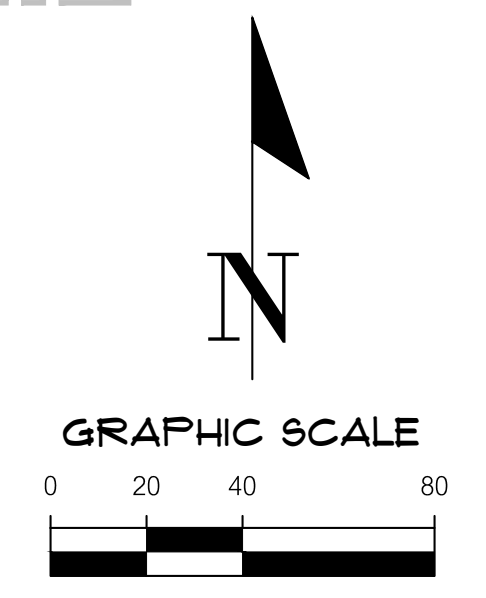
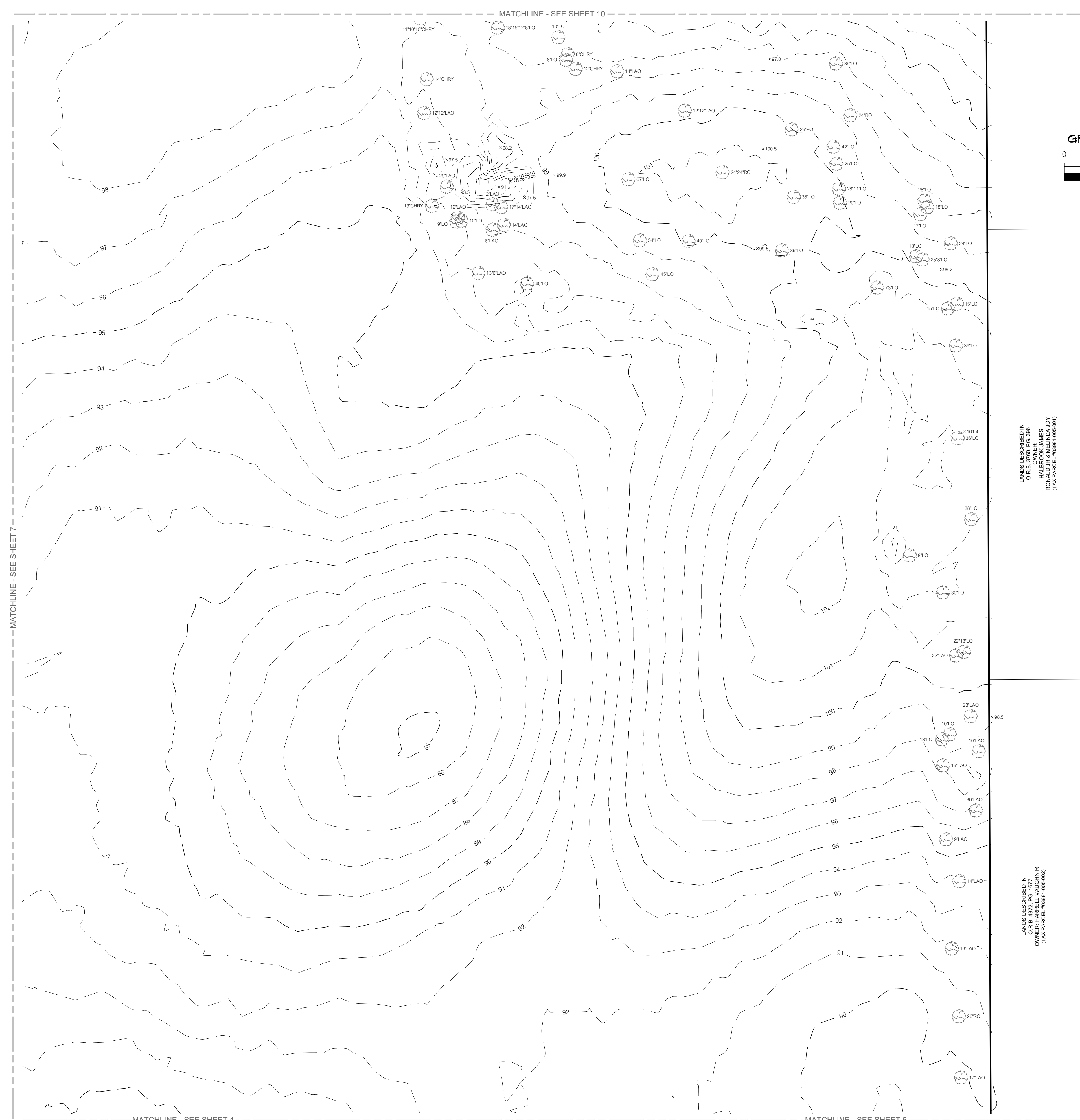
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LANDS DESCRIBED IN
O.R.B. 4372, PG. 1077,
OFFICIAL RECORDS BOOK
NO. 4372, PARCEL 0055002
(TAX PARCEL 403881000-001)

LANDS DESCRIBED IN
O.R.B. 4372, PG. 1077,
OFFICIAL RECORDS BOOK
NO. 4372, PARCEL 0055002
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SURVEY DATE	10-21-2021	REVISION DATE	8-3-2022
DRAWN BY	CHAD A. COLSON	CHECKED BY	CAC
PROJECT NO.	21-0297	FIELD BOOK & PG.	617/75

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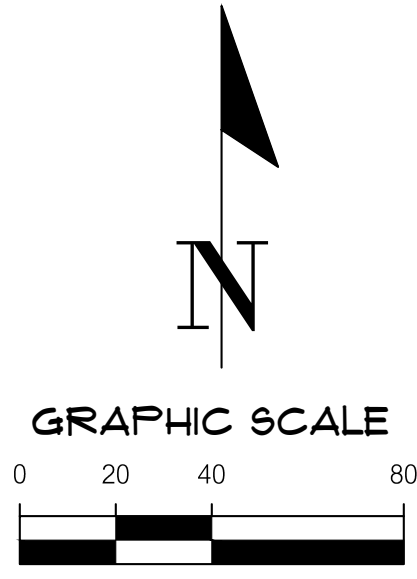
SHEET NO.
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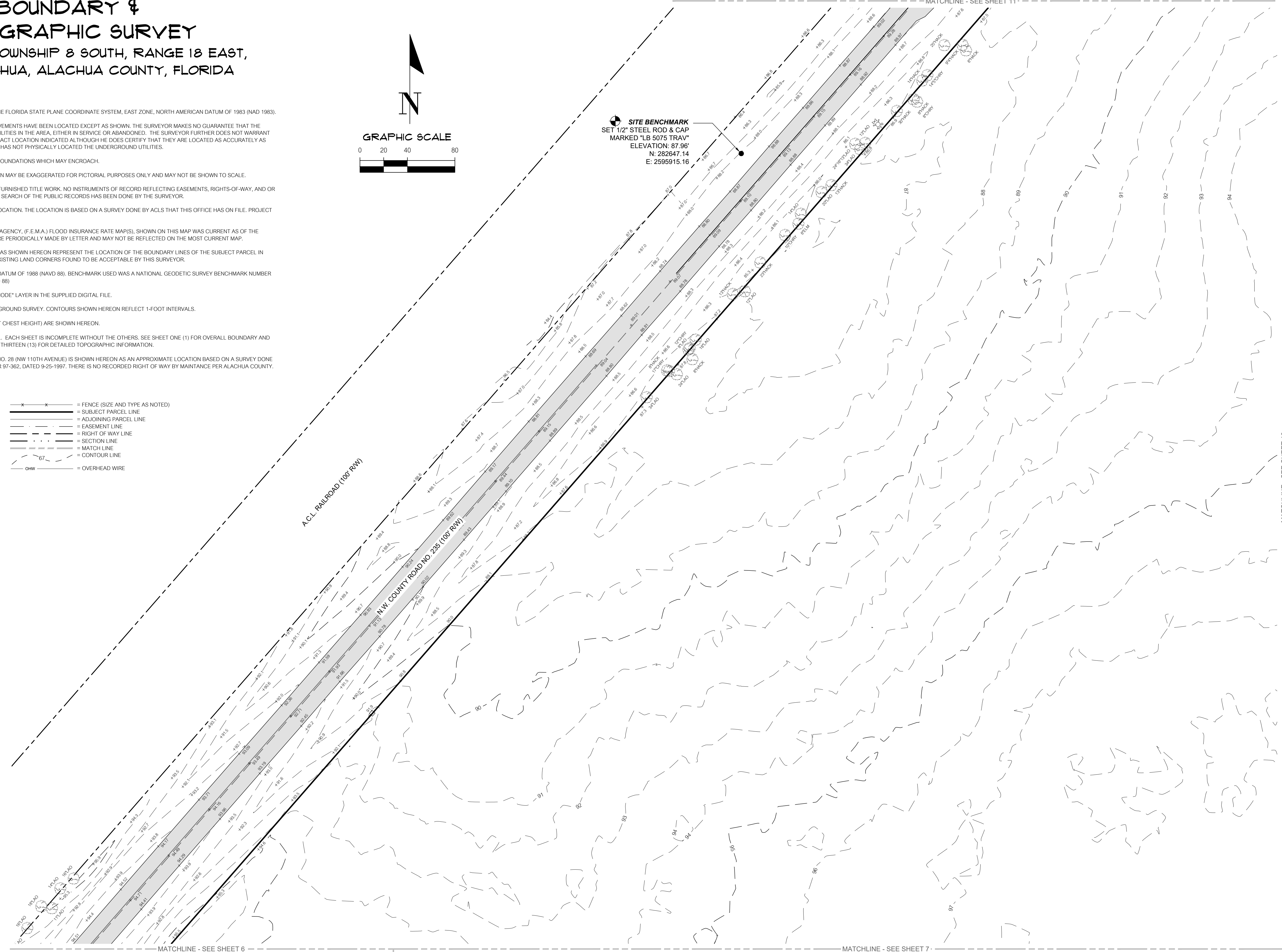


SITE BENCHMARK
SET 1/2" STEEL ROD & CAP
MARKED "LB 5075 TRAV"
ELEVATION: 87.96'
N: 282647.14
E: 2595915.16

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REVISION DATE: 8-3-2022

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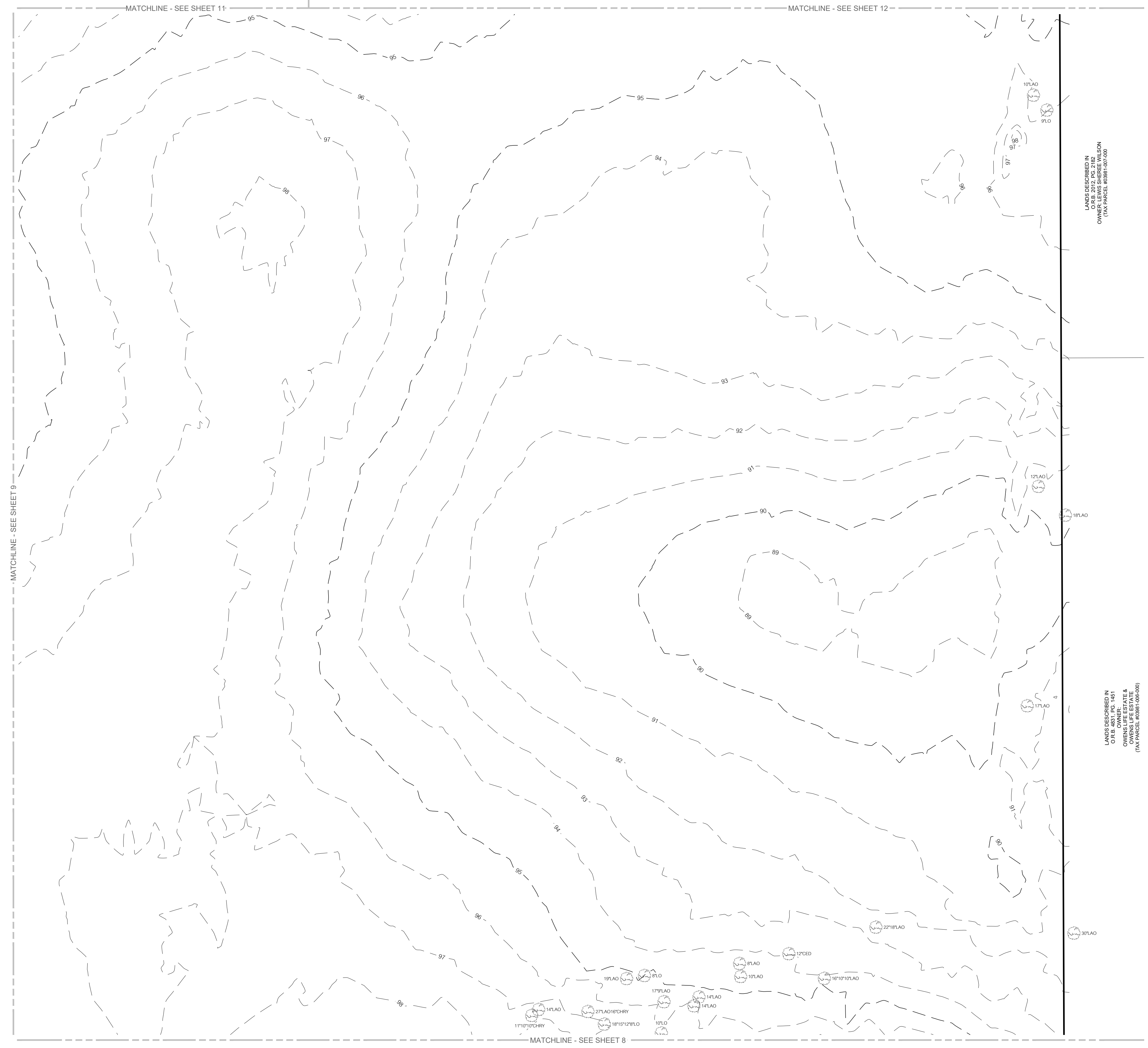
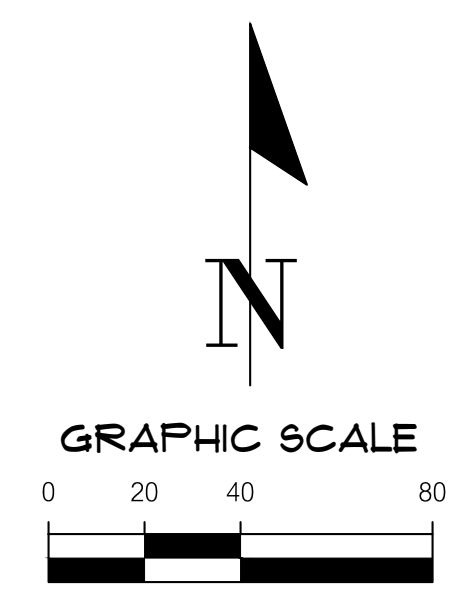
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| ID. = IDENTIFICATION | — — — — — = MATCH LINE |
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| P.B. = PLAT BOOK | — 67 — = OVERHEAD WIRE |
| P.G. = PAGE | |
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| LAO = LAUREL OAK | |
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Tech: chds File Date: Aug 08 2022 9:45am Filename: C:\msdfiles\chds\Temp\chds\chds_3364\31-0297 BOUNDARY TOPO (MID).dwg

LANDS DESCRIBED IN
OWENS LIFE ESTATE &
OWENS LIFE ESTATE &
OWENS LIFE ESTATE &
(TAX PARCEL #0881408-000)

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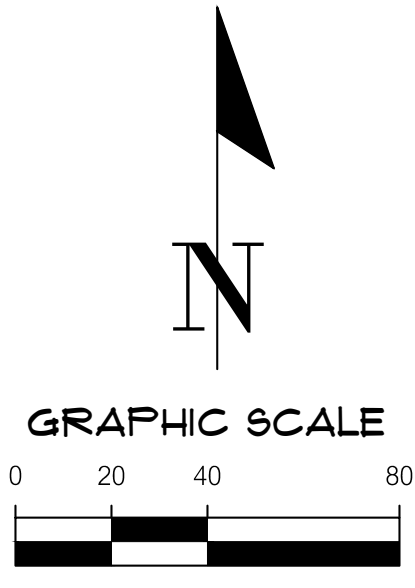
11001 Research Drive Alachua, Florida 32015 (352) 331-1976 www.chw-inc.com est. 1988 FLORIDA CA-5075	
SCALE: 1" = 40' ANY SCALE BASED ON THIS ORIGINAL DRAWING 0 MAY BE USED IN THIS SHEET, ADJUST SCALES ACCORDINGLY.	REVISION 8-3-2022; EDITED HATCHING; UPDATED LEGEND; ADDED NOTE 15; UPDATED BENCHMARKS. SURVEY DATE: 10-21-2021 REVISION DATE: 8-3-2022 PROJECT NO: 21-0297
SEE SHEET ONE (1) OF THIRTEEN (13)	
CHAD A. COLSON SEE SHEET ONE (1) OF THIRTEEN (13) Professional Surveyor & Mapper Fla. License No. 7142	This map prepared by: Certificate of Authorization No. LB-5075 NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR ELECTRONIC DIGITAL SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER
SHEET NO: 10 OF 13	

BOUNDARY & TOPOGRAPHIC SURVEY

IN SECTION 28, TOWNSHIP 8 SOUTH, RANGE 18 EAST,
CITY OF ALACHUA, ALACHUA COUNTY, FLORIDA

SURVEYORS NOTES:

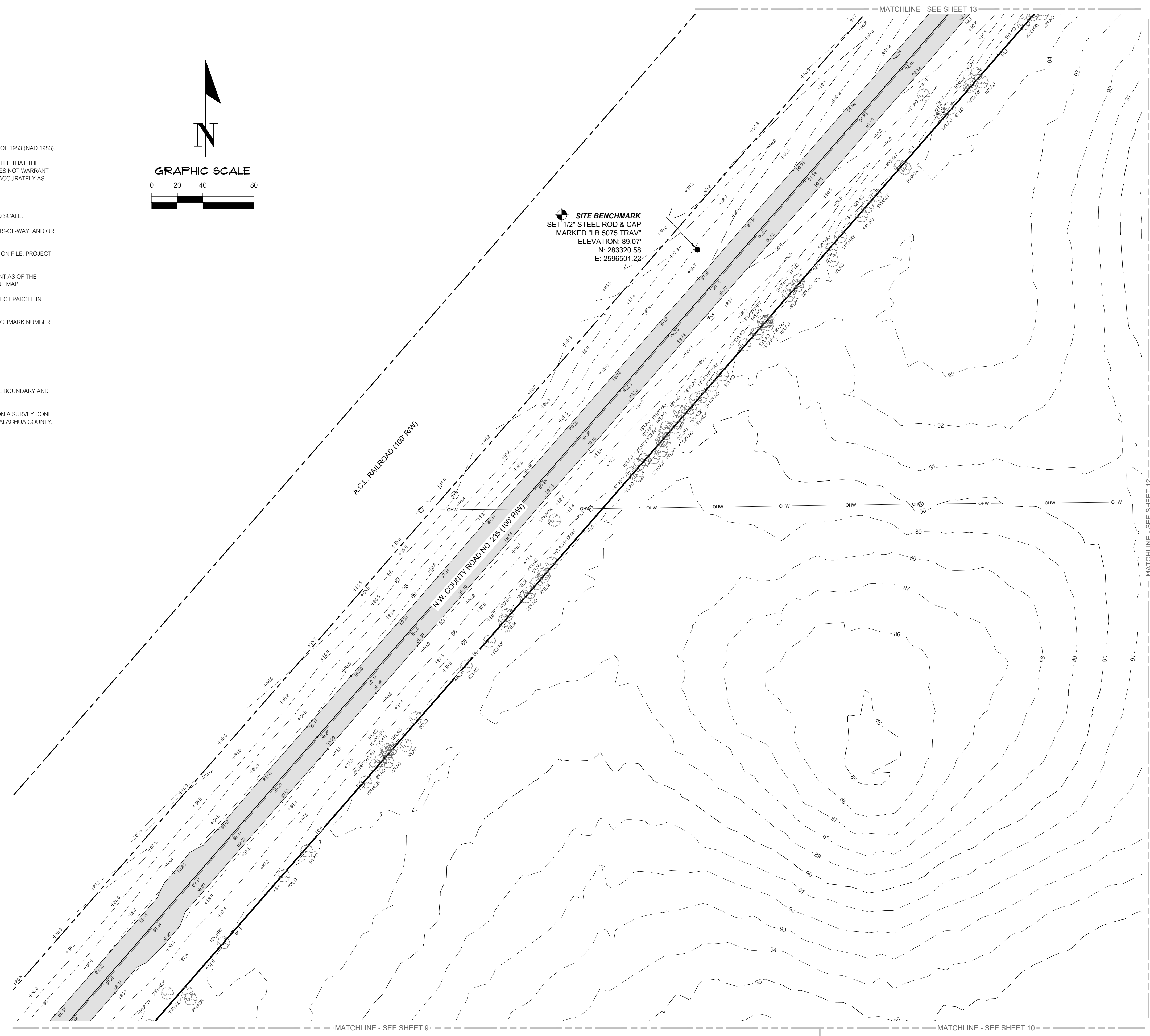
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- — — = CONTOUR LINE
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SITE BENCHMARK
SET 1/2" STEEL ROD & CAP
MARKED "LB 5075 TRAY"
ELEVATION: 89.07'
N: 283320.58
E: 2596501.22

Tech: chads File Date: Aug 08 2022 9:45am Filename: C:\work\survey\Temp\Acfublm_3364A\31-0297 BOUNDARY.TPO (MID).dwg

11001 Research Drive
Alachua, Florida 32015
(352) 331-9176
www.chw-inc.com
est. 1988 FLORIDA
CA-5075

CHW

Professional Consultants

REVISION 8-3-2022: EDITED MATCHLINES, UPDATED LEGEND, ADDED NOTE 15, UPDATED BENCHMARKS, ADDED OVERHEAD WIRE.

SCALE: 1" = 40'

SEE SHEET ONE (1) OF THIRTEEN (13)

SURVEY DATE: 10-21-2021

REVISION DATE: 8-3-2022

PROJECT NO: 21-0297

CONTRACT NO: CHAD A. COLSON

SEE SHEET ONE (1) OF THIRTEEN (13)

Professional Surveyor & Mapper Fla. License No. 7142

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11 OF 13

BOUNDARY & TOPOGRAPHIC SURVEY

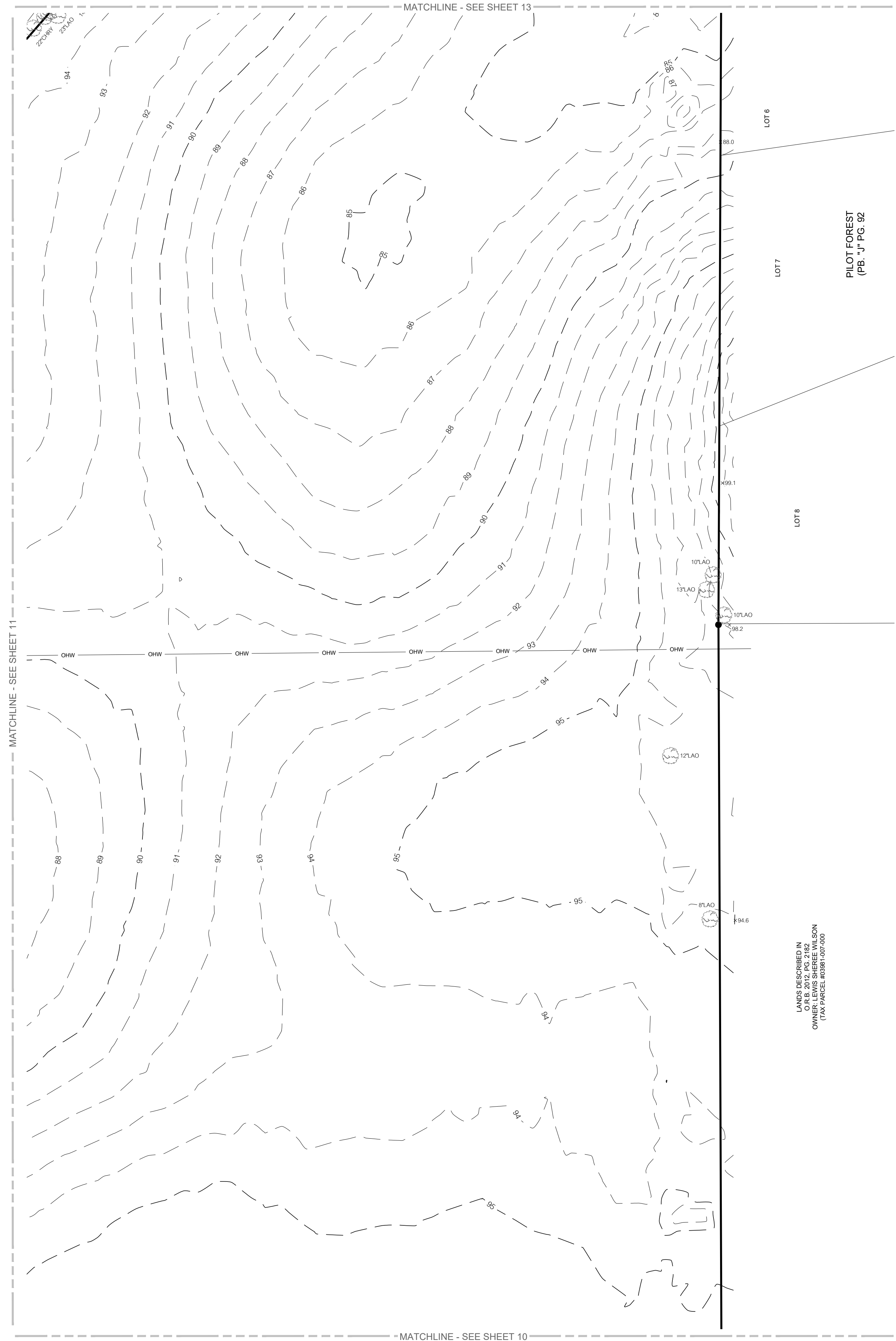
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LANDS DESCRIBED IN
OWNER LEVY SHEREE WILSON
(TAX PARCEL #0981007000)

Tech: chads File Date: Aug 08 2022 9:47am Filename: C:\s\chad\survey\Temp\chad\chad_3364\31-0297 BOUNDARY TOPO (MID).dwg

		11001 Research Drive Alachua, Florida 32015 (352) 331-1976 www.chw-inc.com est. 1988 FLORIDA CA-5075	
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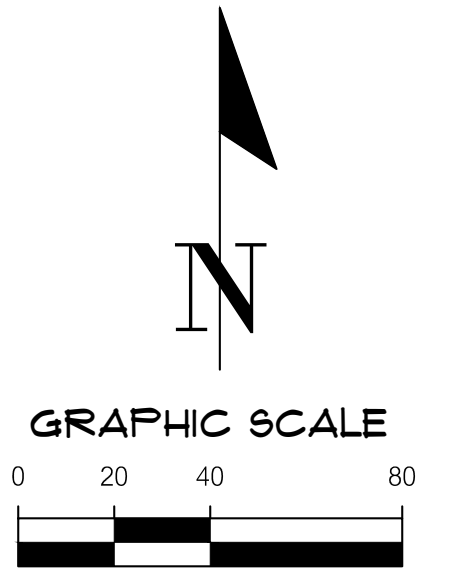
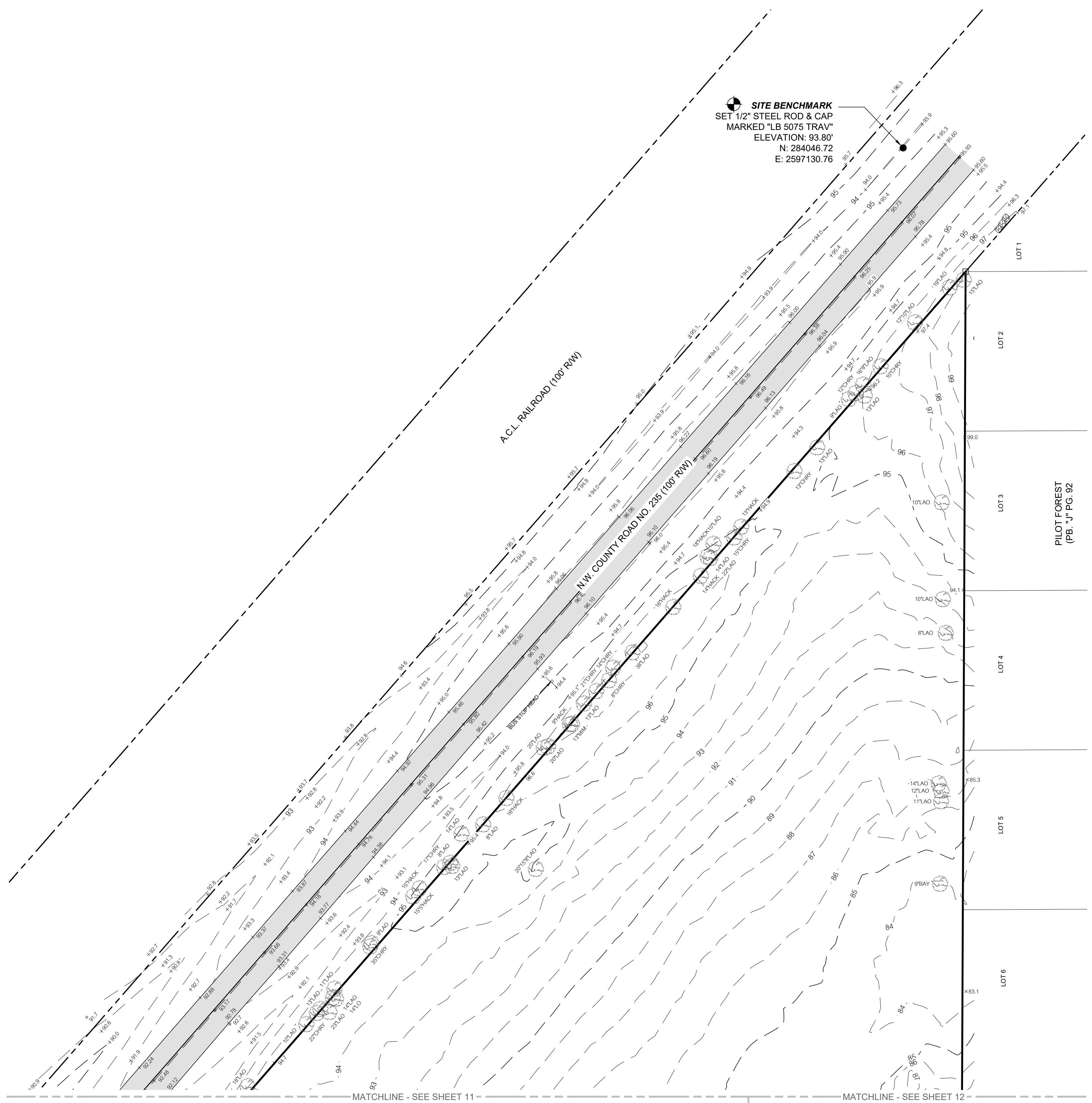
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| F.I.R.M. | = FLOOD INSURANCE RATE MAP |
| S.F. | = SQUARE FEET |
| R.W. | = RIGHT OF WAY |
| ID. | = IDENTIFICATION |
| O.R.B. | = OFFICIAL RECORDS BOOK |
| P.B. | = PLAT BOOK |
| P.G. | = PAGE |
| LO | = LIVE OAK |
| LAO | = LAUREL OAK |
| RO | = RED OAK |
| MAPLE | = MAPLE TREE |
| ELM | = ELM TREE |
| CHRY | = CHERRY TREE |
| HACK | = HACKBERRY TREE |
| WO | = WATER OAK TREE |
| BAY | = BAY LEAF TREE |
| GUM | = GUM TREE |
| MIM | = MIMOSA TREE |
| ● | = SET 5/8" STEEL ROD & CAP (LB 5075) |
| ○ | = FOUND 5/8" STEEL ROD & CAP (NOTED) |
| □ | = FOUND 4"x4" CONCRETE MONUMENT (NOTED) |
| ○ | = FOUND 1/2" IRON PIPE (NO ID.) |
| ○ | = FOUND 1/2" IRON ROD (NO ID.) |
| ○ | = CABLE TELEVISION BOX |
| ○ | = ELECTRIC BOX |
| ○ | = FIRE HYDRANT |
| ○ | = GUY ANCHOR |
| ○ | = SIGN |
| ○ | = TREE (SIZE AND TYPE AS NOTED) |
| ○ | = TELEPHONE PEDESTAL |
| ○ | = WOODEN POWER POLE |
| ○ | = WATER VALVE |
| ○ | = FIBER OPTIC LINE MARKER |
| ○ | = MAILBOX |
| ○ | = WOODEN POWER POLE |
| ○ | = BENCHMARK |
| X 85.5 | = SPOT ELEVATION (PERVIOUS) |
| X 85.45 | = SPOT ELEVATION (IMPERVIOUS) |
| ■ | = ASPHALT SURFACE |
| ■ | = DIRT / LIMESTONE SURFACE |



 Professional Consultants	
11801 Research Drive Alachua, Florida 32915 (352) 331-1976 www.chw-inc.com est. 1988 FLORIDA CA-5075	
SCALE: 1" = 40' VERIFY SCALE BASED ON THE ORIGINAL DRAWING 0" MAY BE USED FOR THIS SHEET, ADJUST SCALES ACCORDINGLY.	SEE SHEET ONE (1) OF THIRTEEN (13)
SURVEY DATE: 10-21-2021 REVISION DATE: 8-3-2022 SURVEYOR: CHAD A. COLSON CHECKED BY: CAC PROJECT NO.: 21-0297 FIELD BOOK & PG.: 617/75	REVISION 8-3-2022: EDITED HATCHING, UPDATED LEGEND, ADDED NOTE 15, UPDATED BENCHMARKS.
CHAD A. COLSON SEE SHEET ONE (1) OF THIRTEEN (13) Professional Surveyor & Mapper Fla. License No. 7142	
This map prepared by: Certificate of Authorization No. LB-5075 NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR ELECTRONIC DIGITAL SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER	
SHEET NO.: 13 OF 13	

Tech: chad Date: Aug 08 2022 9:47am Filename: C:\work\survey\Temp\Acfublm_3364\31-0297 BOUNDARY TOPO (MID).dwg



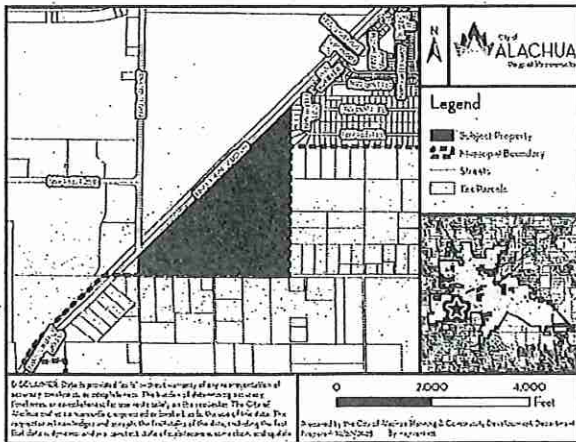
City of ALACHUA

NOTICE OF PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD OF THE CITY OF ALACHUA, FLORIDA

Notice is hereby given that the Planning and Zoning Board of the City of Alachua will hold a public hearing on November 18, 2025, at 6:00 p.m. The hearing will be held in the James A. Lewis Commission Chambers in City Hall, located 15100 NW 142nd Terrace, Alachua, Florida, to consider the following:

Application #: PPP25-0002 – Amendment to Fletcher Trace Major Subdivision Preliminary Plat

A request by NV5, Inc. (agent) on behalf of Fletcher Development, LLC (property owner) for an amendment to the Fletcher Trace Major Subdivision Preliminary Plat proposing rephasing and reducing the total number of single-family attached lots from 128 to 28 and increasing the total number of single-family detached lots from 344 to 410, for a net decrease of 34 lots on a ± 118.20-acre subject property generally located southeast of County Road 235 and north of NW 110th Avenue (tax parcel 03980-002-001); FLU: Moderate Density Residential; Zoning: Planned Development – Residential (PD-R).



At the public hearing, all interested parties may appear and be heard with respect to the application. Copies of the application are available for public inspection at the Planning and Community Development Department, 15100 NW 142nd Terrace, Alachua, Florida, on any regular business day between the hours of 7:30 a.m. to 6:00 p.m. Written comments on the application may be sent to the following address: City of Alachua, Planning and Community Development, P.O. Box 9, Alachua, FL, 32616. Notice is given pursuant to Section 286.0105, Florida Statutes, that, in order to appeal any decision made at the public hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act, any persons with a disability requiring reasonable accommodation in order to participate in this meeting should call the City Clerk at (386) 418-6100 x 1501 at least 48 hours prior to the public hearing.



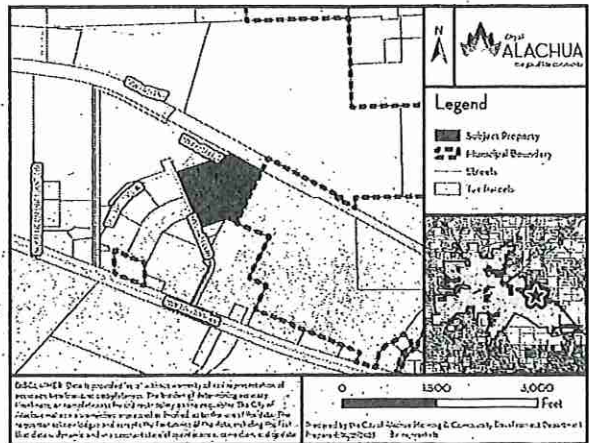
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Application #: PSP25-0010 – San Felasco Tech City Phase 5 Site Plan

A request by eda consultants, inc. (applicant/agent) on behalf of The Laser Investment Group, LLC (property owner) for a site plan which proposes the construction of a community amenity center including a ± 3,000 square foot clubhouse/gym, pool, playground, sports courts, and urban agriculture facilities with associated site improvements on a ± 1.5-acre subject property generally located north of US Highway 441 at the intersection of Tech City Circle and NW 86th Dr.; tax parcel: 05844-004-001; FLU: Corporate Park; Zoning: Corporate Park (CP).



At the public hearing, all interested parties may appear and be heard with respect to the application. Copies of the application are available for public inspection at the Planning and Community Development Department, 15100 NW 142nd Terrace, Alachua, Florida, on any regular business day between the hours of 7:30 a.m. to 6:00 p.m. Written comments on the application may be sent to the following address: City of Alachua, Planning and Community Development, P.O. Box 9, Alachua, FL, 32616. Notice is given pursuant to Section 286.0105, Florida Statutes, that, in order to appeal any decision made at the public hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act, any persons with a disability requiring reasonable accommodation in order to participate in this meeting should call the City Clerk at (386) 418-6100 x 1501 at least 48 hours prior to the public hearing.

BT

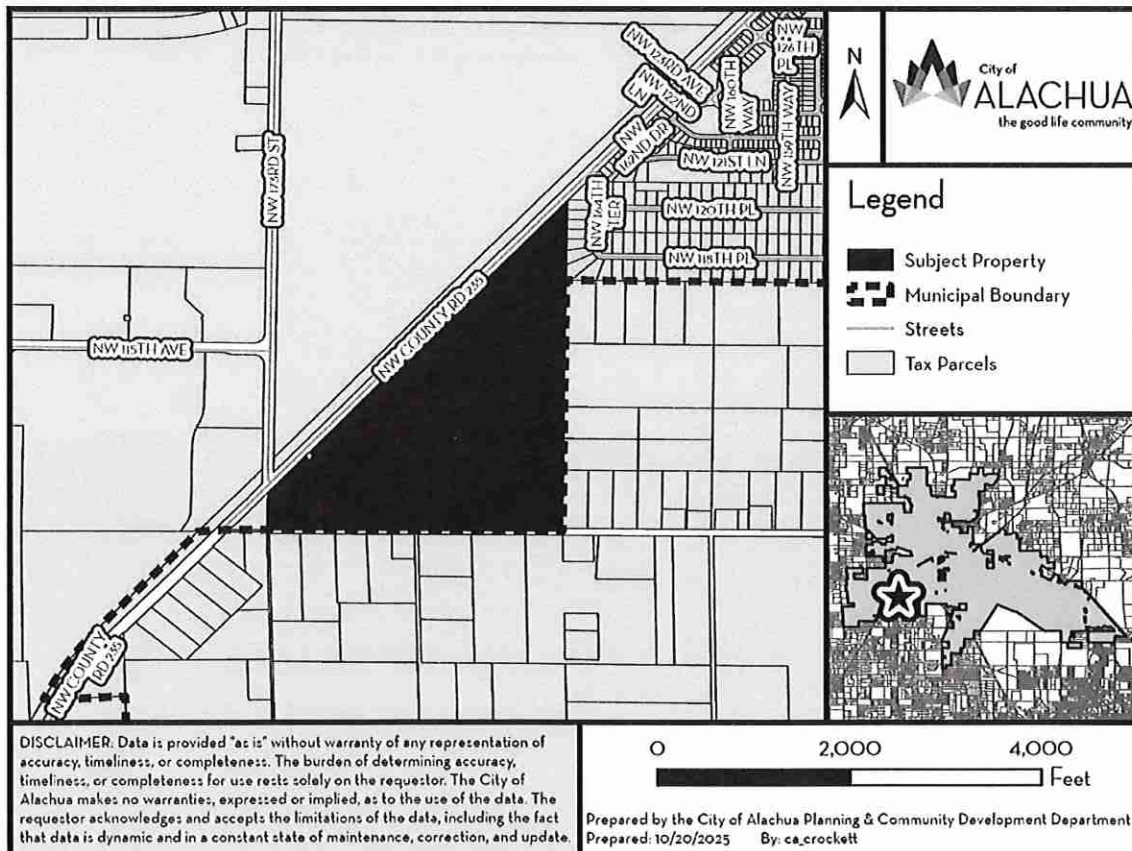
RODOLFO VALLADARES
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
BRYAN S. THOMAS, AICP

NOTICE OF PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD OF THE CITY OF ALACHUA, FLORIDA

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MAILED

NOV 03 2025

JA

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<p>SULAK KENNETH J & MARSHA J 16328 NW 110TH AVE ALACHUA, FL 32615</p>	<p>ESKRIDGE & ESKRIDGE 11926 NW 164TH TER ALACHUA, FL 32615</p>	<p>WIGGLESWORTH ERNEST BARTOW JR LIFE ESTATE 11923 NW 164TH TER ALACHUA, FL 32615</p>
<p>BOYETTE BETTY L LIFE ESTATE 16326 NW 118TH PL ALACHUA, FL 32615</p>	<p>WEAVER WILLIAM R & BEVERLY GAIL 8461 SW 129TH TERRACE RD DUNNELLON, FL 34432</p>	<p>WAITHE SEAN L & ASHLEY M 12004 NW 164TH TER ALACHUA, FL 32615</p> <p>MAILED NOV 03 2025</p> <p><i>BA</i></p>
<p>CAICEDO EDGAR H & FRANCI 12012 NW 164TH TER ALACHUA, FL 32615</p>	<p>GRISHAM DIANNE M 16337 NW 118TH PL ALACHUA, FL 32615</p>	<p>FREDERICK JULIE LIFE ESTATE 11902 NW 164TH TER ALACHUA, FL 32615</p>
<p>MCDONALD & MCDONALD 15824 OPEN SKY WAY COLORADO SPRINGS, CO 80908</p>	<p>KEDEM CECIL KAY & JACOB 11920 NW 164TH TER ALACHUA, FL 32615</p>	<p>MOORE WENDY SANDRA 12017 NW 164TH TER ALACHUA, FL 32615</p>
<p>STEWART WILLIAM O & JOSIE P 16324 NW 120TH PL ALACHUA, FL 32615</p>	<p>AUGSPURG JASON R & JANET R 16825 NW 110TH AVE ALACHUA, FL 32615</p>	<p>BROOKS CAROLYN S LIFE ESTATE 10714 NW 173RD ST ALACHUA, FL 32615</p>
<p>POGUE ANGELA MARIE 11908 NW 164TH TER ALACHUA, FL 32615</p>	<p>LYNCH DAVID JAMES & KWANDOKUHLE MLAMBO NGWENYA 3124 SW 94TH WAY GAINESVILLE, FL 32608</p>	<p>BRANDON-TURNER & TURNER TRUSTEES 17011 NW 110TH AVE ALACHUA, FL 32615</p>
<p>HOLDER CAITLYN ELISE 11306 NW 161ST ST ALACHUA, FL 32615</p>	<p>HARRELL VAUGHN R 11218 NW 161ST ST ALACHUA, FL 32615</p>	<p>EDWARDS JOSEPH & GAIL 11636 NW 161ST ST ALACHUA, FL 32615</p>
<p>BAUGH SOUTHEAST COOPERATIVE INC SYSCO CORPORATION ATTN TAX DEPARTMENT 1390 ENCLAVE PARKWAY HOUSTON, TX 77077</p>	<p>ROSS DONNA M 5454 RYAN RD THE VILLAGES, FL 32163</p>	<p>BERG RENEE D 16329 NW 118TH PL ALACHUA, FL 32615</p>
<p>JOHNS TIMOTHY CALVIN & SHANNON 16333 NW 110TH AVE ALACHUA, FL 32615</p>	<p>MORALES DANIEL J & SHELLEY H PO BOX 1195 ALACHUA, FL 32616</p>	<p>PARRIS R SCOTT 11914 NW 164TH TER ALACHUA, FL 32615</p>
<p>GAVIGAN & GAVIGAN 25348 CARNOUSTIE DR SORRENTO, FL 32776</p>	<p>CSX TRANSPORTATION INC 500 WATER ST TAX DEPARTMENT J-910 JACKSONVILLE, FL 32202</p>	<p>CSX TRANSPORTATION INC 500 WATER ST TAX DEPARTMENT J-910 JACKSONVILLE, FL 32202</p>

Planning & Community Development
LDR Administrator
PO Box 9
Alachua FL 32615

ADAM HALL, AICP
PO Box 115050
Gainesville FL 32611

Joseph & Phyllis Strickland

14103 NW 156th Place
Alachua FL 32615

Stephen Hofstetter
Director, Environmental Protection Department
14 NE 1st Street
Gainesville FL 32601

Michele L. Lieberman
County Manager
12 SE 1st Street
Gainesville FL 32601

Tamara Robbins

PO Box 2317
Alachua FL 32616

Jean Calderwood

14095 NW 174th Ave
Alachua FL 32615

Soorya Lindberg

16630 NW 173rd Terrace
Alachua FL 32615

Antoinette Endelicato

5562 NW 93rd Avenue
Gainesville FL 32653

Lynda Coon

7216 NW 126 Avenue
Alachua FL 32615

Lynn Horton

19005 NW 138th Avenue
Alachua FL 32615

Constance Meyer

4720 NW 104th Lane
Gainesville FL 32653

MAILED

NOV 03 2025

BA

<p>BRODKAYA & LERNER 1677 NW 110TH AVE ALACHUA, FL 32615</p>	<p>CLARK CODY THOMAS & RUTH CHANCE 16357 NW 110TH AVE ALACHUA, FL 32615</p>	<p>FLETCHER DEVELOPMENT LLC 4510 NW 6TH PL 3RD FL GAINESVILLE, FL 32607</p>
<p>LEISTNER & ZVHAECK W/H 16817 NW 110TH AVE ALACHUA, FL 32615</p>	<p>SAVANNAH STATION OWNERS ASSOCIATION 4510 NW 6TH PL 3RD FLOOR GAINESVILLE, FL 32607</p>	<p>STREIT WOLFGANG J 16414 NW 110TH AVE ALACHUA, FL 32615</p>
<p>VINCENT & VINCENT TRUSTEES 16919 NW 110TH AVE ALACHUA, FL 32615</p>	<p>WACO PROPERTIES INC 569 EDGEWOOD AVE SOUTH JACKSONVILLE, FL 32205</p>	

AFFIDAVIT FOR POSTED LAND USE SIGN

I, CARL W. CASE II, POSTED THE LAND USE SIGN(S)
(Print Name)

ON 10/31/25 FOR THE Amendment to Fletcher Trace Preliminary Plat
(Date) (Project name & type of action)

LAND USE ACTION AS PER ARTICLE 2.2.9(D) OF THE LAND DEVELOPMENT

REGULATIONS. THIS WILL BE INCLUDED IN THE STAFF REPORT.

Carl W Case II
(Signature)

Seven
(Number of signs)

IMPORTANT INFORMATION REGARDING POSTED NOTICE SIGNS

Pursuant to Section 2.2.9(D) of the City's Land Development Regulations, posted notice signs must be placed on the land that is the subject of the application, along each street which is adjacent to or runs through the land in a manner that makes them clearly visible. Signs shall be posted at intervals of not more than 400 feet when the land subject to the application has less than 1,500 feet of road frontage. When the land subject to the application has 1,500 feet or more of road frontage, signs shall be posted at intervals of not more than 1,320 feet.

Signs shall be inspected by the City subsequent to their posting. The applicant shall be responsible for ensuring that the posted notice is maintained on the land subject to the application until the completion of the final public hearing on the application.

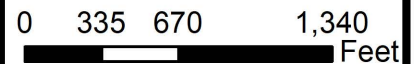
Signs must be removed by the applicant and returned to the City within ten days after the final decision on the application.

Fletcher Trace Preliminary Plat



Prepared by the City of Alachua
Planning & Community Development Department
Prepared December 2020

DISCLAIMER: Data is provided "as is" without warranty of any representation of accuracy, timeliness, or completeness. The burden of determining accuracy, timeliness, or completeness for use rests solely on the requestor. The City makes no warranties, expressed or implied, as to the use of the data. The requestor acknowledges and accepts the limitations of the data, including the fact that the data is dynamic and in a constant state of maintenance, correction, and update.



CITY OF ALACHUA

NOTICE OF LAND USE DEVELOPMENT ACTION

PUBLIC HEARING(S) ARE SCHEDULED TO CONSIDER THE FOLLOWING:

PROJECT NAME: _____ **APPLICATION NO.:** _____

APPLICATION TYPE: _____ **CURRENT ZONING:** _____

NATURE/SCOPE OF PROPOSAL: _____

DATE OF PUBLIC HEARING(S): _____ **AT** _____ **PM**

_____ **AT** _____ **PM**

_____ **AT** _____ **PM**

LOCATION OF PUBLIC HEARING(S):
ALACHUA CITY HALL - 15100 NW 142ND TERRACE

FOR MORE INFORMATION CONTACT:
CITY OF ALACHUA PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT

386-418-6121

planning@cityofalachua.com

ALL INTERESTED PARTIES MAY APPEAR AT THE PUBLIC HEARING(S) AND BE HEARD WITH RESPECT TO THE APPLICATION. COPIES OF THE APPLICATION, STAFF REPORT, AND RELATED MATERIALS ARE AVAILABLE FOR PUBLIC INSPECTION AT THE PLANNING & COMMUNITY DEVELOPMENT, 15100 NW 142ND TERRACE, ALACHUA, FLORIDA, ON ANY REGULAR BUSINESS DAY DURING NORMAL BUSINESS HOURS. WRITTEN COMMENTS MAY BE SENT TO: CITY OF ALACHUA, PLANNING & COMMUNITY DEVELOPMENT, P.O. BOX 9, ALACHUA FL 32616. NOTICE IS GIVEN PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, THAT, IN ORDER TO APPEAL ANY DECISION MADE AT THE PUBLIC HEARING(S), YOU WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT, FOR SUCH PURPOSE, YOU MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS BASED. IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT, ANY PERSONS WITH A DISABILITY REQUIRING REASONABLE ACCOMMODATION IN ORDER TO PARTICIPATE IN THIS MEETING SHOULD CALL THE CITY CLERK AT (386) 418-6100 x 1501 AT LEAST 48 HOURS PRIOR TO THE PUBLIC HEARING(S).



Carson J. Crockett, AICP
Principal Planner
Planning and Community Development Department

Carson J. Crockett, AICP is a Principal Planner for the City of Alachua. He supports the functions of the Planning and Community Development Department, assists in the development review process and regularly communicates with members of the public. Crockett holds a master's degree in Urban and Regional Planning from the University of Florida.

EDUCATION

University of Florida
Bachelor of Science in Sustainability and
the Built Environment
Graduated: Apr 2022
Master of Urban and Regional Planning
Graduated: May 2023

St. Petersburg Collegiate High School
High School Diploma
Graduated: May 2019

WORK EXPERIENCE

City of Alachua, Florida | Principal Planner | Jul 2025-Present; Planner | Jun 2023-Jul 2025
15100 NW 142nd Ter, Alachua, FL 32615 | (386) 418-6121

George F. Young, Inc. | Planning Intern | May-Aug 2021 and 2022
299 Dr. Martin Luther King Jr. St N, Saint Petersburg, FL 33701 | (727) 822-4317

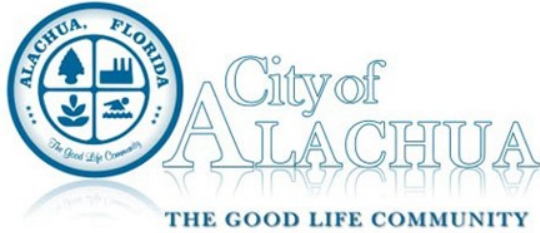
PROFESSIONAL ORGANIZATIONS

American Planning Association | San Felasco Section, Florida Chapter
Member | Nov 2020-Present
Student Planning Association | University of Florida
Member | Aug 2020-May 2023

CERTIFICATES AND OTHER SKILLS

AICP | Jun 2025-Present
ArcGIS Pro | Competent
ArcGIS Desktop | Competent
Microsoft Office Certified | Word
PowerPoint | Excel

Robert's Rules of Order | Proficient
Public Speaking | Proficient



Board Agenda Item

MEETING DATE: November 18, 2025

SUBJECT: PTAL25-0001 | Manufactured Homes as Accessory Dwelling Units - A staff-initiated text amendment to the City of Alachua Land Development Regulations amending Section 4.4.4(A)(2) relating to manufactured homes as accessory dwelling units in the Agricultural ("A") and Residential Single-Family - 1 ("RSF-1") zone districts (Legislative Hearing).

PREPARED BY: Carson Crockett

RECOMMENDED ACTION:

Staff recommends that the Planning & Zoning Board find the proposed text amendment to the City of Alachua Land Development Regulations to be consistent with the City of Alachua Comprehensive Plan and in compliance with the City's Land Development Regulations and transmit such findings to the City Commission with a recommendation to approve.

Recommended Motion: I move that this Board finds the proposed text amendment to the City of Alachua Land Development Regulations to be consistent with the City of Alachua Comprehensive Plan and in compliance with the City's Land Development Regulations and transmit such findings to the City Commission with a recommendation to approve.

Summary

This application is a staff-initiated text amendment to the City of Alachua Land Development Regulations amending Section 4.4.4(A)(2) relating to manufactured homes as accessory dwelling units in the Agricultural ("A") and Residential Single-Family – 1 ("RSF-1") zone districts. The purpose of this text amendment is to clarify the existing text of the Land Development Regulations in Section 4.4.4(A)(2) which states:

(2) Where permitted on lot. A permitted accessory dwelling unit shall comply with all applicable development standards for principal dwelling units in the zone district in which the accessory dwelling unit will be located. Mobile homes, recreational vehicles and travel trailers shall not be used as accessory dwelling units.

The specific portion that requires clarification is the sentence "mobile homes, recreational vehicles and travel trailers shall not be used as accessory dwelling units." Previous interpretations of this section have been that all mobile homes, including manufactured homes, may not be used as accessory dwelling units; however, the City's Land Development Regulations defines mobile home and manufactured home separately. The Planning &

Community Development Department wishes to clarify this text, while also allowing for a greater flexibility in the use of manufactured homes as accessory dwelling units given that manufactured homes are built to higher standards than other, non-site-built structures.

FINANCIAL IMPACT

None. See attached Business Impact Estimate.

ADDITIONAL FINANCIAL INFORMATION

N/A

ATTACHMENTS

- 1. Staff Report & Draft Ordinance 26-01
- 2. Business Impact Estimate
- 3. Public Notice Materials
- 4. Carson J. Crockett, AICP - Resume on File



City of Alachua

Planning & Community Development Department

Staff Report

Planning & Zoning Board Hearing Date:
Legislative Hearing

November 18, 2025
Application #: PTAL25-0001

SUBJECT:

A staff-initiated text amendment to the City of Alachua Land Development Regulations amending Section 4.4.4(A)(2) relating to manufactured homes as accessory dwelling units in the Agricultural (“A”) and Residential Single-Family - 1 (“RSF-1”) zone districts.

APPLICANT/AGENT:

City of Alachua

PROJECT PLANNER:

Carson J. Crockett, AICP

RECOMMENDATION:

Staff recommends that the Planning & Zoning Board find the proposed text amendment to the City of Alachua Land Development Regulations to be consistent with the City of Alachua Comprehensive Plan and in compliance with the City’s Land Development Regulations and transmit such findings to the City Commission with a recommendation to approve.

RECOMMENDED MOTION:

I move that this Board finds the proposed text amendment to the City of Alachua Land Development Regulations to be consistent with the City of Alachua Comprehensive Plan and in compliance with the City’s Land Development Regulations and transmit such findings to the City Commission with a recommendation to approve.

SUMMARY

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- (2) *Where permitted on lot.* A permitted accessory dwelling unit shall comply with all applicable development standards for principal dwelling units in the zone district in which the accessory dwelling unit will be located. Mobile homes, recreational vehicles and travel trailers shall not be used as accessory dwelling units.

The specific portion that requires clarification is the sentence “mobile homes, recreational vehicles and travel trailers shall not be used as accessory dwelling units.” Previous interpretations of this section have been that all mobile homes, including manufactured homes, may not be used as accessory dwelling units; however, the City’s Land Development Regulations defines mobile home and manufactured home separately. The Planning & Community Development Department wishes to clarify this text, while also allowing for a greater flexibility in the use of manufactured homes as accessory dwelling units given that manufactured homes are built to higher standards than other, non-site-built structures.

Summary of Proposed Amendment

Text that is shown as underlined is to be added and text that is shown as ~~striketrough~~ is to be removed.

ARTICLE 4 USE REGULATIONS

Section 4.4.4. *Accessory uses and structures allowed.*

- (A) *Accessory dwelling unit.* An accessory dwelling unit shall comply with the following standards:
 - (2) *Where permitted on lot.* A permitted accessory dwelling unit shall comply with all applicable development standards for principal dwelling units in the zone district in which the accessory dwelling unit will be located. Mobile homes, manufactured homes (except those located in the A or RSF-1 districts), recreational vehicles and travel trailers shall not be used as accessory dwelling units.

The addition of manufactured homes, separated out from mobile homes, will increase clarity that both are prohibited for use as an accessory dwelling unit (as is the current interpretation). An addition of an exception for manufactured homes specifically to be permitted as accessory dwelling units in the A and RSF-1 zone districts was considered to increase flexibility for accessory dwelling units where lots are larger, utilities are not required, and the context of the City is more rural.

COMPREHENSIVE PLAN CONSISTENCY ANALYSIS

The goals, objectives, and policies (GOPs) identified below are provided to establish a basis of the application's consistency with the Comprehensive Plan. There may be additional GOPs which the application is consistent with that are not identified within this report. An evaluation and findings of consistency with the identified GOPs is also provided below.

Future Land Use Element

Goal 1: Future Land Use Map 2035

The City shall maintain a Future Land Use Map in order to effectively guide development in a sustainable manner and to ensure economic prosperity and stability while maintaining a high quality of life for all of its present and future citizens, businesses, and visitors.

Policy 1.1.a: *Residential Uses:* Except as otherwise provided for in the Comprehensive Plan for conservation subdivisions, residential uses within with Agriculture land use category shall be developed at a maximum density of 1 dwelling unit per 5 acres. The following residential uses are allowed within the Agriculture land use category:

1. Single family detached dwelling units;
2. Manufactured, modular, and mobile homes, not to include mobile home parks;
3. Accessory dwelling units; and,
4. Group Living, as provided by special exception.

Policy 1.2.a: *Low Density Residential* (0 to 1 dwelling unit per acre): The Low Density Residential land use category allows residential development at a maximum density of 1 dwelling unit per acre. This land use category shall provide for a transition between rural residential / agricultural areas and the urban areas within the City. The following uses are allowed in the Low Density Residential land use category:

1. Single family detached dwelling units;
2. Accessory dwelling units;
3. Manufactured or modular homes meeting certain design criteria;
4. Residential Planned Developments; and,
5. Supporting community services such as schools, houses of worship, parks, and community centers.

Evaluation & Findings: Both the Agriculture and Low Density Residential land use categories permit for accessory dwelling units and manufactured homes meeting certain design criteria. Both land use categories consider accessory dwelling units as part of the permitted residential densities. As such, the proposed text amendment is consistent with these policies.

Objective 2.7: *Discouragement of Urban Sprawl*

The City shall discourage the proliferation of urban sprawl as set forth in Chapter 163, Florida Statutes.

Evaluation & Findings: Accessory dwelling units are a form of infill development that have the potential to reduce urban sprawl by offering increased opportunities to place accessory dwelling units on already developed lots, whether those lots be in the Agriculture or High Density Residential land use categories.

Housing Element

Policy 1.1.a: The City shall encourage development of a variety of housing types including conventional single family homes, accessory dwelling units, multi-family units, group homes, assisted living facilities, foster care facilities, mobile homes, and manufactured housing, and shall ensure that appropriate land use designations and zoning districts exist to accommodate each type.

Evaluation & Findings: Accessory dwelling units offer flexibility in providing multiple housing types, including increasing opportunities for generational housing and more affordable housing. Accessory dwelling units and manufactured housing are both called out in Policy 1.1.a as potential housing types.

FINDINGS OF FACT: COMPLIANCE WITH LAND DEVELOPMENT REGULATIONS

Text Amendments to the Land Development Regulations Standards

Section 2.4.1(E)(1) of the City’s Land Development Regulations (LDRs) establishes the standards with which all text amendments to the Land Development Regulations must be found compliant. The proposed amendment has been reviewed for compliance with the standards of Section 2.4.1(E)(1). An evaluation of the findings of compliance with the standards of Section 2.4.1(E)(1) is provided below.

(1) **Text Amendments.** Amending the text of these LDRs is a matter committed to the legislative discretion of the City Commission. In determining whether to adopt or deny the proposed amendment, the City Commission shall consider and weigh the relevance of the following factors:

(a) ***Consistent with Comprehensive Plan.*** Whether and the extent to which the proposed amendment is consistent with the Comprehensive Plan.

Evaluation & Findings: The proposed text amendment does not conflict with any goals, objectives, or policies in the City’s Comprehensive Plan. An analysis of consistency with the City’s Comprehensive Plan has been included in this report.

(b) ***Consistent with ordinances.*** Whether the proposed amendment is in conflict with any provision of these LDRs or the City Code of Ordinances.

Evaluation & Findings: The proposed text amendment does not conflict with any other provisions of the City’s Land Development Regulations of Code of Ordinances.

(c) ***Changed conditions.*** Whether and the extent to which there are changed conditions that require an amendment.

Evaluation & Findings: The proposed text amendment was initiated to help the Planning & Community Development Department best serve the City of Alachua by offering further clarification of an existing regulation while increasing flexibility in accessory dwelling unit type and affordability in the A and RSF-1 district.

(d) ***Community need.*** Whether and the extent to which the proposed amendment addresses a demonstrated community need.

Evaluation & Findings: The proposed text amendment was initiated to help the Planning & Community Development Department best serve the City of Alachua by offering further clarification of an existing regulation while increasing flexibility in accessory dwelling unit type and affordability in the A and RSF-1 district.

- (e) ***Compatible with surrounding uses.*** Whether and the extent to which the proposed amendment is consistent with the purpose and intent of the zone districts in these LDRs, or will improve compatibility among uses and will ensure efficient development within the City.

Evaluation & Findings: The proposed text amendment does not alter any use-specific standards, setbacks, residential protection standards, or environmental standards. The only change would be allowing manufactured homes as accessory dwelling units in the A and RSF-1 districts, which already allow and contain both accessory dwelling units and manufactured homes in relatively low density areas. As both are already present in these low density districts, there are no concerns regarding compatibility with allowing manufactured homes as accessory dwelling units in the A and RSF-1 districts.

- (f) ***Development patterns.*** Whether and the extent to which the proposed amendment would result in a logical and orderly development pattern.

Evaluation & Findings: The proposed text amendment would not alter the existing pattern of development.

- (g) ***Effect on natural environment.*** Whether and the extent to which the proposed amendment would result in significantly adverse impacts on the natural environment, including but not limited to water, air, noise, stormwater management, wildlife, vegetation, wetlands, and the natural functioning of the environment.

Evaluation & Findings: The proposed text amendment does not alter existing environmental protection standards and will not impact the natural environment.

- (h) ***Public facilities.*** Whether and the extent to which the proposed amendment would result in development that is adequately served by public facilities (roads, potable water, sewage, stormwater management, parks, and solid wastes).

Evaluation & Findings: The proposed text amendment does not alter where accessory dwelling units are permitted, except that for the A and RSF-1 districts, manufactured homes will be permitted as accessory dwelling units. Neither the A nor RSF-1 districts require connection to public facilities, unless within the distances specified in the Community Facilities Element of the City of Alachua Comprehensive Plan. No increase in public facilities demand is expected as a result of the proposed text amendment.

EXHIBIT "A"
TO
PTAL25-0001 | MANUFACTURED HOMES AS
ACCESSORY DWELLING UNITS LDR TEXT AMENDMENT
STAFF REPORT

DRAFT
ORDINANCE 26-01

ORDINANCE 26-01

AN ORDINANCE OF THE CITY OF ALACHUA, FLORIDA, RELATING TO THE AMENDMENT OF SUBPART B OF THE CITY OF ALACHUA CODE OF ORDINANCES, LAND DEVELOPMENT REGULATIONS (“LDRS”); AMENDING SECTION 4.4.4(A)(2) RELATING TO MANUFACTURED HOMES AS ACCESSORY DWELLING UNITS IN THE AGRICULTURAL (“A”) AND RESIDENTIAL SINGLE-FAMILY – 1 (“RSF-1”) ZONE DISTRICTS; PROVIDING A REPEALING CLAUSE; PROVIDING SEVERABILITY; AND PROVING AN EFFECTIVE DATE.

WHEREAS, the City Commission adopted the City of Alachua Land Development Regulations (“LDRs”) through Ordinance 06-11, as amended from time to time; and,

WHEREAS, a text amendment (“Amendment”) to the City’s LDRs, as described below, has been proposed; and,

WHEREAS, a duly advertised public hearing was conducted on the Amendment on November 18, 2025, by the Planning & Zoning Board, sitting as the Local Planning Agency (“LPA”) and the LPA reviewed and considered all comments received during the public hearing concerning the Amendment and made its recommendation to the City Commission; and,

WHEREAS, the City Commission conducted a duly advertised public hearing on the proposed Amendment, provided for and received public participation, and approved Ordinance 26-01 upon first reading on _____, 2025, and scheduled second and final reading for _____, 2025; and,

WHEREAS, the City Commission conducted a duly advertised public hearing on the proposed Amendment, provided for and received public participation, and approved Ordinance 26-01 upon second and final reading on _____, 2025; and,

WHEREAS, the City Commission has determined and found the Amendment to be consistent with the City’s Comprehensive Plan and the City’s LDRs; and,

WHEREAS, for reasons set forth in this ordinance that is hereby adopted and incorporated as findings of fact, that the City Commission of Alachua, Florida finds and declares that the enactment of this Amendment is in the furtherance of the public health, safety, morals, order, comfort, convenience, appearance, prosperity, or general welfare;

NOW THEREFORE BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF ALACHUA, FLORIDA.

Section 1. Interpretation of Recitals

The above recitals are true and correct and incorporated in this ordinance.

Section 2. Findings of Fact and Conclusions of Law

The authority for the enactment of this ordinance is Chapter 163, Part I, Florida Statutes; Sections 166.021 and 166.041; and the City's Comprehensive Plan.

Section 3. Amendment to the Land Development Regulations, Article 4

Article 4 of the City of Alachua Land Development Regulations is hereby amended as follows. The remainder of Article 4 remains in full force and effect (text that is underlined is to be added and text that is shown as ~~strikethrough~~ is to be removed):

4.4.4 *Accessory uses and structures allowed.*

(A) *Accessory dwelling unit.* An accessory dwelling unit shall comply with the following standards:

- (2) *Where permitted on lot.* A permitted accessory dwelling unit shall comply with all applicable development standards for principal dwelling units in the zone district in which the accessory dwelling unit will be located. Mobile homes, manufactured homes (except those located in the A or RSF-1 districts), recreational vehicles, and travel trailers shall not be used as accessory dwelling units.

Section 4. Codification of and Correction of Scrivener's Errors

The City Manager or designee, without public hearing, is authorized to correct any typographical errors which do not affect the intent of this ordinance. A corrected copy shall be posted in the public record.

Section 5. Ordinance to be Construed Liberally

This ordinance shall be liberally construed in order to effectively carry out the purposes hereof which are deemed to be in the best interest of the public health, safety, and welfare of the citizens and residents of the City of Alachua, Florida.

Section 6. Repealing Clause

All ordinances or parts of ordinances in conflict with this ordinance are, to the extent they conflict with this ordinance, repealed.

Section 7. Providing for Severability

It is the declared intent of the Alachua City Commission that, if any section, sentence, clause, phrase, or provision of this ordinance is for any reason held or declared to be unconstitutional, void, or inoperative by a court or agency of competent jurisdiction, such holding of invalidity or unconstitutionality shall not affect the remaining provisions of this ordinance and the remainder of this ordinance, after the exclusion of such part or parts, shall be deemed to be valid.

Section 8. Effective Date

This Ordinance shall be effective upon its passage and adoption on the second and final reading.

PASSED on first reading on the ____ day of _____, 2025.

PASSED and **DULY ADOPTED**, in regular session, with a quorum present and voting, by the City Commission, upon second reading this ____, day of _____, 2025.

**CITY COMMISSION OF THE
CITY OF ALACHUA, FLORIDA**

Walter Welch, Mayor
SEAL

ATTEST:

APPROVED AS TO FORM

Rodolfo Valladres, City Manager/Clerk

Scott Walker, Interim City Attorney

Business Impact Estimate Form

This form should be included in the agenda packet for the item under which the proposed ordinance is to be considered and must be posted on the City's website by the time notice of the proposed ordinance is advertised and published.

Proposed ordinance's title:

ORDINANCE NO. 26-01

AN ORDINANCE OF THE CITY OF ALACHUA, FLORIDA, RELATING TO THE AMENDMENT OF SUBPART B OF THE CITY OF ALACHUA CODE OF ORDINANCES, LAND DEVELOPMENT REGULATIONS ("LDRS"); AMENDING SECTION 4.4.4(A)(2) RELATING TO MANUFACTURED HOMES AS ACCESSORY DWELLING UNITS IN THE AGRICULTURAL ("A") AND RESIDENTIAL SINGLE-FAMILY – 1 ("RSF-1") ZONE DISTRICTS; PROVIDING A REPEALING CLAUSE; PROVIDING SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

This Business Impact Estimate is provided in accordance with section 166.041(4), Florida Statutes.

1. Summary of the proposed ordinance (must include a statement of the public purpose, such as serving the public health, safety, morals, and welfare):

This application is a staff-initiated text amendment to the City of Alachua Land Development Regulations amending Section 4.4.4(A)(2) relating to manufactured homes as accessory dwelling units in the Agricultural ("A") and Residential Single-Family – 1 ("RSF-1") zone districts. The purpose of this text amendment is to clarify the existing text of the Land Development Regulations in Section 4.4.4(A)(2) which states:

- (2) *Where permitted on lot.* A permitted accessory dwelling unit shall comply with all applicable development standards for principal dwelling units in the zone district in which the accessory dwelling unit will be located. Mobile homes, recreational vehicles and travel trailers shall not be used as accessory dwelling units.

The specific portion that requires clarification is the sentence “mobile homes, recreational vehicles and travel trailers shall not be used as accessory dwelling units.” Previous interpretations of this section have been that all mobile homes, including manufactured homes, may not be used as accessory dwelling units; however, the City’s Land Development Regulations defines mobile home and manufactured home separately. The Planning & Community Development Department wishes to clarify this text, while also allowing for a greater flexibility in the use of manufactured homes as accessory dwelling units given that manufactured homes are built to higher standards than other, non-site-built structures.

2. An estimate of the direct economic impact of the proposed ordinance on private, for-profit businesses in the City, if any:

(a) An estimate of direct compliance costs that businesses may reasonably incur:

\$0.00

(b) Any new charge or fee imposed by the proposed ordinance or for which businesses will be financially responsible:

None

(c) An estimate of the City’s regulatory costs, including estimated revenues from any new charges or fees to cover such costs:

\$0.00

3. Good faith estimate of the number of businesses likely to be impacted by the proposed ordinance:

None

4. Additional information the governing body deems useful (if any):

None

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followed them
across the road
and drew his
weapon after
believing one of
the workers had
"crossed beyond
where he needed
to be working."



JOSEPH


Joseph
told deputies he aimed the
firearm toward the ground
but acknowledged that he
"could potentially have
pointed the gun" at the men
while waving it around.

Joseph was charged with
three counts of aggravated

deadly weapon,
a felony offense.
Deputies said he
does not have a
prior criminal
history.

He was
booked into the
Alachua County Jail,
where Judge Susan Miller-
Jones ordered him held
without bail pending a
hearing on a motion by
the State Attorney's Office
to continue his detention
until trial. If that motion is
denied, bail will be set at

remains ongoing.



City of ALACHUA

NOTICE OF BOARD VACANCY


The City of Alachua is currently accepting applications for one (1) appointment to be made on the following Board:

Planning and Zoning Board: The Planning and Zoning Board (PZB) comprises five voting members and a non-voting School Board representative. The PZB provides recommendations to the City Commission on various development applications, such as comprehensive plan amendments, rezonings, and subdivisions, and reviews and makes decisions on certain development applications as provided for within the City's Land Development Regulations. The PZB is also authorized by the City Commission to provide recommended policies and guiding action affecting development in the City, including amendments to Land Development Regulations, special studies, and other proposals that promote orderly development.

- Applicants must be a resident of the City of Alachua.
- Meetings are typically held at 6:00 p.m. on the second Tuesday of the month in the James A. Lewis Commission Chambers in City Hall.

Applications may be obtained in person at City Hall, located at 15100 NW 142nd Terrace, on any regular business day (Monday through Thursday) between the hours of 7:30 a.m. and 6:00 p.m. or by visiting the City's website at www.cityofalachua.com. Completed applications must be received by the Planning and Community Development Department no later than 6:00 p.m. on **Thursday, November 13, 2025**. Applications may be submitted in person at City Hall or by mail to the following address: City of Alachua, Planning and Community Development Department, P.O. Box 9, Alachua, FL 32616. Questions may be directed to the Planning and Community Development Department at (386) 418-6121.

(Published: Alachua County Today -
October 30, 2025 and November 06, 2025)



City of ALACHUA

NOTICE OF PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD OF THE CITY OF ALACHUA, FLORIDA

Notice is hereby given that the Planning and Zoning Board of the City of Alachua will hold a public hearing on November 18, 2025, at 6:00 p.m. The hearing will be held in the James A. Lewis Commission Chambers in City Hall, located 15100 NW 142nd Terrace, Alachua, Florida, to consider the following:

Application #: PTAL25-0001 – Manufactured Homes as Accessory Dwelling Units

A staff-initiated text amendment to the City of Alachua Land Development Regulations: amending Section 4.4.4(A)(2) relating to manufactured homes as accessory dwelling units in the Agricultural ("A") and Residential Single-Family – 1 ("RSF-1") zone districts.

At the public hearing, all interested parties may appear and be heard with respect to the application. Copies of the application are available for public inspection at the Planning and Community Development Department, 15100 NW 142nd Terrace, Alachua, Florida, on any regular business day between the hours of 7:30 a.m. to 6:00 p.m. Written comments on the application may be sent to the following address: City of Alachua, Planning and Community Development, P.O. Box 9, Alachua, FL, 32616. Notice is given pursuant to Section 286.0105, Florida Statutes, that, in order to appeal any decision made at the public hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act, any persons with a disability requiring reasonable accommodation in order to participate in this meeting should call the City Clerk at (386) 418-6100 x 1501 at least 48 hours prior to the public hearing.

(Published: Alachua County Today - November 06, 2025)



Carson J. Crockett, AICP
Principal Planner
Planning and Community Development Department

Carson J. Crockett, AICP is a Principal Planner for the City of Alachua. He supports the functions of the Planning and Community Development Department, assists in the development review process and regularly communicates with members of the public. Crockett holds a master's degree in Urban and Regional Planning from the University of Florida.

EDUCATION

University of Florida
Bachelor of Science in Sustainability and
the Built Environment
Graduated: Apr 2022
Master of Urban and Regional Planning
Graduated: May 2023

St. Petersburg Collegiate High School
High School Diploma
Graduated: May 2019

WORK EXPERIENCE

City of Alachua, Florida | Principal Planner | Jul 2025-Present; Planner | Jun 2023-Jul 2025
15100 NW 142nd Ter, Alachua, FL 32615 | (386) 418-6121

George F. Young, Inc. | Planning Intern | May-Aug 2021 and 2022
299 Dr. Martin Luther King Jr. St N, Saint Petersburg, FL 33701 | (727) 822-4317

PROFESSIONAL ORGANIZATIONS

American Planning Association | San Felasco Section, Florida Chapter
Member | Nov 2020-Present
Student Planning Association | University of Florida
Member | Aug 2020-May 2023

CERTIFICATES AND OTHER SKILLS

AICP | Jun 2025-Present
ArcGIS Pro | Competent
ArcGIS Desktop | Competent
Microsoft Office Certified | Word
PowerPoint | Excel

Robert's Rules of Order | Proficient
Public Speaking | Proficient